

# PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2015/730

Date: 18/10/16



## LEGEND

|  |                            |  |                                                     |
|--|----------------------------|--|-----------------------------------------------------|
|  | BUILD TO BOUNDARY LINE     |  | BUILDING ENVELOPE<br>SUGGESTED DRIVEWAY<br>LOCATION |
|  | NO VEHICULAR ACCESS        |  |                                                     |
|  | PROPOSED STAGE<br>BOUNDARY |  |                                                     |

## SETBACK TABLE

|        | LOT TYPE              | FRONT<br>PRIMARY<br>FRONTAGE | REAR AND<br>SIDE (to wall) | BUILD TO<br>BOUNDARY | FIRST FLOOR<br>SIDE | CORNER LOTS -<br>SECONDARY<br>FRONTAGE |     |
|--------|-----------------------|------------------------------|----------------------------|----------------------|---------------------|----------------------------------------|-----|
| (P)    | PARKLAND              | Ground floor                 | 3.0                        | 0.9                  | N/A                 | 2.0                                    | 1.5 |
| (T1)   | TRADITIONAL 1         | Ground floor                 | 3.0                        | 0.9                  | N/A                 | 2.0                                    | 1.5 |
| (T2)   | TRADITIONAL 2         | Ground floor                 | 3.0                        | 0.9                  | N/A                 | 2.0                                    | 1.5 |
| (T3)   | TRADITIONAL 3         | Ground floor                 | 3.0                        | 0.9                  | N/A                 | 2.0                                    | 1.5 |
| (C1)   | COURTYARD 1           | Ground floor                 | 3.0                        | 0.9                  | 0.0                 | 1.0                                    | 1.5 |
| (C2)   | COURTYARD 2           | Ground floor                 | 3.0                        | 0.9                  | 0.0                 | 1.0                                    | 1.5 |
| (TCY1) | TOWN COURTYARD 1      | Ground floor                 | 3.0                        | 0.9                  | 0.0                 | 1.0                                    | 1.5 |
| (TCY2) | TOWN COURTYARD 2      | Ground floor                 | 3.0                        | 0.9                  | 0.0                 | 1.0                                    | 1.5 |
| (PV)   | PREMIUM VILLA         | Ground floor                 | 3.0                        | 0.9                  | 0.0                 | 1.0                                    | 1.5 |
| (TPV)  | TOWN PREMIUM VILLA    | Ground floor                 | 3.0                        | 0.9                  | 0.0                 | 1.0                                    | 1.5 |
| (V)    | VILLA                 | Ground floor                 | 3.0                        | 0.9                  | 0.0                 | 1.0                                    | 1.5 |
| (TV)   | TOWN VILLA            | Ground floor                 | 3.0                        | 0.9                  | 0.0                 | 1.0                                    | 1.5 |
| (CVC)  | TOWN COTTAGE          | Ground floor                 | 3.0                        | 0.9                  | 0.0                 | 1.0                                    | 1.5 |
| (SM)   | SHED LOT              | Ground floor                 | 3.0                        | 0.9                  | 0.0                 | 1.0                                    | 1.5 |
| (SCY)  | SUBSTANTIAL COURTYARD | Ground floor                 | 3.0                        | 0.9                  | 0.0                 | 1.0                                    | 1.5 |

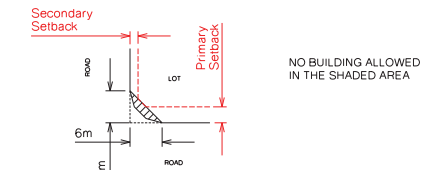
NOTE: ALL GARAGES MUST BE SETBACK 5.0M TO THE FRONT WALL AT THE GARAGE AND A FURTHER 240mm TO THE GARAGE DOOR.

## RETAINING WALL HEIGHT TABLE

| LOT TYPE            | Traditional | Town Courtyard | Premium Villa<br>Town Premium Villa<br>Town Cottage | Villa<br>Town Villa | Terrace | MFF (Multi Family<br>Freehold)<br>MFF (Multi Family<br>Leasehold) | Maximum<br>Retaining<br>Height |
|---------------------|-------------|----------------|-----------------------------------------------------|---------------------|---------|-------------------------------------------------------------------|--------------------------------|
| Front<br>Boundaries | 1.5         | 1.4            | 2.0                                                 | 1.0                 | 0.5     | 0.5                                                               | 1.0                            |
| Rear<br>Boundaries  | 1.0         | 0.7            | 0.0                                                 | 0.5                 | 0.5     | 0.5                                                               | 1.0                            |
| Side<br>Boundaries  | 1.0         | 0.7            | 0.0                                                 | 0.5                 | 0.5     | 0.5                                                               | 1.0                            |
| Rear<br>Boundaries  | 1.5         | 1.5            | 1.5                                                 | 1.5                 | 1.5     | 1.5                                                               | 1.5                            |

NOTE: RETAINING WALLS WITH A HEIGHT OF 1.0m OR MORE REQUIRE RPEQ CERTIFICATION

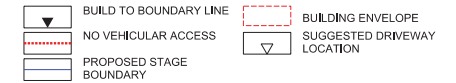
## SPECIAL SITING REQUIREMENTS FOR CORNER ALLOTMENTS



THESE CRITERIA MUST BE READ IN CONJUNCTION  
WITH RESIDENTIAL PLAN OF DEVELOPMENT  
SHEET 4 OF 4 [DGN No P02.V05.ROL7-POD160907] -  
DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT

## PRECINCT TWO - VILLAGE 5 (APPLICATION SEVEN) RESIDENTIAL PLAN OF DEVELOPMENT

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**LEGEND**

**SETBACK TABLE**

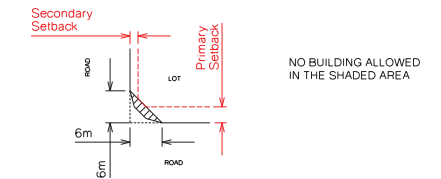
| LOT TYPE                 | FRONT +<br>PRIMARY<br>FRONTAGE | REAR AND<br>SIDE (to wall) | BUILD TO<br>BOUNDARY | FIRST FLOOR<br>SIDE | CORNER LOTS +<br>SECONDARY<br>FRONTAGE |
|--------------------------|--------------------------------|----------------------------|----------------------|---------------------|----------------------------------------|
| (P) PARKLAND             | Ground floor                   | 3.0                        | 0.9                  | N/A                 | 2.0 1.5                                |
| (T1) TRADITIONAL 1       | Ground floor                   | 3.0                        | 0.9                  | N/A                 | 2.0 1.5                                |
| (T2) TRADITIONAL 2       | Ground floor                   | 3.0                        | 0.9                  | N/A                 | 2.0 1.5                                |
| (T3) TRADITIONAL 3       | Ground floor                   | 3.0                        | 0.9                  | N/A                 | 1.9 1.5                                |
| (C1) COURTYARD 1         | Ground floor                   | 3.0                        | 0.9                  | 0.0                 | 1.0 1.5                                |
| (C2) COURTYARD 2         | Ground floor                   | 3.0                        | 0.9                  | 0.0                 | 1.0 1.5                                |
| (TCY1) TOWN COURTYARD 1  | Ground floor                   | 3.0                        | 0.9                  | 0.0                 | 1.0 1.5                                |
| (TCY2) TOWN COURTYARD 2  | Ground floor                   | 3.0                        | 0.9                  | 0.0                 | 1.0 1.5                                |
| (PV) PREMIUM VILLA       | Ground floor                   | 3.0                        | 0.9                  | 0.0                 | 1.0 1.5                                |
| (TPV) TOWN PREMIUM VILLA | Ground floor                   | 3.0                        | 0.9                  | 0.0                 | 1.0 1.5                                |
| (V) VILLA                | Ground floor                   | 3.0                        | 0.9                  | 0.0                 | 1.0 1.5                                |
| (TV) TOWN VILLA          | Ground floor                   | 3.0                        | 0.9                  | 0.0                 | 1.0 1.5                                |
| (CVC) TOWN COVAGE        | Ground floor                   | 3.0                        | 0.9                  | 0.0                 | 1.0 1.5                                |
| (SMT) SHARED LOT         | Ground floor                   | 3.0                        | 0.9                  | 0.0                 | 1.0 1.5                                |
| (CSD) SHARED COURTYARD   | Ground floor                   | 3.0                        | 0.9                  | 0.0                 | 1.0 1.5                                |

NOTE: ALL GARAGES MUST BE SETBACK 5.0M TO THE FRONT WALL AT THE GARAGE AND A FURTHER 240mm TO THE GARAGE DOOR.

**RETAINING WALL HEIGHT TABLE**

| LOT TYPE       | Traditional | Town Courtyard | Premium Villa Town Cottage | Villa Town Villa | Terrace | MFF (Multi Family Freehold) MFF (Multi Family Leasehold) | Maximum Retaining Height |
|----------------|-------------|----------------|----------------------------|------------------|---------|----------------------------------------------------------|--------------------------|
| Earthworks     |             |                |                            |                  |         |                                                          |                          |
| Front Boundary | 1.5         | 1.4            | 2.0                        | 1.0              | 0.5     | 0.5                                                      | 1.0                      |
| Rear Boundary  | 1.0         | 0.7            | 0.0                        | 0.0              | 0.5     | 0.5                                                      | 1.0                      |
| Side Boundary  | 1.0         | 0.7            | 0.0                        | 0.0              | 0.5     | 0.5                                                      | 1.0                      |
| Rear Boundary  | 1.5         | 1.4            | 2.0                        | 1.0              | 0.5     | 0.5                                                      | 1.0                      |

NOTE: RETAINING WALLS WITH A HEIGHT OF 1.0m OR MORE REQUIRE RPEQ CERTIFICATION

**SPECIAL SITING REQUIREMENTS FOR CORNER ALLOTMENTS**


THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 4 OF 4 [DGN No P02.V05.ROL7-POD160907] - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT

**PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL**

Approval no: DEV2015/730

Date: 18/10/16



# **PRECINCT TWO - VILLAGE 5 (APPLICATION SEVEN) RESIDENTIAL PLAN OF DEVELOPMENT**

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**LEGEND**

|  |                         |  |                             |
|--|-------------------------|--|-----------------------------|
|  | BUILD TO BOUNDARY LINE  |  | BUILDING ENVELOPE           |
|  | NO VEHICULAR ACCESS     |  | SUGGESTED DRIVEWAY LOCATION |
|  | PROPOSED STAGE BOUNDARY |  |                             |

**SETBACK TABLE**

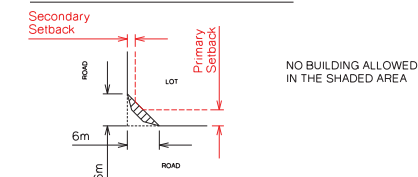
| LOT TYPE                |              | FRONT - PRIMARY FRONTAGE | REAR AND SIDE WALL | BUILD TO BOUNDARY | FIRST FLOOR SIDE | CORNER LOTS - SECONDARY FRONTAGE |
|-------------------------|--------------|--------------------------|--------------------|-------------------|------------------|----------------------------------|
| (P) PARKLAND            | Ground floor | 3.0                      | 0.9                | N/A               | 2.0              | 1.5                              |
| (T1) TRADITIONAL 1      | Ground floor | 3.0                      | 0.9                | N/A               | 2.0              | 1.5                              |
| (T2) TRADITIONAL 2      | Ground floor | 3.0                      | 0.9                | N/A               | 1.0              | 1.5                              |
| (T3) TRADITIONAL 3      | Ground floor | 3.0                      | 0.9                | N/A               | 1.0              | 1.5                              |
| (C1) COURTYARD 1        | Ground floor | 3.0                      | 0.9                | 0.9               | 1.0              | 1.5                              |
| (C2) COURTYARD 2        | Ground floor | 3.0                      | 0.9                | 0.9               | 1.0              | 1.5                              |
| (TCY1) TOWN COURTYARD 1 | Ground floor | 3.0                      | 0.9                | 0.9               | 1.0              | 1.5                              |
| (TCY2) TOWN COURTYARD 2 | Ground floor | 3.0                      | 0.9                | 0.9               | 1.0              | 1.5                              |
| (P2) PREMIUM VILLA      | Ground floor | 3.0                      | 0.9                | 0.9               | 1.0              | 1.5                              |
| (P3) TOWN PREMIUM VILLA | Ground floor | 3.0                      | 0.9                | 0.9               | 1.0              | 1.5                              |
| (V) VILLA               | Ground floor | 3.0                      | 0.9                | 0.9               | 1.0              | 1.5                              |
| (T) TOWN VILLA          | Ground floor | 3.0                      | 0.9                | 0.9               | 1.0              | 1.5                              |
| (TC) TOWN COTTAGE       | Ground floor | 3.0                      | 0.9                | 0.9               | 1.0              | 1.5                              |
| (SB) SQUAT COURTYARD    | Ground floor | 3.0                      | 0.9                | 0.9               | 1.0              | 1.5                              |

NOTE: ALL GARAGES MUST BE SETBACK 5.0M TO THE FRONT WALL AT THE GARAGE AND A FURTHER 240mm TO THE GARAGE DOOR.

**RETAINING WALL HEIGHT TABLE**

| LOT TYPE         | Traditional | Town Courtyard | Premium Villa | Villa | Terrace | MFF (Multi-Family) | Maximum Retaining Height |
|------------------|-------------|----------------|---------------|-------|---------|--------------------|--------------------------|
| Earthworks       | 1.5         | 1.4            | 1.3           | 1.3   | 0.5     | 0.5                | 1.5                      |
| Front Boundaries | 1.5         | 1.4            | 1.3           | 1.3   | 0.5     | 0.5                | 1.5                      |
| Side Boundaries  | 1.5         | 1.4            | 1.3           | 1.3   | 0.5     | 0.5                | 1.5                      |
| Rear Boundaries  | 1.5         | 1.4            | 1.3           | 1.3   | 0.5     | 0.5                | 1.5                      |

NOTE: RETAINING WALLS WITH A HEIGHT OF 1.0m OR MORE REQUIRE RPED CERTIFICATION

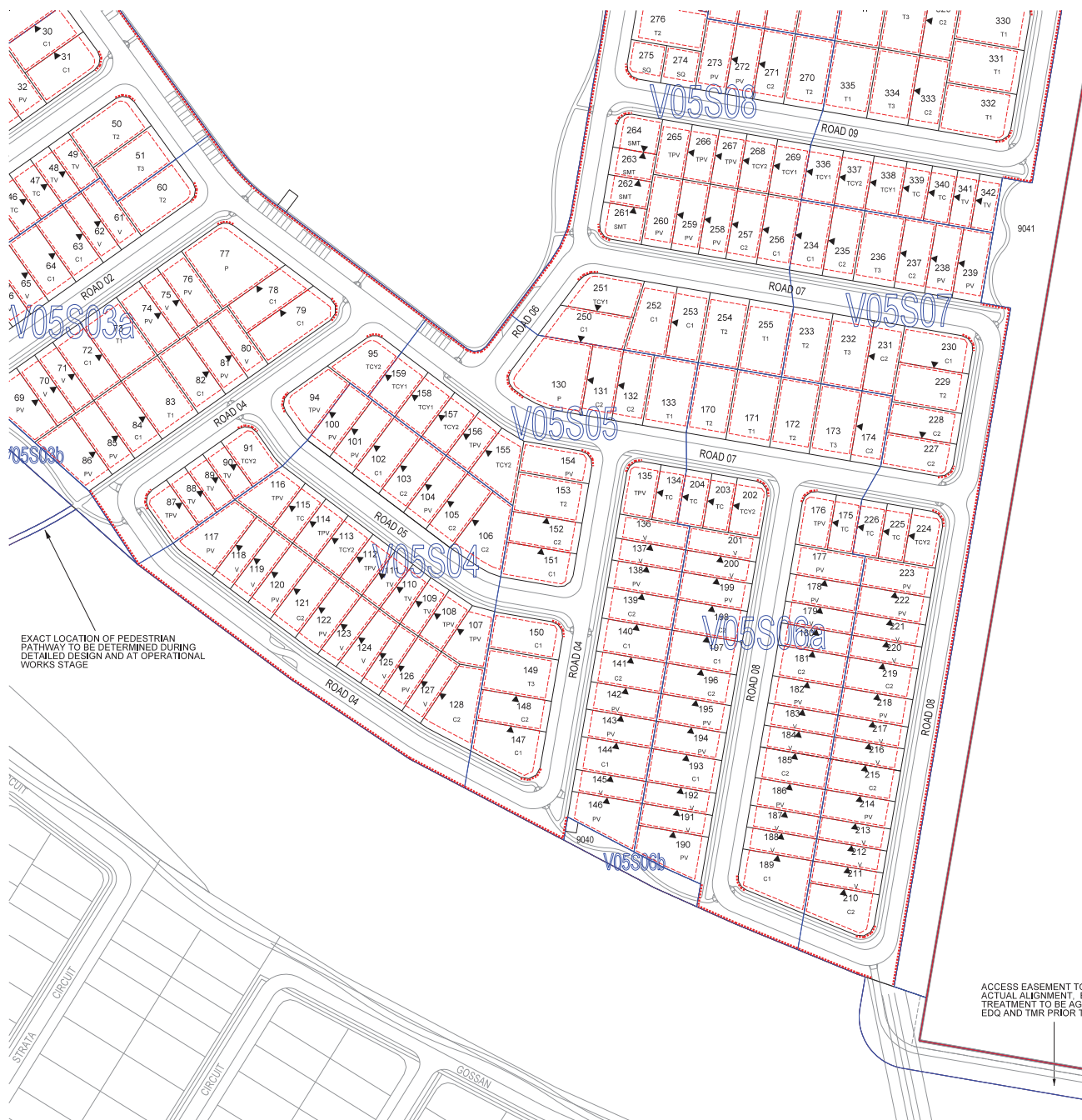
**SPECIAL SITING REQUIREMENTS FOR CORNER ALLOTMENTS**


THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEET 4 OF 4 [DGN No P02.V05.ROL7-P0D160907] - DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT

**PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL**

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ACCESS EASEMENT TO STEELE ROAD - ACTUAL ALIGNMENT, EXTENT AND TREATMENT TO BE AGREED WITH EDQ AND TMR PRIOR TO PLAN SEALING

# PRECINCT TWO - VILLAGE 5 (APPLICATION SEVEN) RESIDENTIAL PLAN OF DEVELOPMENT

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## DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT

1. General:
  - (i) Easements over infrastructure have not been shown which may affect setbacks. Eaves must not protrude into easements.
  - (ii) The maximum height of unattached buildings shall not exceed 8.5m and for attached buildings or lots greater than 450sqm a building height of 10.5m may be permitted as measured from the natural ground level.
  - (iii) It is assumed that the pad level of each block will be the average of the four corners of the block. Buildings will be built to this pad level unless the consent of property owners on both sides of the block is obtained to vary the pad level.
  - (iv) Where allotments are so marked, the house construction must comply with the current Australian Standard for Domestic Construction regarding acoustics (AS 3671:1989 Acoustic-Road traffic noise intrusion Building siting and construction) such that the indoor noise levels from AS/NZS 2107:2000 of 40dB(A) for bedrooms and 45dB(A) for living rooms are achieved.
2. Setbacks:
  - (i) Setbacks are as per the Setback Table included on the Plan of Development unless otherwise specified.
  - (ii) Setbacks to the first floor and second floor (where permitted) are the same as those of the ground floor excluding on built to boundary walls where any floors above the ground floor must be setback a minimum of 1.0 metre.
  - (iii) All setbacks are measured to the wall. No projection will be closer to a side boundary than 450mm including gutter or fascia, with the exception of any eave returning to a build to boundary wall.
  - (iv) Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
  - (v) The build to boundary line is nominated on this plan. The length of wall built to this boundary is not to exceed 15.0m (excluding the terrace product) unless specified otherwise in a Plan of Development. Parapets are considered to be a wall and are to comply with the Setback table included on the Plan of Development.
  - (vi) Buildings to be sited in accordance with the 'Special Siting Requirements for Corner Allotments.'
  - (vii) Front setbacks on corner lots are determined by the frontage that the front facade is addressing, for example, If the facade is facing the primary frontage it needs to be in accordance with the front setback.
3. Site Cover and Amenities:
  - (i) Site cover for each lot is not to exceed the following:
    - a.80% for dual attached lots;
    - b.70% for build to the boundary lots;
    - c.60% for lots that do not use a build to boundary;
  - (ii) Total outdoor private open space accessible from the ground floor dwelling, either covered or uncovered, should be generally flat without any fall exceeding 70mm vertical for every 1.0 m horizontally. The total outdoor space should equal at least 15% of the total site area.
4. Parking, Garages and Carports:
  - (i) It is the requirement that at least one covered space per dwelling is off street.
  - (ii) TCF product, excluding those on a corner lot must have a single or tandem garage integrated into the dwelling, are setback a minimum of 5.0m to the front wall at the garage and a further 240mm to the garage door. Corner lot TCF product can provide a double garage or carport on the secondary frontage at the rear of the house with a 1.0m side setback to the wall and a further 240mm to the garage door.
  - (iii) Carports must include a roof design, design features and materials which are consistent with the form and materials of the home.
  - (iv) Carports must include either a garage door at the front or screening to the rear.
  - (v) Garages for narrow lots (10m-12.49m) are to comply with Note 14 on this Plan of Development.
5. Driveways:
  - (i) The driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the construction of a driveway will be allowed. Where there is a footpath within the verge (either installed or to be installed post house construction) the material of the footpath including joints and edges must be maintained with the driveway commencing from either edge.
  - (ii) Maximum driveway grades within lots must not exceed 1:5, or 1:4 with transitions at both ends of the driveway.
  - (iii) Driveways must be offset at least 300mm from the side property boundary.
  - (iv) Driveways must be completed prior to occupation and be located as shown on the approved Functional Layout Roadworks Plan, unless otherwise agreed to by DSDP.
  - (v) Driveways across the verge must comply with the local council requirements and widths cannot exceed 3.0m for a single garage or 5.0m for a double garage.
  - (vi) Driveways are to accord with Logan City Council's standards. Prior to construction, approval from Logan City Council for Vehicular Access to Residential Premises is required
6. Retaining Walls, Earthworks and Sloping Land:
  - (i) Retaining wall heights must not exceed those nominated in the Retaining Wall Heights table included on the Residential Plan of Development.
  - (ii) If these requirements are not able to be achieved, construction methods other than slab on ground construction are to be used. If elevated construction is to be used, under floor services must be located or screened to minimise their appearance to adjoining properties and public spaces.
  - (iii) Retaining walls along street or park frontages cannot exceed 1.0 m in height. A planted strip of a minimum width of 500mm must exist between any terraced retaining walls.
  - (iv) Retaining walls to side boundaries between lots cannot exceed 1.8metres high at the front wall of the house and must taper down forward of the house.
  - (v) Retaining walls over 900mm high require a 1 metre high fence above the wall and adequate landscape screening.
  - (vi) Where the block allows for build to the boundary, the build to the boundary wall must be projected to 150mm below the likely pad level of the adjacent block. The pad level can be assumed to be the average of the four corners of the adjacent block using the As Built levels. The build down of the build to boundary wall must be in a material consistent with the wall above it.
  - (vii) The front wall of the home must not be more than 50% below the midpoint level of the front boundary.

7. External Building Materials:
  - No raw, unfinished or untreated materials are permitted for external building works. This includes galvanised iron, zinc or aluminium coated steel, corrugated or unpainted fibre cement sheeling and bare, painted or uncoloured concrete block work or common bricks. Other materials will be considered on their architectural merits eg natural stone.
8. Front Facade Articulation:
  - (i) Facades of the home fronting the street must include a highly visible entry and include a substantial verandah, or include two materials or finishes to the entry.
  - (ii) Single storey homes must include articulation between the alignment of the front wall and the garage on the primary frontage. The minimum acceptable alignment variation is 560mm. Except of narrow lots (10m -12.49m in width - refer note 14) garages are permitted to be a maximum 1.0m forward of the front building wall where the roof of the entry is positioned forward of the roof of the garage.
  - (iii) Double storey homes which incorporate a minimum depth verandah or balcony to the first floor to at least 40% of the front elevation width do not require articulation between the alignment of the front wall and the garage.
9. Homes with more than one Visible Facade (Corner Homes):
  - Homes on corners or with park frontage must provide feature windows and detailing to match the front elevation along the secondary frontage or extend the detailing of the priority street facade to the front four metres of the secondary frontage.
10. Fencing:
  - (i) No front fencing is desirable on primary street frontages in order to ensure the predominance of landscaping in front of buildings.
  - (ii) Any fencing on the primary street frontage is to be a maximum of 1.2 metres in height and decorative in style, with the exception of regulation fencing required around pools.
  - (iii) Fencing up to 1.5 m in height will be permitted on primary street frontages if it is:
    - a, an open style fence that is 50% transparent, or
    - b, is a courtyard wall constructed of face brickwork or masonry piers with coloured render or textured finish, or
    - c, is of architectural merit.
  - (iv) Fencing provided to a secondary street frontage can be up to 1.8 metres in height and must be decorative fencing.
  - (v) All side fencing must either return to the house a minimum of 1.0 metre behind the front building line or continue forward of the front building line as decorative fencing.
  - (vi) Decorative fencing is to be constructed of rendered and painted masonry piers or painted or stained posts, with infill panels of coloured metal tube, painted or stained timber palings or horizontal battens. Timber paling fences will only be accepted if they are painted in a colour which complements the design of the home, and treated with decorative capping or trims and provided with pronounced posts.
  - (vii) Secondary Fencing must finish four metres behind the front wall of your home.
  - (viii) Untreated or coloured metal sheeling, fibrous cement or non-decorative timber fencing is not acceptable as a decorative fence.
  - (ix) Fencing and retaining walls erected by Lend Lease must not be altered, removed or modified in any way, without the prior written approval from Lend Lease.
11. Landscaping:
  - (i) At least 50% of your front yard is landscaped with grass and/or garden beds. A significant portion of this area must include gardens with trees and/or shrubs capable of growing to 3 metres tall and at least 600mm high at the time of planting
  - (ii) Please refer to the preferred Yarrabilba plant species list for guidance.
12. Outdoor Structure and Services
  - (i) All outdoor structures visible from the street or public spaces including but not limited to, roof or wall mounted air-conditioning units, satellite dishes, antennas, water tanks and clotheslines must be suitably screened and located to minimise detrimental visual impact.
  - (ii) Solar panels and collectors for hot water units are the exception to this standard when orientated to maximise their effectiveness.
13. Build to Boundary Wall Lengths
  - (i) The maximum length of build to boundary for any TCF product shall be 18m.
14. Garages on Narrow Lots - Residential Lots (10m -12.49m in width)  
Garages for Lots between 10m -12.49m in width must adhere to the following design criteria
  - 14.1 The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
  - 14.2 The garage door
    - i Width must not exceed 4.8m;
    - ii Must have a 450mm eave above it;
    - iii Must be setback a minimum of 240mm behind the pillar of the garage door; and
    - iv Must have a sectional, tilt or roller door.
  - 14.3. The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following
    - i A front entrance door and windows with a side light,
    - ii A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
    - iii The verandah, portico or porch is to include front piers with distinct materials and/or colours
15. Driveways on narrow Lots - Residential Lots 910m - 12.49m in width)  
Driveways cannot exceed 3.0m across the verge on lots between 10m and 12.49m wide.

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Date: 18/10/16



THESE CRITERIA MUST BE READ IN CONJUNCTION WITH RESIDENTIAL PLAN OF DEVELOPMENT SHEETS 1 TO 3 [Dgn No. P02.V05.ROL7-POD160907]

## PRECINCT TWO - VILLAGE 5 (APPLICATION SEVEN) RESIDENTIAL PLAN OF DEVELOPMENT

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**LEGEND**

-  YARRABILBA SITE BOUNDARY
-  RECONFIGURATION OF A LOT APPLICATION SEVEN

| LOT YIELD            |          |              |                   | LOT AREA        |                     |  |
|----------------------|----------|--------------|-------------------|-----------------|---------------------|--|
| Lot Type             | No. Lots | % Total Lots | Average Size      | % of Total Area | Area                |  |
| P                    | 4        | 1.29%        | 871m <sup>2</sup> | 2.68%           | 3485m <sup>2</sup>  |  |
| T1                   | 17       | 5.47%        | 646m <sup>2</sup> | 8.46%           | 10996m <sup>2</sup> |  |
| T2                   | 11       | 3.54%        | 582m <sup>2</sup> | 4.93%           | 6407m <sup>2</sup>  |  |
| T3                   | 6        | 1.93%        | 601m <sup>2</sup> | 2.78%           | 3609m <sup>2</sup>  |  |
| C1                   | 30       | 9.65%        | 511m <sup>2</sup> | 11.80%          | 15339m <sup>2</sup> |  |
| C2                   | 42       | 13.50%       | 471m <sup>2</sup> | 15.23%          | 19796m <sup>2</sup> |  |
| PV                   | 62       | 19.94%       | 421m <sup>2</sup> | 20.10%          | 26132m <sup>2</sup> |  |
| V                    | 41       | 13.18%       | 325m <sup>2</sup> | 10.26%          | 13346m <sup>2</sup> |  |
| TCY1                 | 8        | 2.57%        | 391m <sup>2</sup> | 2.41%           | 3132m <sup>2</sup>  |  |
| TCY2                 | 13       | 4.18%        | 371m <sup>2</sup> | 3.72%           | 4834m <sup>2</sup>  |  |
| TPV                  | 30       | 9.65%        | 333m <sup>2</sup> | 7.70%           | 10015m <sup>2</sup> |  |
| TV                   | 18       | 5.79%        | 254m <sup>2</sup> | 3.52%           | 4579m <sup>2</sup>  |  |
| TC                   | 21       | 6.75%        | 294m <sup>2</sup> | 4.76%           | 6190m <sup>2</sup>  |  |
| SQ                   | 4        | 1.29%        | 259m <sup>2</sup> | 0.80%           | 1038m <sup>2</sup>  |  |
| SMT                  | 4        | 1.29%        | 280m <sup>2</sup> | 0.85%           | 1122m <sup>2</sup>  |  |
| Total Number of Lots |          | 311          |                   |                 |                     |  |

MINIMUM RESIDENTIAL DENSITY 21,189/ha  
311 du  
14,67 du/ha

MAXIMUM RESIDENTIAL DENSITY 21,189/ha  
311 du  
14,67 du/ha

| LAND USE BUDGET                                                    | ha     |
|--------------------------------------------------------------------|--------|
| RESIDENTIAL                                                        | 13,004 |
| NEW ROAD - LOCAL                                                   | 6,372  |
| OPEN SPACE LOCAL AND LINEAR                                        | 1,728  |
| PUMP STATION                                                       | 0.085  |
| SUB-TOTAL                                                          | 21,189 |
| OTHER GREEN SPACE INCLUDING APPROX 8ha OF DISTRICT RECREATION PARK | 20,748 |
| PATHWAY TO VILLAGE 04 AND EMERGENCY EMT                            | 0,491  |
| TOTAL                                                              | 42,428 |

NOTE:  
MINIMUM DWELLINGS is based on the development of one dwelling on each single family lot.

DENSITY calculations include the area of residential lots, local roads and local parks.

The boundaries, roads and pathways shown herein are subject to detailed engineering design, final survey and approval of subsequent development applications by the relevant authorities.

**PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL**

Approval no: **DEV2015/730**

Date: **18/10/16**



## PRECINCT TWO - VILLAGE 5 (APPLICATION SEVEN) RECONFIGURATION OF A LOT

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**LEGEND**

| LOT TYPE                    |
|-----------------------------|
| PARKLAND (P)                |
| TRADITIONAL (T1, T2, T3)    |
| COURTYARD (C1, C2)          |
| PREMIUM VILLA (PV)          |
| VILLA (V)                   |
| TOWN COURTYARD (TCY1, TCY2) |
| TOWN PREMIUM VILLA (TPV)    |
| TOWN VILLA (TV)             |
| TOWN COTTAGE (TC)           |
| TERRACE FRONT LOADED (TCF)  |
| SQUAT COURTYARD (SQ)        |
| SMART LOT (SMI)             |



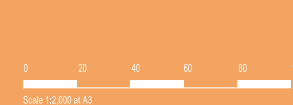
**PLANS AND DOCUMENTS**  
referred to in the PDA  
**DEVELOPMENT APPROVAL**  
Approval no: DEV2015/730  
Date: 18/10/16


**NOTE:**

The boundaries, roads and pathways shown hereon are subject to detailed engineering design, final survey and approval of subsequent development applications by the relevant authorities.

## PRECINCT TWO - VILLAGE 5 (APPLICATION SEVEN) RECONFIGURATION OF A LOT

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**LEGEND**

| LOT TYPE                    |
|-----------------------------|
| PARKLAND (P)                |
| TRADITIONAL (T1, T2, T3)    |
| COURTYARD (C1, C2)          |
| PREMIUM VILLA (PV)          |
| VILLA (V)                   |
| TOWN COURTYARD (TCY1, TCY2) |
| TOWN PREMIUM VILLA (TPV)    |
| TOWN VILLA (TV)             |
| TOWN COTTAGE (TC)           |
| TERRACE FRONT LOADED (TCF)  |
| SQUAT COURTYARD (SQ)        |
| SMART LOT (SMT)             |



**PLANS AND DOCUMENTS**  
referred to in the PDA  
**DEVELOPMENT APPROVAL**

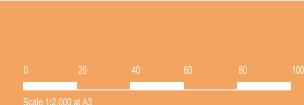
Approval no: DEV2015/730  
Date: 18/10/16


**NOTE:**

The boundaries, roads and pathways shown hereon are subject to detailed engineering design, final survey and approval of subsequent development applications by the relevant authorities.

## PRECINCT TWO - VILLAGE 5 (APPLICATION SEVEN) RECONFIGURATION OF A LOT

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**LEGEND**

| LOT TYPE                    |
|-----------------------------|
| PARKLAND (P)                |
| TRADITIONAL (T1, T2, T3)    |
| COURTYARD (C1, C2)          |
| PREMIUM VILLA (PV)          |
| VILLA (V)                   |
| TOWN COURTYARD (TCY1, TCY2) |
| TOWN PREMIUM VILLA (TPV)    |
| TOWN VILLA (TV)             |
| TOWN COTTAGE (TC)           |
| TERRACE FRONT LOADED (TCF)  |
| SQUAT COURTYARD (SQ)        |
| SMART LOT (SMT)             |



**PLANS AND DOCUMENTS**  
referred to in the PDA  
**DEVELOPMENT APPROVAL**

Approval no:DEV2015/730  
Date:18/10/16


**NOTE:**

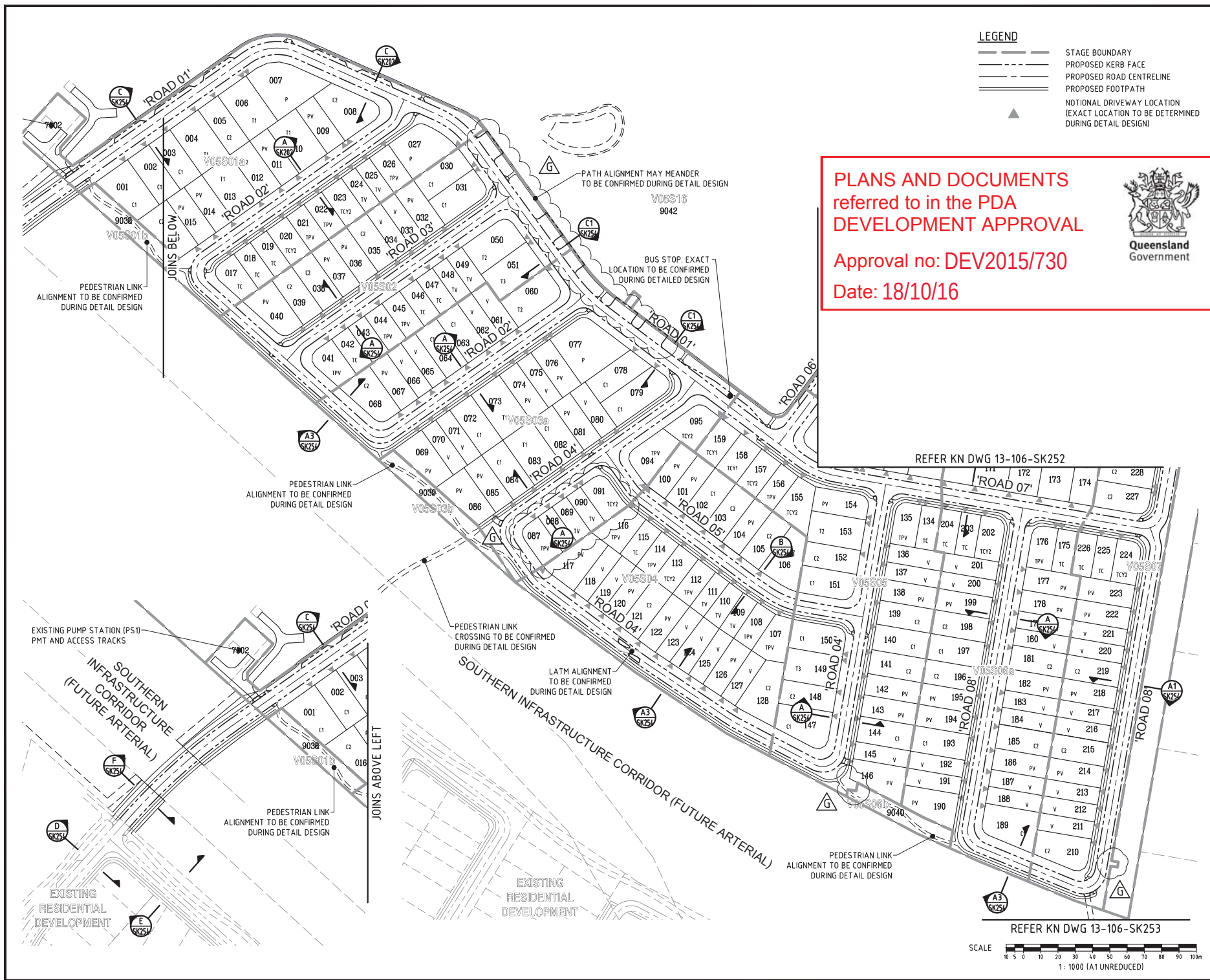
The boundaries, roads and pathways shown hereon are subject to detailed engineering design, final survey and approval of subsequent development applications by the relevant authorities.

# **PRECINCT TWO - VILLAGE 5 (APPLICATION SEVEN)** **RECONFIGURATION OF A LOT**

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LEGEND

- STAGE BOUNDARY
- PROPOSED KERB FACE
- PROPOSED ROAD CENTRELINE
- PROPOSED FOOTPATH
- NOTIONAL DRIVEWAY LOCATION (EXACT LOCATION TO BE DETERMINED DURING DETAIL DESIGN)

**PLANS AND DOCUMENTS**  
referred to in the PDA  
**DEVELOPMENT APPROVAL**

Approval no: DEV2015/730  
Date: 18/10/16



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LOCALITY PLAN

YARRABILBA PRECINCT 2

REVISIONS

| No | Description                 | Date     | By    |
|----|-----------------------------|----------|-------|
| A  | APPROVAL                    | OCT/15   | L.O.C |
| B  | DRIVEWAY LOCATIONS ADDED    | 23/11/15 | EL    |
| C  | LATM ADDED                  | 02/02/16 | IOC   |
| D  | FUTURE WIRING AREA AMENDED  | 22/02/16 | EL    |
| E  | ROAD WIDEN AND LOTS AMENDED | 08/03/16 | IOC   |
| F  | FOOTPATHS & BUS BAY AMENDED | 02/08/16 | JAS   |
| G  | LOT LAYOUT AMENDED          | 29/08/16 | JAS   |

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Client

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Project

**YARRABILBA**

PRECINCT 2  
PRELIMINARY PLANNING  
FUNCTIONAL DRAWINGS

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EMAIL kngrp@knpl.com.au  
ABN 35 112 053 611

Approved - RPEQ 12805

Drawing Title

**V05 FUNCTIONAL LAYOUT  
ROADWORKS PLAN  
SHEET 1**

| Drawn | Designed | Checked | Date   |
|-------|----------|---------|--------|
| L.O.C | L.O.C    | GBG     | OCT 15 |

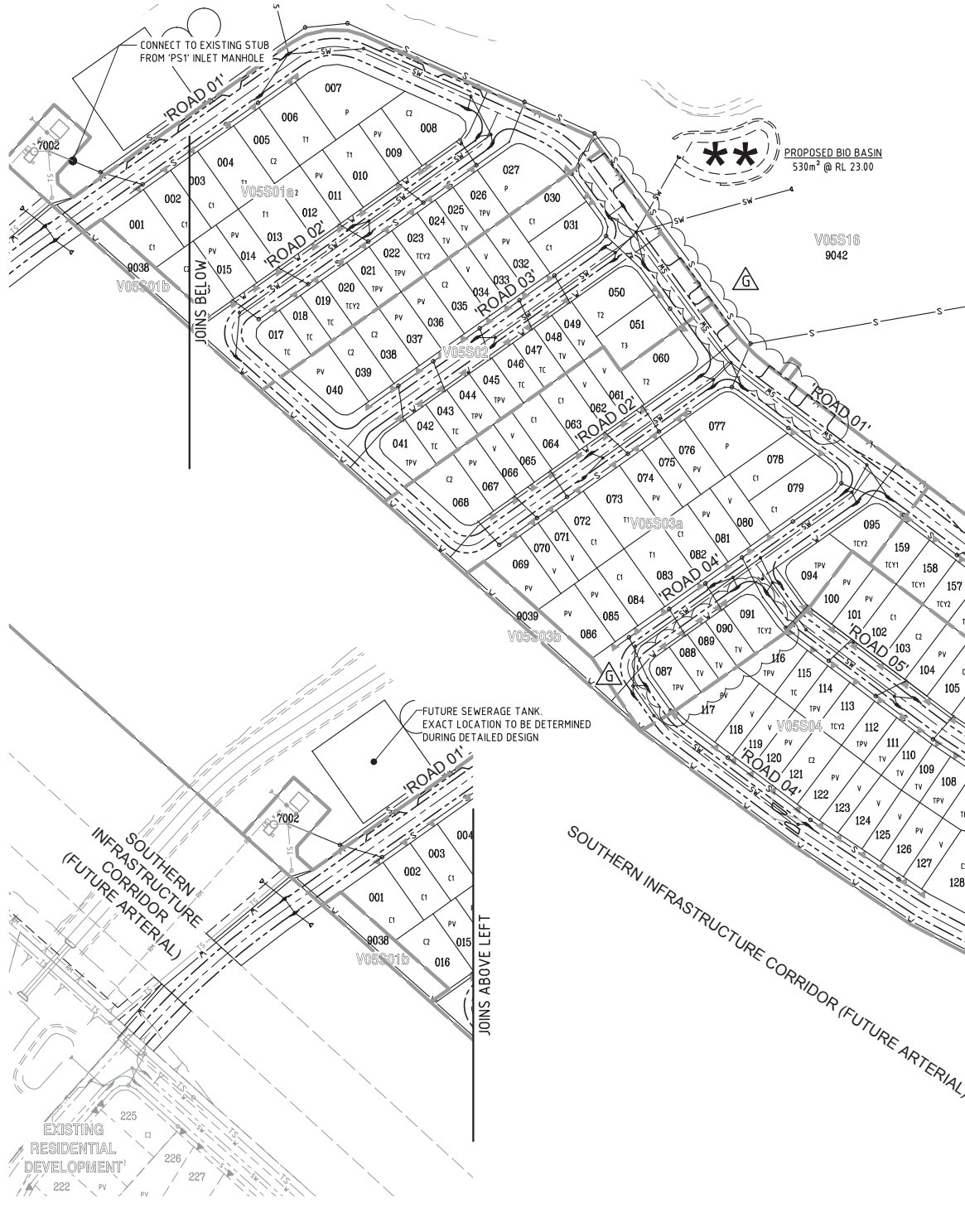
| Scale    | Drawing No   | Sheet  | Revision |
|----------|--------------|--------|----------|
| AS SHOWN | 13-106-SK251 | 1 of - | G        |



SCALE  1 : 1000 (A1 UNREDUCED)







**LEGEND**

- STAGE BOUNDARY
- PROPOSED KERB FACE
- PROPOSED SEWER
- PROPOSED STORMWATER
- PROPOSED WATER
- EXISTING TRUNK SEWER
- EXISTING SEWER RISING MAIN
- EXISTING STORMWATER
- EXISTING WATER
- BIO BASIN/SEDIMENT POND
- REFER DESIGNFLOW'S REPORT: SMP - COMBINED PRECINCT 1 AND PRECINCT 2
- NOTIONAL DRIVEWAY LOCATION (EXACT LOCATION TO BE DETERMINED DURING DETAIL DESIGN)

**\*\***

**PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL**

Approval no: DEV2015/730

Date: 18/10/16



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**LOCALITY PLAN**



**REVISIONS**

| No | Description                         | Date     | By    |
|----|-------------------------------------|----------|-------|
| A  | APPROVAL                            | OCT/15   | L.O.C |
| B  | DRIVEWAY LOCATIONS ADDED            | 23/11/15 | EL    |
| C  | LATH ADDED AND SEWER LAYOUT AMENDED | 02/02/16 | IOC   |
| D  | SEWERAGE TANK ADDED                 | 22/02/16 | EL    |
| E  | ROAD WIDEN AND LOTS AMENDED         | 08/03/16 | IOC   |
| F  | SERVICES AMENDED                    | 02/08/16 | JAS   |
| G  | LOT LAYOUT AMENDED                  | 29/08/16 | JAS   |

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**Project**

  
**PRECINCT 2**  
**PRELIMINARY PLANNING**  
**FUNCTIONAL DRAWINGS**

  
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CONSULTANTS ENGINEERS

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ABN 35 112 053 611

Approved - RPEQ 12805

**Drawing Title**

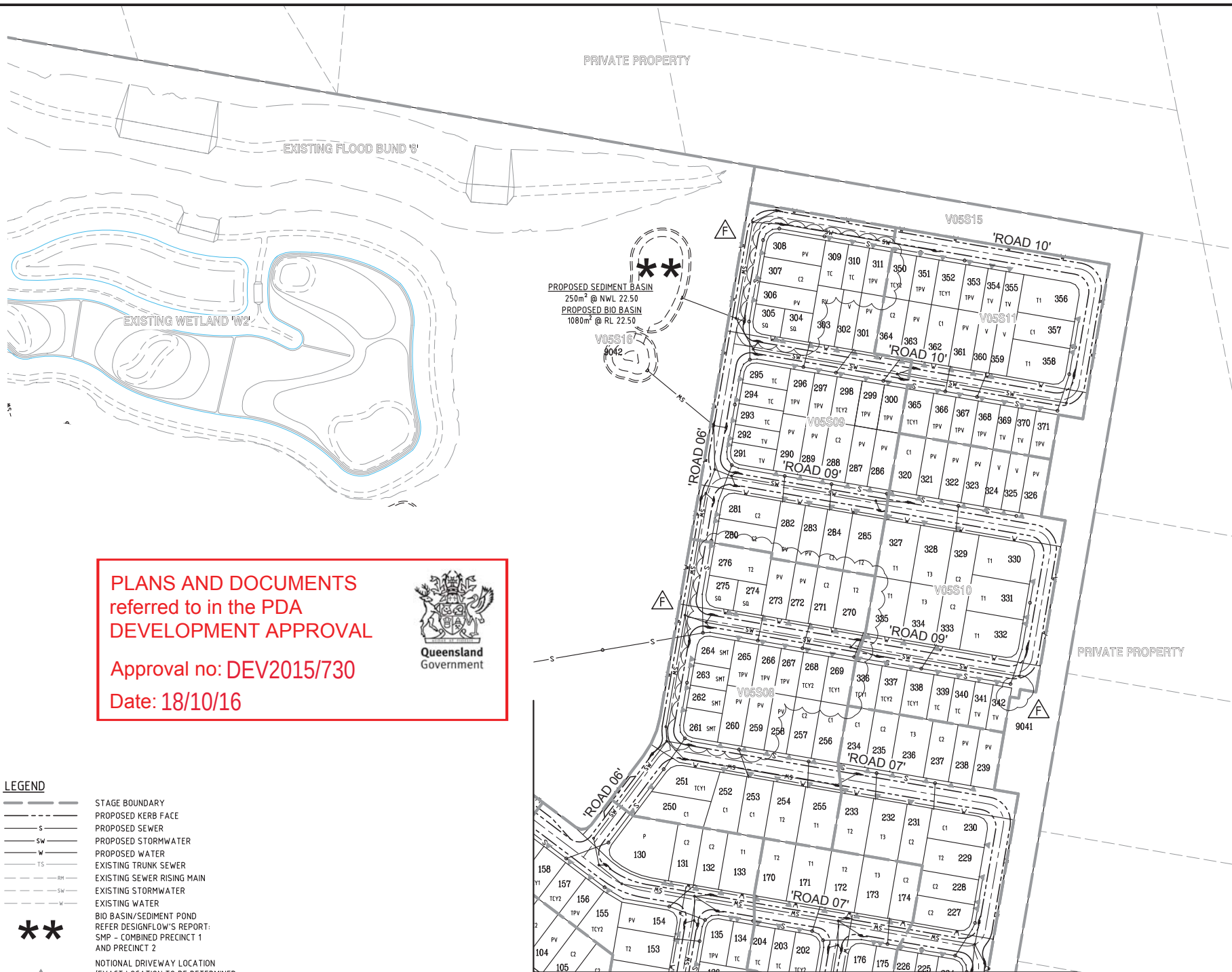
**V05 FUNCTIONAL LAYOUT**  
**SERVICES PLAN**  
**SHEET 1**

| Drawn | Designed | Checked | Date   |
|-------|----------|---------|--------|
| L.O.C | L.O.C    | GBG     | OCT 15 |

Scale

| Sheet  | Revision |
|--------|----------|
| 5 of - |          |

| Drawing No      | Revision |
|-----------------|----------|
| A1 13-106-SK255 | G        |



**PLANS AND DOCUMENTS**  
**referred to in the PDA**  
**DEVELOPMENT APPROVAL**

Approval no: DEV2015/730  
Date: 18/10/16



LEGEND

- STAGE BOUNDARY
- PROPOSED KERB FACE
- PROPOSED SEWER
- PROPOSED STORMWATER
- PROPOSED WATER
- EXISTING TRUNK SEWER
- EXISTING SEWER RISING MAIN
- EXISTING STORMWATER
- EXISTING WATER
- BIO BASIN/SEDIMENT POND
- REFER DESIGNFLOW'S REPORT:
- SMP - COMBINED PRECINCT 1 AND PRECINCT 2
- NOTIONAL DRIVEWAY LOCATION (EXACT LOCATION TO BE DETERMINED DURING DETAIL DESIGN)

DO NOT SCALE THIS DRAWING  
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NORTH

LOCALITY PLAN

YARRABILBA PRECINCT 2

YARRABILBA

REVISIONS

| No | Description                         | Date     | By    |
|----|-------------------------------------|----------|-------|
| A  | APPROVAL                            | OCT/15   | L.O.C |
| B  | DRIVEWAY LOCATIONS ADDED            | 23/11/15 | EL    |
| C  | LATH ADDED AND SEWER LAYOUT AMENDED | 02/02/16 | IOC   |
| D  | ROAD WIDEN                          | 08/03/16 | IOC   |
| E  | SERVICES AMENDED                    | 02/08/16 | JAS   |
| F  | LOT LAYOUT AMENDED                  | 29/08/16 | JAS   |

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Client

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Project

YARRABILBA

PRECINCT 2  
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FUNCTIONAL DRAWINGS

KN GROUP PTY LTD  
CONSULTANCY ENGINEERS

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FAX 07 3017 1911  
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ABN 35 112 053 611

Approved - RPEQ 12805

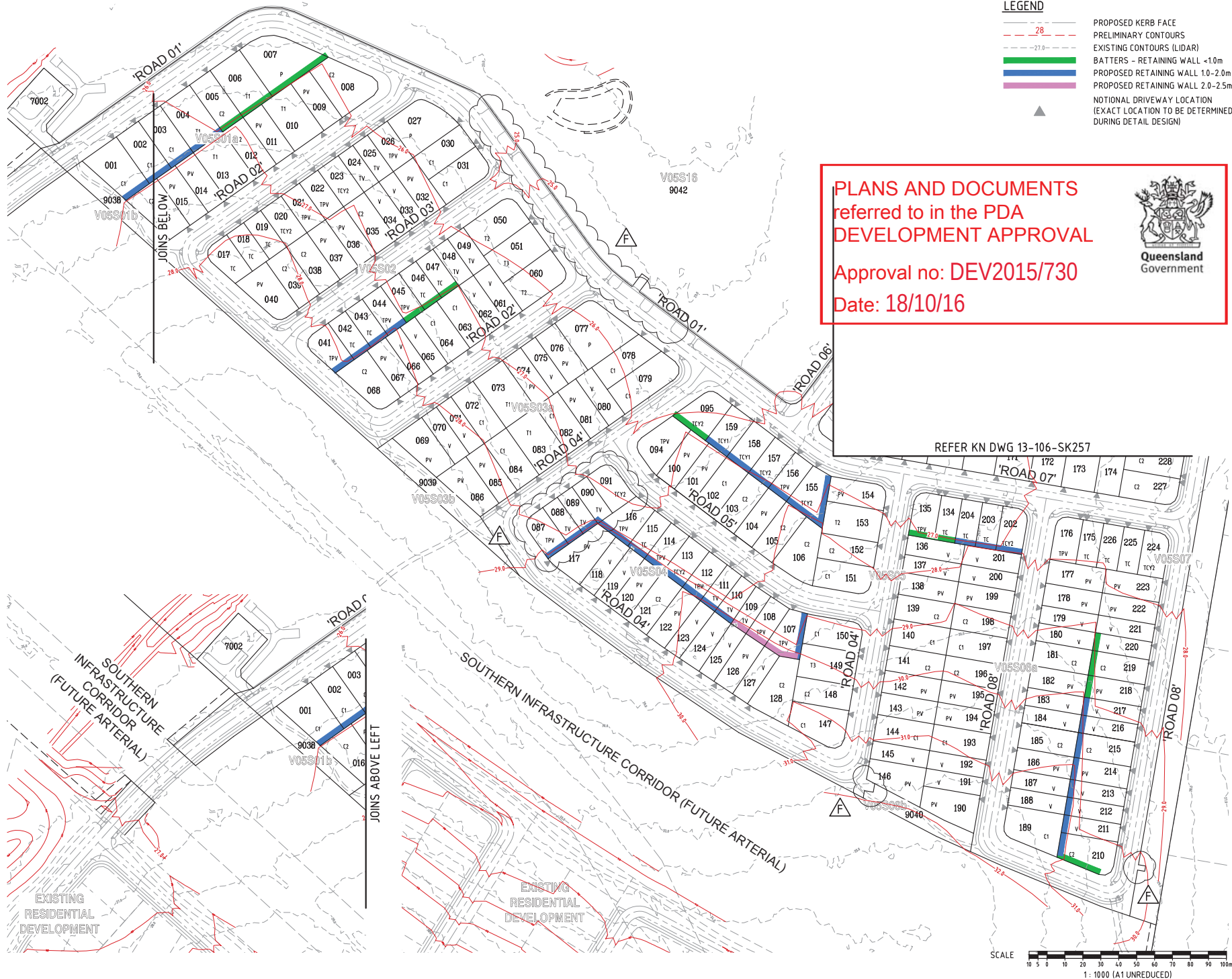
Drawing Title

V05 FUNCTIONAL LAYOUT  
SERVICES PLAN  
SHEET 2

| Drawn | Designed | Checked | Date   |
|-------|----------|---------|--------|
| L.O.C | L.O.C    | GBG     | OCT 15 |

| Scale | Sheet        | 6 of - |
|-------|--------------|--------|
| A1    | 13-106-SK256 | F      |





#### LEGEND

- PROPOSED KERB FACE
- PRELIMINARY CONTOURS
- EXISTING CONTOURS (LIDAR)
- BATTERS - RETAINING WALL <1.0m
- PROPOSED RETAINING WALL 1.0-2.0m
- PROPOSED RETAINING WALL 2.0-2.5m
- NOTIONAL DRIVEWAY LOCATION (EXACT LOCATION TO BE DETERMINED DURING DETAIL DESIGN)

## PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2015/730

Date: 18/10/16



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LOCALITY PLAN

YARRABILBA PRECINCT 2

YARRABILBA

REVISIONS

| No | Description                 | Date     | By     |
|----|-----------------------------|----------|--------|
| A  | APPROVAL                    | OCT/15   | L.O.C. |
| B  | DRIVEWAY LOCATIONS ADDED    | 23/11/15 | EL     |
| C  | LATM ADDED                  | 02/02/16 | IOC    |
| D  | ROAD WIDTH AND LOTS AMENDED | 08/03/16 | IOC    |
| E  | FOOTPATHS & BUS BAY AMENDED | 02/08/16 | JAS    |
| F  | LOT LAYOUT AMENDED          | 29/08/16 | JAS    |

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Project

**YARRABILBA**

PRECINCT 2  
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FUNCTIONAL DRAWINGS

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EMAIL kngrp@knpl.com.au  
ABN 35 112 053 611

Approved - RPEQ 12805

Drawing Title

V05 FUNCTIONAL LAYOUT  
EARTHWORKS PLAN  
SHEET 1

| Drawn  | Designed | Checked | Date   |
|--------|----------|---------|--------|
| L.O.C. | L.O.C.   | GBG     | OCT 15 |

| Scale    | Sheet  |
|----------|--------|
| AS SHOWN | 7 of - |

| Drawing No | Revision     |
|------------|--------------|
| A1         | 13-106-SK257 |

| Revision |
|----------|
| F        |

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LOCALITY PLAN



| No | Description              | Date     | By  |
|----|--------------------------|----------|-----|
| A  | APPROVAL                 | 03/11/15 | EL  |
| B  | DRAINAGE LOCATIONS ADDED | 23/11/15 | EL  |
| C  | LOT AREA ADDED           | 02/02/16 | ICC |
| D  | ROAD WIDEN               | 02/02/16 | ICC |
| E  | FOOTPATH AMENDED         | 02/08/16 | JAS |
| F  | LOT LAYOUT AMENDED       | 29/08/16 | JAS |

REVISIONS

ASSOCIATED CONSULTANTS

|                                                                                                                                                                                                           |                                                                                                                                                                                         |                                                                  |                                                       |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------|-------------------------------------------------------|
| <b>RPS</b><br>RPS Australia Group Pty Ltd<br>ACN 44 462 782<br>Level 4, 400 Queen Street, Brisbane<br>QLD 4000<br>Phone: 07 3017 1900<br>Fax: 07 3017 1911<br>Email: kng@rps.com.au<br>ABN 55 112 055 611 | <b>lendlease</b><br>lendlease Pty Ltd<br>Level 2, 71 Grey Street, South Brisbane<br>QLD 4101<br>Phone: 07 3017 1900<br>Fax: 07 3017 1911<br>Email: kng@rps.com.au<br>ABN 55 112 055 611 | <b>YARRABILBA</b><br>PRELIMINARY PLANNING<br>FUNCTIONAL DRAWINGS | <b>KN</b><br>KN GROUP PTY LTD<br>CONSULTING ENGINEERS |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------|-------------------------------------------------------|

Client

Project

Approved: 18/10/16

Approved: 18/10/16

Drawn: 106

Sheet: 2

Earthworks Plan

V05 FUNCTIONAL LAYOUT

DATE: 03/11/15

Checked: GBB

Design: LCC

Scale: 8 of 1

Revision: F

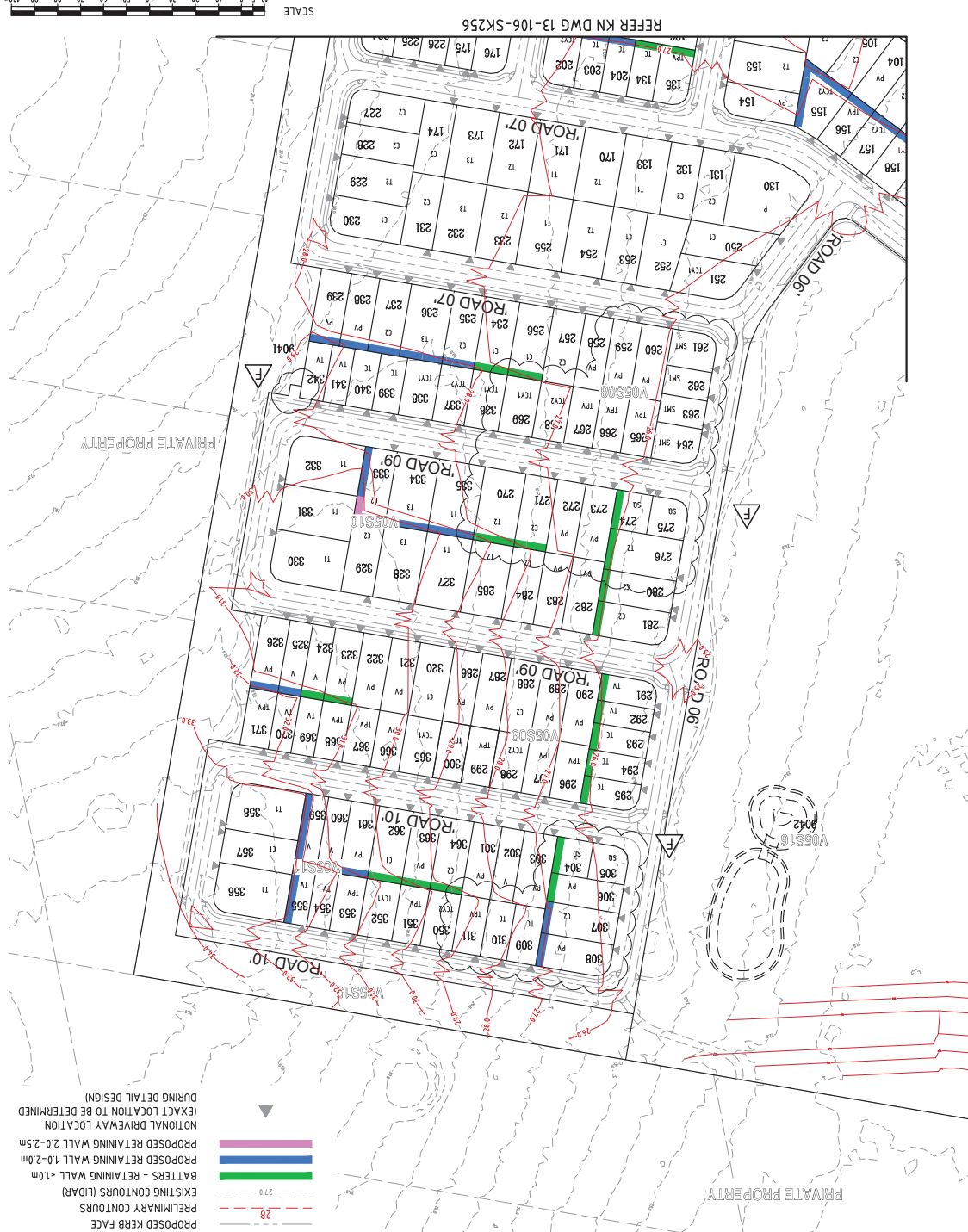
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SCALE

0 10 20 30 40 50 60 70 80 90 100m

LEGEND

- PROPOSED KERB FACE
- PRELIMINARY CONTOURS
- EXISTING CONTOURS (LIDAR)
- BATTERS - RETAINING WALL <10m
- PROPOSED RETAINING WALL 10-2.0m
- PROPOSED RETAINING WALL 2.0-2.5m
- NOTIONAL DRIVEWAY LOCATION (EXACT LOCATION TO BE DETERMINED DURING DETAIL DESIGN)



REFER KN DWG 13-106-SK256

DATE: 18/10/16

APPROVAL no: DEV2015/730

PLANS AND DOCUMENTS referred to in the PDA

DEVELOPMENT APPROVAL

Queensland Government