

Note
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
The boundaries shown on this plan should not be used for final detailed engineers design.

REVISION
A: 08/11/10 Remuner Allotments

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 21 / 1 / 11

CLIENT
Urban Land Development Authority

PROJECT
Proposed Subdivision

**Allotment Layout
Stage 5B - Fitzgibbon
253 Telegraph Road**

Level Datum
Origin
Date 08 November 2010
Comp By. WW
DWG Name. 22743-Lot 1001-Prop

Local Authority Urban Land Development Authority

Locality Fitzgibbon
Job Reference 22743

Scale 1 : 1000
Plan Ref 22743 - 147
Rev A



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DEVELOPMENT STATISTICS - PROPOSAL PLAN STAGE 5B

Allotment Type	Access Configuration	Yield Range	
		Min. Dwellings	Max. Dwellings
Single Family Dwellings	Conventional Frontage		
Villa Allotment Type 1 (10x25m)	14	14	14
Villa Allotment Type 4 (12.5x25m)	3	3	3
Sub Total	17	17	17
Multifamily Dwellings	Conventional Frontage		
Type 2 Allotment 600m ² -749m ²	1	2	4
Sub Total	1	2	4
TOTAL	18	19	21

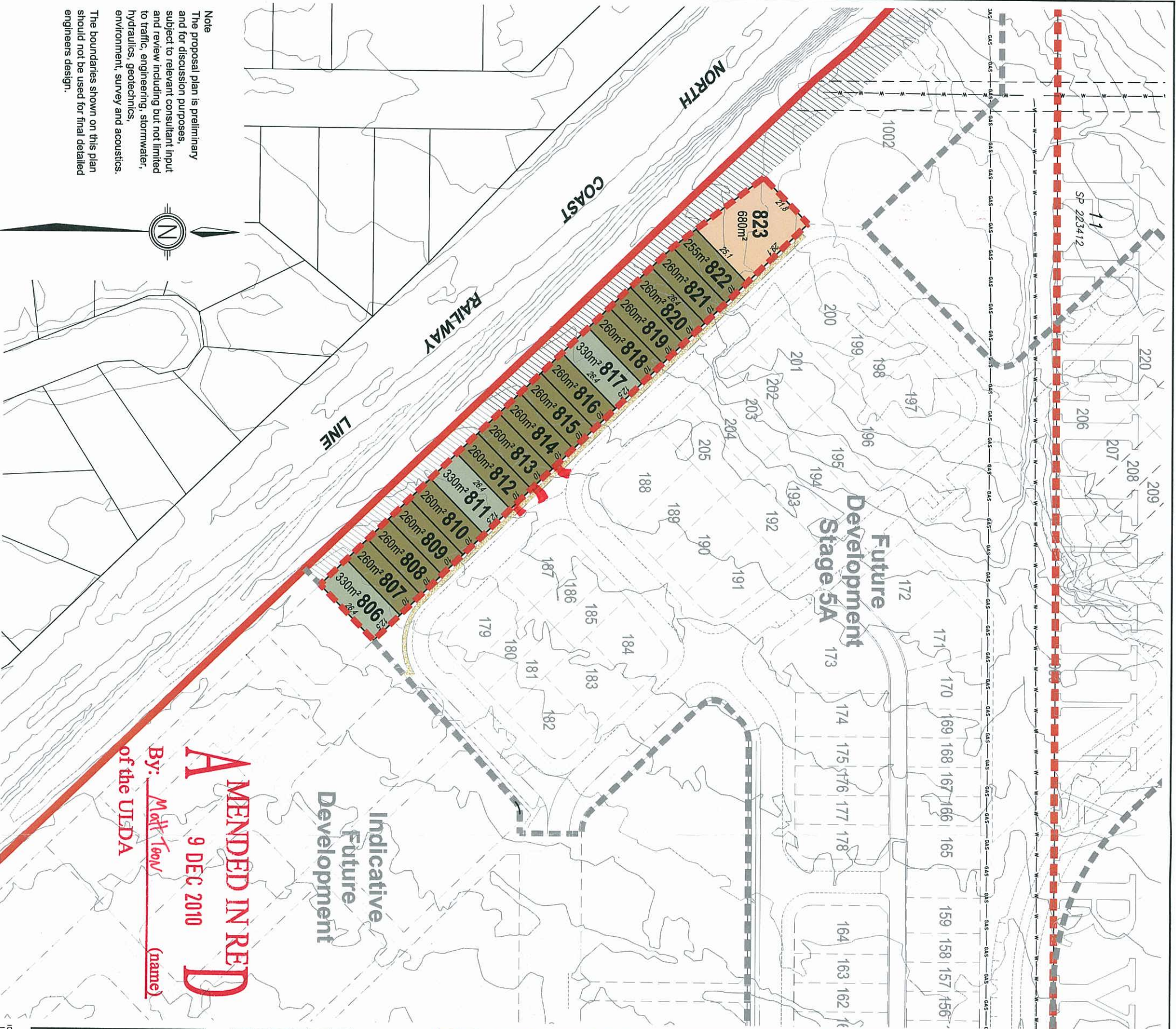
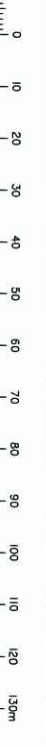
Density Calculation	dw/ha	dw/ha
Net Residential Density	27	30

Density is based on SECQP definition for Net Residential Density. (Includes 1/2 road width for Site)
Minimum Dwelling Yield based on two dwellings constructed on each Multi-family allotment
Maximum Dwelling Yield based on the following multi-family yield rates:
72 - 4 dwellings

LAND USE BUDGET - PROPOSAL PLAN STAGE 5B		
Land Use Budget	Area (m ²)	Percentage
Stage 5B Site Area	5360	100.0%
Saleable Area	5360	100.0%
Single & Multi-Family Lots	5360	100.0%
Total Area of Allotments	5360	100.0%

Legend

- Stage Boundary
- Allotment Type
 - Villa Allotment Type 1 (10x25m)
 - Villa Allotment Type 4 (12.5x25m)
- Multifamily Dwellings
 - Type 2 Allotment 600m²-749m²
- Road
 - Busway Corridor (Subject of a Current Development Application)
 - Indicative Pedestrian Pathway Alignment
- Existing Services
 - Indicative Water Pipeline Alignment
 - Indicative High Pressure Gas Pipeline



AMENDED IN RED
9 DEC 2010

By: Matt Trow
of the ULDA (name)

Note
The proposal plan is preliminary and for discussion purposes, subject to relevant consultant input and review including but not limited to traffic, engineering, stormwater, hydraulics, geotechnics, environment, survey and acoustics.
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REVISION
A: 08/11/10 Renumber Allotments

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Site Development Plan
Stage 5B - Fitzgibbon
253 Telegraph Road

Level Datum

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DWG Name. 22743-Lot 1001-Prop

Local Authority Urban Land
Development Authority

Locality Fitzgibbon

Job Reference 22743

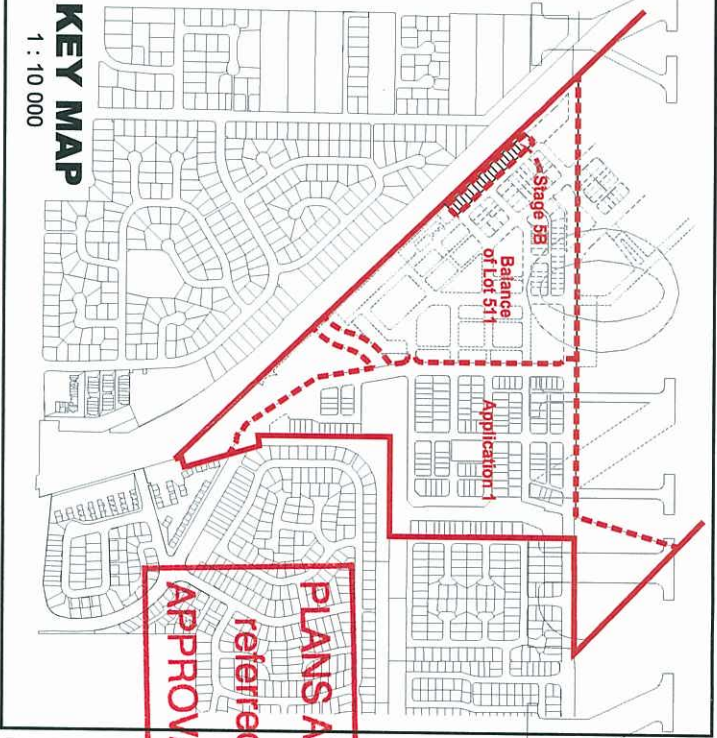
Scale 1 : 1000 Sheet A2

Plan Ref 22743 - 148 Rev A

RPS

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KEY MAP

1 : 10 000

Notes -

General:

- All development is to be undertaken in accordance with the Development Approval
- The maximum height of building shall not exceed 3 storeys

Orientation:

- Entries - Front doors of dwellings are to address the Primary Street
- Frontage identifies in the Site Development Plan

Setbacks:

- Setbacks are as per the Site Setback Table unless otherwise specified.
- Built to boundary walls are optional. The location of built to boundary walls are indicated on the Site Development Plan. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Setback Table
- Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres
- Boundary setbacks are measured to the wall of the structure
- Eaves should not encroach (other than where building are built to boundary) closer than 450mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2400mm

Parking:

- Minimum off-street parking requirements
Studio, 1 and 2 bed dwellings - 1 space per dwelling
- 2 spaces per dwelling, which may be in tandem
Other

- Villa Allotments with a frontage of less than 12.5 metres are to have tandem parking with a setback to a garage of 5.5 metres.
Double garages will not be permitted on single storey dwelling on a lot less than 12.5m wide.

- Double garages may be permitted on a lots with a frontage of 10.0 to 12.5m wide where Fitzgibbon Chase Design Guideline approval has been given by an officer of the ULDA Fitzgibbon Chase Development Team.

- Parking spaces on driveways do not have to comply with AS2890

Site Cover and Amenity:

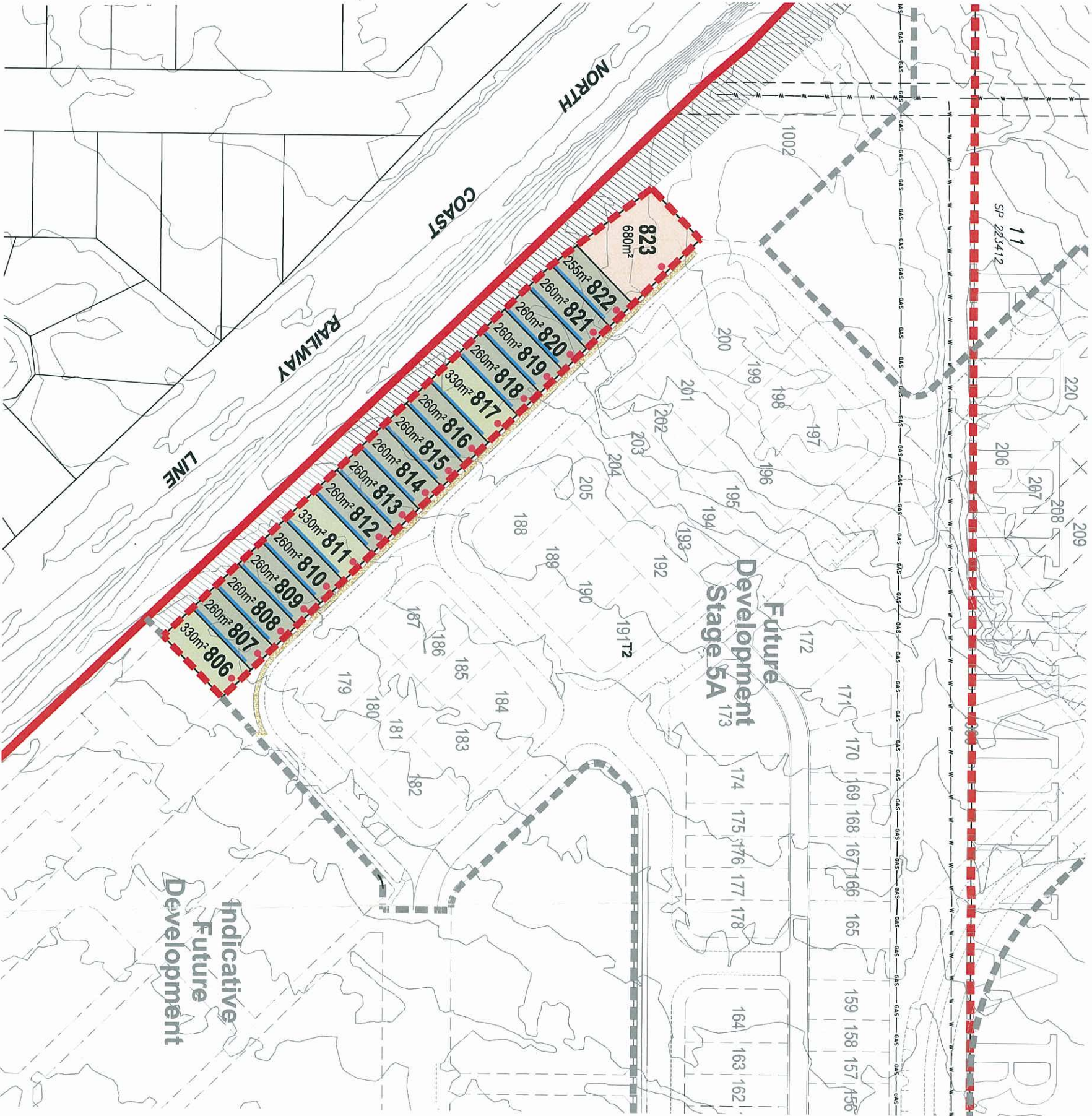
- Site cover for each lot is not to exceed 60% of the lot except on Multi Family Allotments where the site cover shall not exceed 70% of the lot
- Private amenity space accessible from the ground floor must not be less than 15m² with a minimum dimension of 3.0m. Private amenity space for apartments above ground level must not be less than 9m² which may be in the form of a balcony with a minimum dimension of 1.8 metres

Multi Family Dwellings:

- Multi Family Dwelling Allotments are not permitted to be developed with only one single dwelling
- Type 2 (T2) - 600m² - 749m² - maximum 4 dwellings

Fencing:

- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 metres in height.



Legend

Existing Services

— Indicative Water Pipeline Alignment
— Indicative High Pressure Gas Pipeline

Setbacks

— Building to Boundary Wall

• Mandatory minimum 2 Storey Construction

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Site Development Table	Villa Allotments		Villa Allotments		Multi-Family Dwellings	
	10m Frontage	12.5m Frontage	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m
Side - General Lots						
Built to Boundary	0.0m	1.0m	0.0m	1.0m	n/a	n/a
Non Built to Boundary	0.9m	0.9m	1.0m	1.0m	1.0m	1.0m

NOTES

- THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE WATER RETICULATION DETAILS & NOTES ON PLAN C600.
- ALL WATER CONSTRUCTION WORK UNDERTAKEN BY THE CONTRACTOR IS TO COMPLY WITH THE REQUIREMENTS OF THE QUEENSLAND WORKPLACE HEALTH & SAFETY ACT 1995. CONTACT YOUR NEAREST OFFICE OF THE DIVISION OF WORKPLACE HEALTH & SAFETY. PHONE 1300 369 915.

PRIOR TO CONSTRUCTION BRISBANE WATER WILL MAKE THE LIVE CONNECTION AS SHOWN, ENSURING THAT THE VALVE REMAINS CLOSED. CONTRACTOR TO REMOVE BLANK FLANGE AND CONSTRUCT WATER MAIN. VALVE TO REMAIN CLOSED UNTIL SATISFACTORY TESTING AND CHLORINATION OF NEW MAINS. BRISBANE WATER TO THEN MAKE LIVE CONNECTION.

LEGEND

- PROPOSED mPVC WATER MAIN, UNO.
- PROPOSED WATER RETICULATION CONDUIT
- LOT NUMBER.
- PROPOSED STORMWATER LINE
- PROPOSED SEWER MAIN
- EXIST. WATER MAIN
- EXIST. GAS MAIN
- LOT WATER METER LOCATION, ON 0.8M ALIGNMENT.
- BUILDING TO BOUNDARY WALL
- 0.6m SETBACK FOR LANEWAYS

DETAIL B

N.T.S.

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SYMBOLS

- ISOLATION VALVE.
- FIRE HYDRANT.
- REDUCER.
- TEST POINT.
- SCOUR BRANCH.
- DEAD END.
- TRUNCATIONS 5 DEGREES OR LESS

CONSTRUCTION
ISSUE

QUU DELEGATE

DATE

(APPROVAL VALID FOR 12 MONTHS FROM DATE SHOWN)

ASSOCIATED CONSULTANTS		CLIENT		DESIGNED		APPROVED		DATE		BRISBANE		SUNSHINE COAST		JDB CODE	
PROJECT RESIDENTIAL SUBDIVISION - STAGE 5		URBAN LAND DEVELOPMENT AUTHORITY		DRAWN DR		DATE 21/10/10		SCALE 1:500 (A1)		555 CORPORATION DRIVE, TOWNSVILLE QLD 4006 PH: (07) 3371 7000 FAX: (07) 3371 5679 EMAIL: info@ulda.qld.gov.au		20 INNOVATION PARKWAY, BRISBANE QLD 4000 PH: (07) 5428 8100 FAX: (07) 5428 8200 EMAIL: info@brw.com.au		ULDSFCE1	
LOCATION 253 TELEGRAPH ROAD, FITZGIBBON				CHECKED DATE		SCALE 1:500 (A1)				PAPA NEW GUINEA STATION CONSTRUCTION, PO BOX 608 TELEPHONE (07) 321 1331 FACSIMILE (07) 321 7652 EMAIL: info@papa-new-guinea.com.au		SHEET NUMBER REV C601 D			
SHEET TITLE WATER RETICULATION LAYOUT PLAN - SHEET 2 OF 2				DATE MARCH 2010						ARCHITECTS CIVIL & STRUCTURAL ENGINEERS		G R O U P			

CONSTRUCTION ISSUE



STRUCTURE SETOUT TABLE

POINT	EASTING	NORTHING
3/13	3513.244	2235.455
TP1 (HB 1/15)	3511.881	2235.475
TP2 (HB 1/15)	3507.994	2231.427
HB 1/14	3513.147	2228.932

LEGEND

- PROPOSED SEWER MAIN
- PROPOSED MAINTENANCE STRUCTURE NUMBER
- EXISTING MAINTENANCE STRUCTURE NUMBER
- MAINTENANCE STRUCTURE
- PROPOSED PROPERTY CONNECTION
- EXISTING PROPERTY CONNECTION
- HORIZONTAL BEND
- FINISHED CONTOURS (0.0m)
- PROPOSED STORMWATER LINE
- PROPOSED WATER MAIN
- PROPOSED WATER CONDUIT
- EXISTING SEWER
- EXISTING WATER
- BUILDING TO BOUNDARY WALL
- 0.0m SETBACK FOR LANEWAYS

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