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Our Ref: CD14-053

DILGP Ref's: Development Application No DEV2015/727

4 August 2016

DILGP
C/- The Planning Place
7/273 Abbotsford Road
Bowen Hills QLD 4006

Attention: Brandon Bouda

Dear Brandon,

**PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL**

Approval no: DEV2015/727

Date: 14 October 2016



**RE: 820 Greenbank Road, North Maclean
Conceptual Site-Based Stormwater Management Plan (CSBSMP) Addendum Letter**

The intent of this letter is to explain the context of the CSBSMP and expected process following receipt of an approved development application. This letter also highlights road layout issues that will be resolved prior to detail design that have a minor impact to the stormwater treatment concept.

The CSBSMP was produced to give an indication on the footprint necessary for the stormwater treatment devices to assist in the development application noting that the final lot layout and servicing arrangements is likely to change pending buyer demand and servicing constraints.

The basin size is based on a simple hydrological model produced using the software WBNM and calibrated back to approximate rational method calculations. While this was considered appropriate for the conceptualization of the treatment devices and primarily for the purpose of nominating a 'land bank' we have noted a more detailed analysis will need to be undertaken during the detailed design stage. Since the submission of the CSBSMP we have further reviewed some of the details contained in the report and this letter contains modifications required which will be resolved prior to detailed design.

We note that the road layout still has issues to be resolved that will affect lot layout and to some degree, stormwater treatment. These issues are:

- The intersection with Greenbank Road which will require the new road be realigned perpendicular to Greenbank Road in accordance with the recommendations of the TTM report.
- Checks performed as requested in the email from DILGP attached.
- The temporary cul-de-sac at the end of the internal road needs to be detailed which will affect lots 6 and 7.

We now understand that there are additional changes required to the lot layout concept and therefore stormwater treatment due to the ecology survey completed this year. Our client's representative, Eric Yang of Yang Designs has instructed us not to update the CSBSMP to account for these changes given the number of items still subject to change, but instead they will be addressed prior to detailed design following receipt of an approved development application.

In conjunction with undertaking detailed design, a Detailed Site-Based Stormwater Management Plan (DSBSMP) will need to be produced to refine or alter assumptions and provide a more accurate model than contained in the CSBSMP.

As part of the DSMSMP the following will be required:

- Review and feedback from Logan City Council (LCC) which will be incorporated into the DSBSMP
- Due to the scale of the development and its position in the catchment LCC will likely enforce the state policy to check the entire stormwater catchment downstream of the site to confirm requirement of bank stability and frequent flow analysis is satisfactory. This impacts on basin size, but due to the

costs associated with this analysis and the project's uncertainty with respect to timeframes and servicing impacts the study will be completed pre detailed design.

- Further to the above point the assumptions used by TMR for the culvert south of the interchange will need to be considered for the DSBSMP.
- A separate detailed erosion and sediment control plan based on site-specific geotechnical testing.
- Confirmation of the flow-spreader required for the small balance western catchment.
- The stormwater management specifications are in the process of changing and the recent draft release of AR&R 2016 will likely require changes to future studies. This guideline is expected to be final before the end of the year.

With the above issues noted such as a catchment wide investigation and the scale of the site, the detailed stormwater management plan will need to be completed by a specialist stormwater consultant.

In order to better assure that the land allowance for the stormwater treatment basin is captured for the development application we have reviewed the layout of the basin and would like to nominate a further 'buffer' of 15m along the eastern boundary and 10m along the northern boundary which takes into account the following:

- Allowance for basin floor cross-fall at 1 in 100 to ensure no ponding nuisance
- Floor width increase of 5m to offset loss of storage due to the basin floor grading, further refinement of the bio-retention arrangement and also to add contingency for storage that may be necessary as a result of the more detailed analysis for the DSBSMP as detailed in the above set of dot points
- Widening of the berm to 3m for maintenance access
- Width allowance for the retaining wall
- Width allowance of 6m for a maintenance track along the boundary and energy dissipation rock outlets

A marked up plan and cross section is attached to this letter for a visual explanation.

In the event that the allowance for the stormwater treatment basin including buffer zone is inadequate following detailed analysis then stormwater treatment devices on individual lots could be used to compensate for the balance required. Lots 7 and 8 are noted as preferable for this strategy to obtain maximum benefit as then this stormwater could discharge to the pre-development western catchment. This would be subject to suitable flow dissipation on the neighboring property and obtaining consent for lawful point of discharge. This option has been discussed with Marco Bonotto from DILGP previously and we understand is an acceptable solution for DILGP.

Finally, if the CSBSMP is referenced in the development conditions then this letter should also be listed as an addendum to the report.

Should you have any queries please do not hesitate to contact the undersigned on 3422 2020 or by email at mail@civildimensions.com.au.

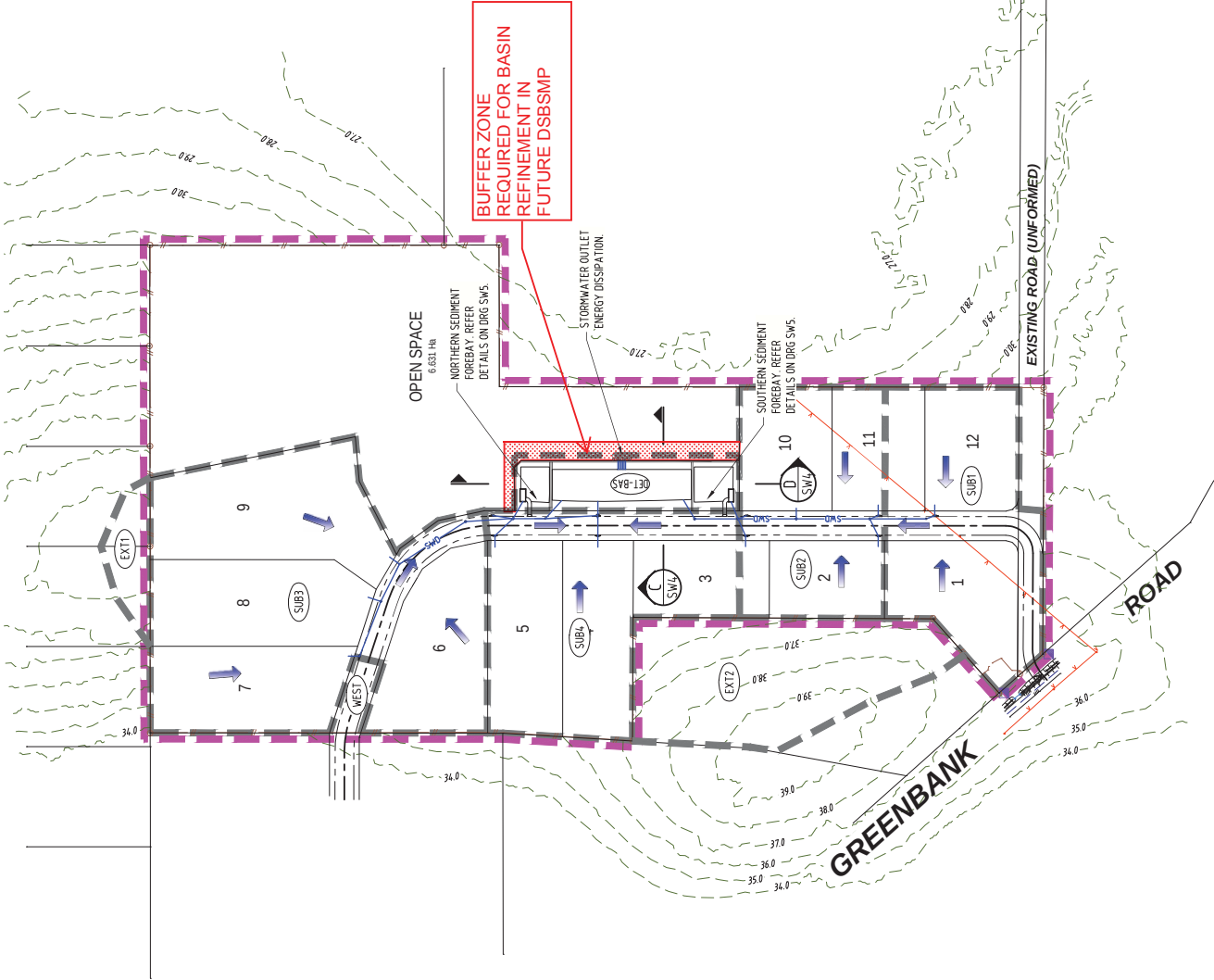
Yours faithfully
Civil Dimensions Pty Ltd



Ben Byrnes
for and on behalf of Civil Dimensions Pty Ltd

Enclosed





LEGEND

- Development Boundary
- Proposed Catchment Area
- Existing Contours
- Nominal Kerb Line
- Proposed Stormwater Drainage
- Flow Direction

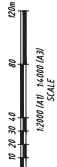
CATCHMENT TABLES

CATCHMENT NAME	CATCHMENT AREA (ha)
SUB1	2.518
SUB2	2.196
SUB3	5.380
SUB4	2.909
DET-BASIN	0.798
TOTAL	13.803

EXTERNAL	
CATCHMENT NAME	CATCHMENT AREA (ha)
EXT1	0.3
EXT2	2.2
TOTAL	2.5

WESTERN	
CATCHMENT NAME	CATCHMENT AREA (ha)
WEST	0.149

Preliminary



Civil Dimensions Consulting Engineers

DESIGNED	CH	JB	GB	BB
APPROVED				

FOR AND ON BEHALF OF CIVIL DIMENSIONS PTY LTD
By: [Signature]
Preliminary Version Only

DATE	DESCRIPTION
20/05/20	20/05/20

ISSUED TITLE

Post Development Catchment Plan

PROJECT NUMBER	CD14-053	REV	SW2
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PLANS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED AND STAMPED "FOR CONSTRUCTION"

CSBSMP ADDENDUM LETTER PLAN

NOT FOR CONSTRUCTION

Industrial Subdivision
820 Greenbank Road,
North Maclean
12 Lot Subdivision (20.25 ha)
Lot 2 on RP 868726

Anna Properties Pty Ltd

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ASSOCIATED CONSULTANTS

PURPOSE

SCALE (MM)

NOT FOR CONSTRUCTION

**Industrial
Subdivision
North Maclean
820 Greenbank Road,
12 Lot Subdivision (20.25 ha)
Lot 2 on RP 868726**

**Anna
Properties
Pty Ltd**

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ACCOUNTING/CONG/TINT

Number	
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Preliminary

DATE

As Shown



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Postal:
Unit 8, 51 Freda St
Upper Mt Gravatt,
Qld 4122
Brisbane:
Tel. 3422 2020

Civil Dimensions
Consulting Engineers

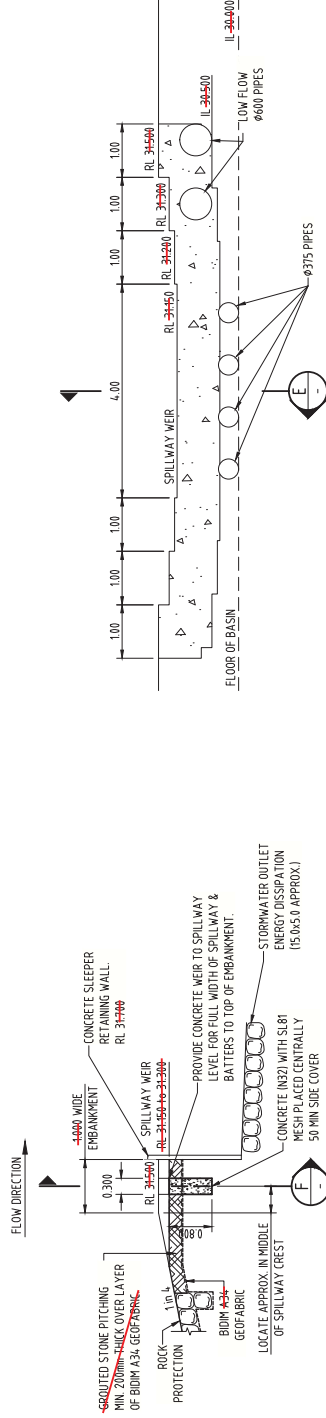
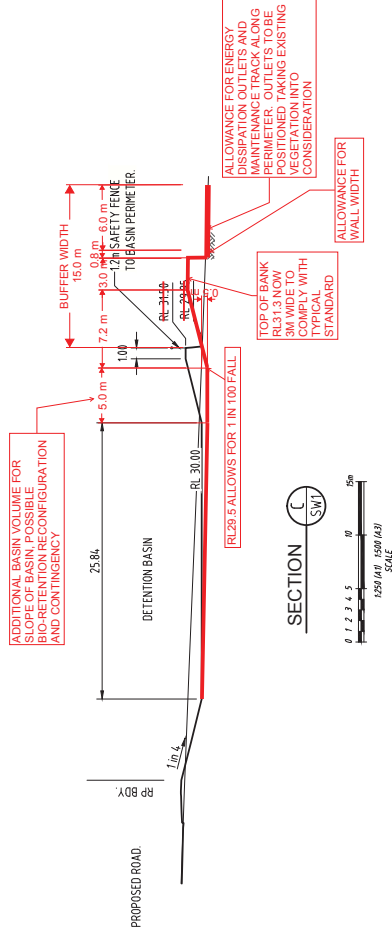
DESIGNED	CH	DRAWN	JB	CHECKED	BB
APPROVED					

Rev	Amendment Details	Date
	Preliminary Information Only	26/09/18

TITLE	Bio Retention Basin and Detention Basin Section and Details
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PROJECT NUMBER	CD14-053	DRG	SW4	REV	-
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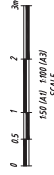
ON MAY CHAI NOT BE USED FOR CONSTRUCTION OF ROADS, BRIDGES AND STANDARDS CONSTRUCTION



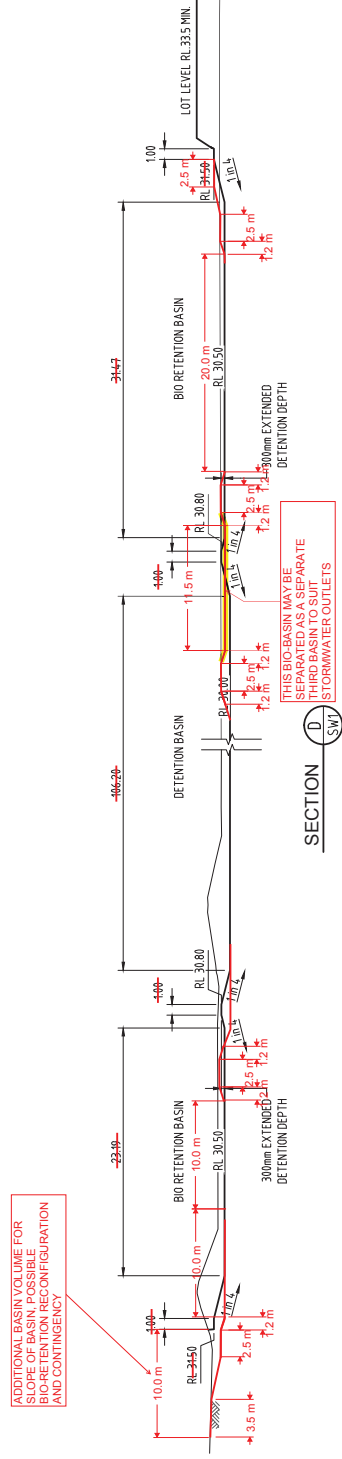
Weir Spillway Longitudinal Section

Weir Spillway Cross Section

TYPICAL SECTIONS - WEIR SPILLWAY TREATMENT



SPILLWAY NOTES :
 SPILLWAY DIMENSIONS SUBJECT TO VARY IN DETAIL DESIGN FOR OPERATIONAL WORKS.
 SPILLWAY FOR THE BASIN TO BE PROTECTED WITH GROUTED STONE PITCHING FOR FULL
 WIDTH OF SPILL WAY. REFER ALSO IPWEAQ STD DRG WSIJD-006.



SECTION

ED AS A SEPARATE
SIN TO SUIT



CSBSMP ADDENDUM LETTER PLAN

Ben Byrnes

From: Graham Williams <graham@theplanningplace.com.au>
Sent: Tuesday, 19 January 2016 4:50 PM
To: 'yang design'; a.pekol@ptt.com.au; Ben Byrnes; Shane Herman; brisbane@jwaec.com.au; kirsty@jwaec.com.au
Cc: ian@theplanningplace.com.au
Subject: Application Reference: DEV2015/727 - 820 Greenbank Road, Greenbank

Follow Up Flag: Follow up
Flag Status: Completed

Hi all,

**RE: Application Reference: DEV2015/727 – 820 Greenbank Road, Greenbank
Proposed Reconfiguring of a Lot (1 into 12 industrial lots)**

With regard to the above development application, please see below the following update.

The application was deemed to be properly made on 23 November 2015. The Department of Infrastructure, Local Government and Planning (DILGP) advised it will not be issuing a Further Information Request and undertaking a public notification process will not be required. As such, the application is in the decision making stage, in which the DILGP has 40 business days from the properly made date to issue a decision on the application.

To facilitate a decision on the application please see below comments received from the DILGP. Whilst I have requested if there is scope for these requests to be conditioned in the decision and approval package, I have not yet received a response to this request. In the interim, to expedite the assessment and decision making process, if you could please provide your respective feedback and responses (as highlighted) that would be appreciated.

Hi Graham

I have received some comments

1. *We need more clarity about the proposed road layout and in particular about the intersection of the proposed industrial collector with Greenbank Road. An amended concept roads plan and cross sections in accordance with the recommendations of the **Traffic Engineering Report** should be submitted. The amended plans shall include:*
 - a. *a CHR and BAL on Greenbank Road demonstrating that the turning lanes can be constructed within the existing road reserve;*
 - b. *provision for future installation of signals (by others);*
 - c. *cross sections of Greenbank Road and the industrial collector in the proximity of the intersection with travel lanes having a minimum width of 4.0m (with the exception of turning lanes);*
 - d. *temporary turnaround at the end of the industrial access road shown on the plan and addressing its impact on the proposed adjoining lots.*
 - e. *2.5m road dedications on the north side of Willowbrook Road.*
2. *The **proposed stormwater management** devices will provide an adequate technical solution, however we need to ensure that LCC is satisfied with the proposal as this will become their asset. However, we can include this requirement as a condition of approval.*
3. *The **Ecologist report** and planning report state that there will be clearing of Koala Habitat. This clearing may require an EPBC approval prior to any clearing activities being undertaken. Can you please advise if EPBC approval for this clearing has been sought or given?*

Regards

Brandon Bouda
Principal Planner, EDQ Development Assessment
Department of Infrastructure, Local Government and Planning
Level 5, 63 George St Brisbane QLD 4000
p. 07 3452 7422 | e. brandon.bouda@dilqp.qld.gov.au

Please contact me if you require any further information in this matter.

Thank you

Regards,

Graham Williams
BURP GDEnvMgt
Senior Town Planner



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