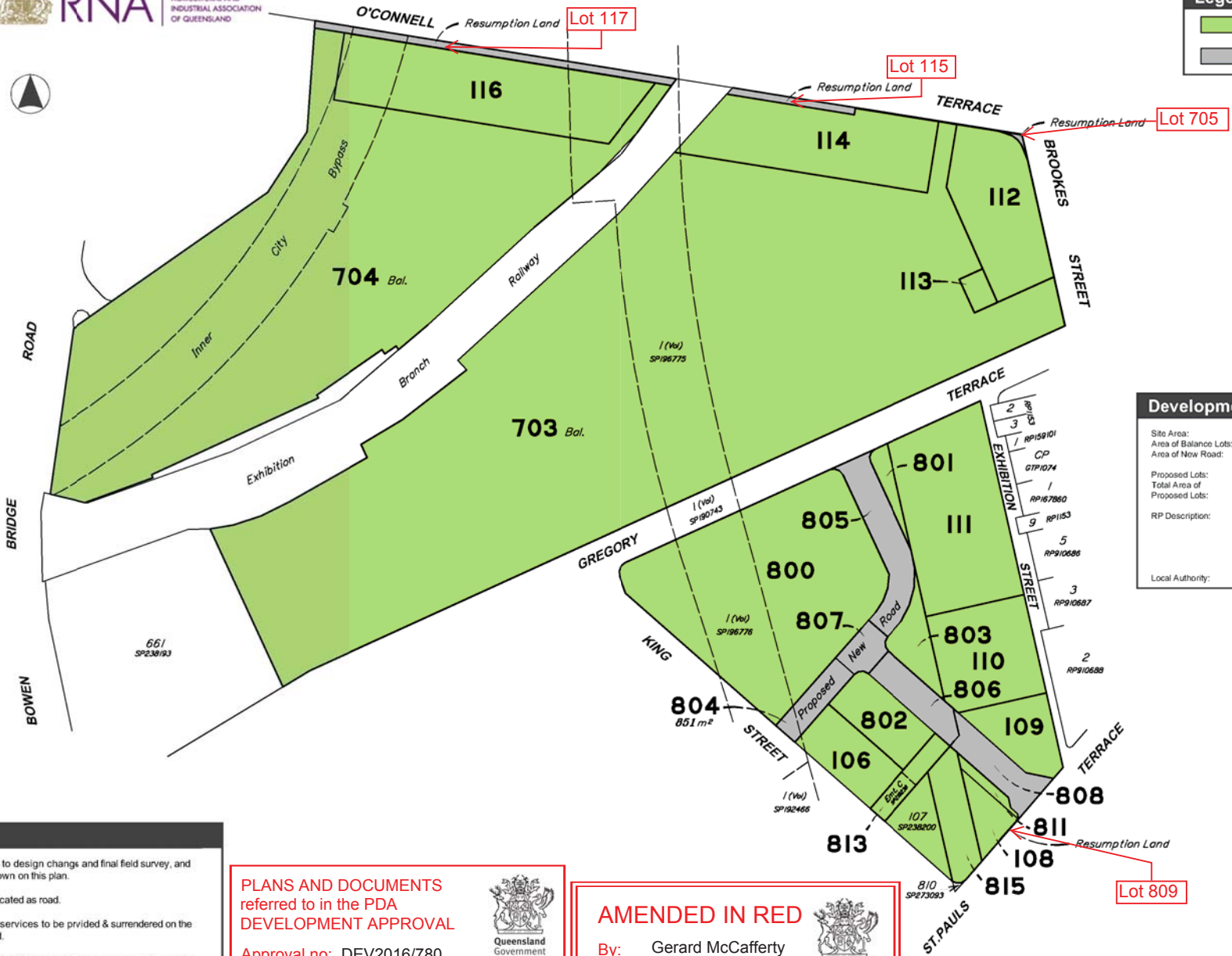


Important Note

Lot 1 (Volumetric) on SP192466 is a volumetric lot approx 14.2m to 19.9m below the ground level about Lots 118, 121, 122, 712 & 713

Lot 1 (Volumetric) on SP196755 is a volumetric lot approx 17.3m to 20.9m below the ground level.

Lot 1 (Volumetric) on SP196776 is a volumetric lot approx 12.7m to 14.9m below the ground level about Lots 106, 117, 118, 706, 712, 800, 803 & 804.



Legend	
	Proposed Lots
	Proposed New Road

Development Summary	
Site Area:	17.03 ha
Area of Balance Lots:	10.94 ha
Area of New Road:	0.73 ha
Proposed Lots:	21 + Balance Lots 703 & 704
Total Area of Proposed Lots:	5.35 ha
RP Description:	Lots 108-111 & 702 on SP219237, Lots 106 & 708 on SP238200, Lots 803, 815 on SP273093, Lots 112-115 on SP219238, Lot 703 on SP238193, Lots 116 & 704 on SP219239
Local Authority:	Brisbane City Council

Notes

Final lot layout is subject to design changes and final field survey, and may differ from those shown on this plan.

Lots 804 - 808 to be dedicated as road.

Easements for access & services to be provided & surrendered on the final lot layout as required.

Disclaimer: Any licence expressed or implied, to use this document for any purpose whatsoever is restricted to the terms of the agreement or implied agreement between Jensen Bowers and the instructing party.

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2016/780

Date: 13 / 09 / 2016



AMENDED IN RED

By: Gerard McCafferty

Date: 13 / 9 / 2016



Important Note

Lot 1 (Volumetric) on SP192466 is a volumetric lot approx 14.2m to 19.9m below the ground level about Lots 118,121,122,712 & 713

Lot 1 (Volumetric) on SP196755 is a volumetric lot approx 17.3m to 20.9m below the ground level.

Lot 1 (Volumetric) on SP196776 is a volumetric lot approx 12.7m to 14.9m below the ground level about Lots 106,117,118,706,712,800,803 & 804.



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2016/780

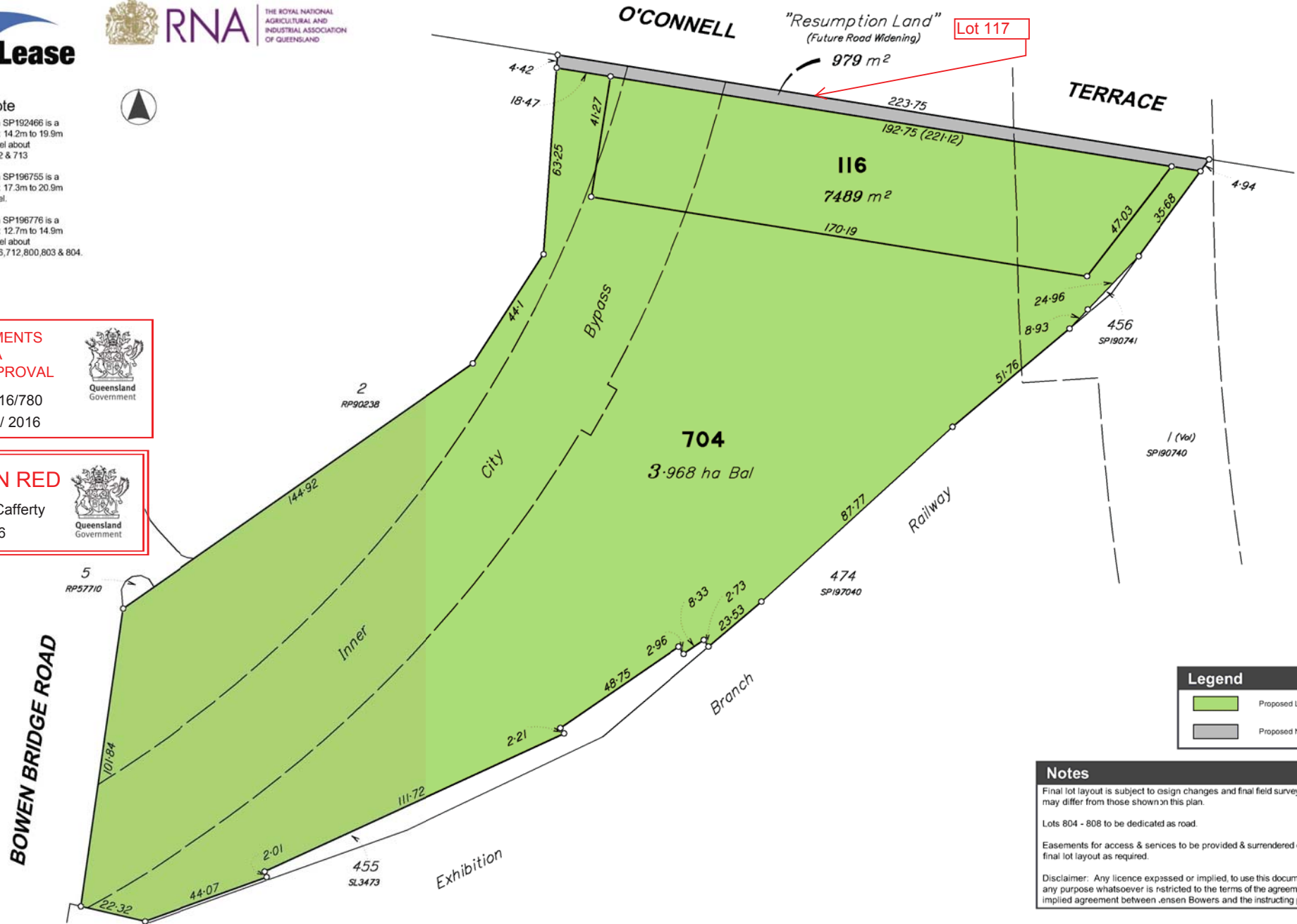
Date: 13 / 09 / 2016



AMENDED IN RED

By: Gerard McCafferty

Date: 13 / 9 / 2016



Legend

	Proposed Lots
	Proposed New Road

Notes

Final lot layout is subject to design changes and final field survey, and may differ from those shown on this plan.

Lots 804 - 808 to be dedicated as road.

Easements for access & services to be provided & surrendered on the final lot layout as required.

Disclaimer: Any licence expressed or implied, to use this document for any purpose whatsoever is restricted to the terms of the agreement or implied agreement between Jensen Bowers and the instructing party.

Important Note

Lot 1 (Volumetric) on SP192466 is a volumetric lot approx 14.2m to 19.9m below the ground level about Lots 118, 121, 122, 712 & 713

Lot 1 (Volumetric) on SP196755 is a volumetric lot approx 17.3m to 20.9m below the ground level.

Lot 1 (Volumetric) on SP196776 is a volumetric lot approx 12.7m to 14.9m below the ground level about Lots 106, 117, 118, 706, 712, 800, 803 & 804.



Legend



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2016/780

Date: 13 / 09 / 2016



AMENDED IN RED

By: Gerard McCafferty

Date: 13 / 9 / 2016

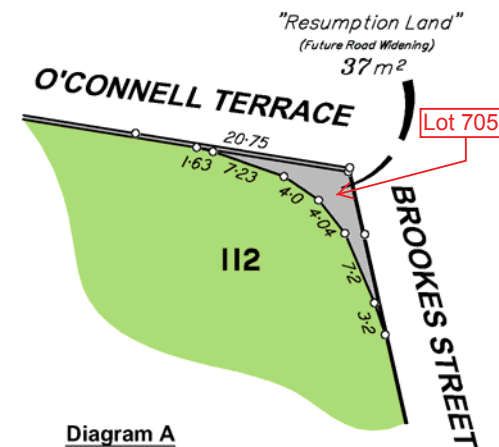
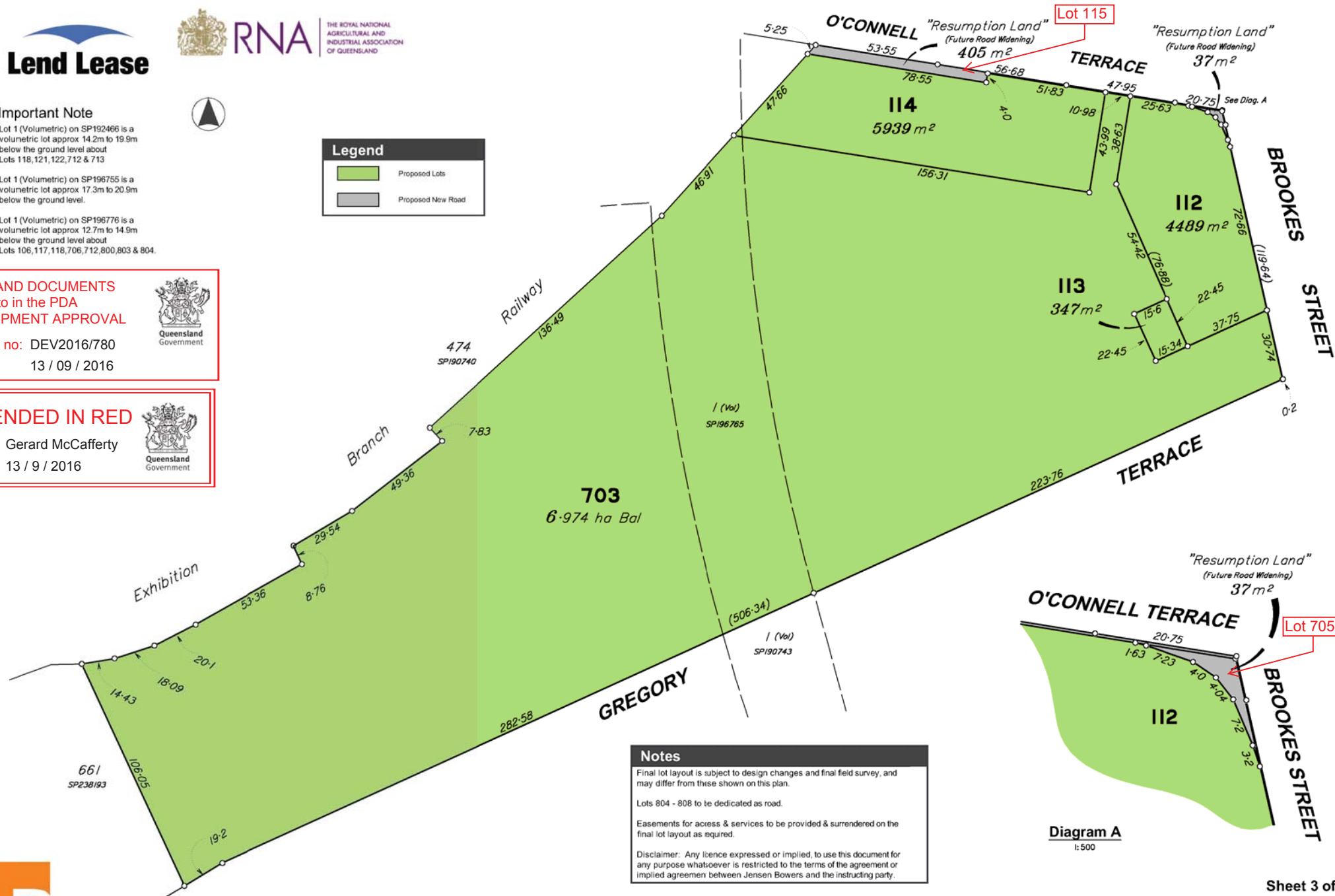


Diagram A
1:500

Notes

Final lot layout is subject to design changes and final field survey, and may differ from those shown on this plan.

Lots 804 - 808 to be dedicated as road.

Easements for access & services to be provided & surrendered on the final lot layout as required.

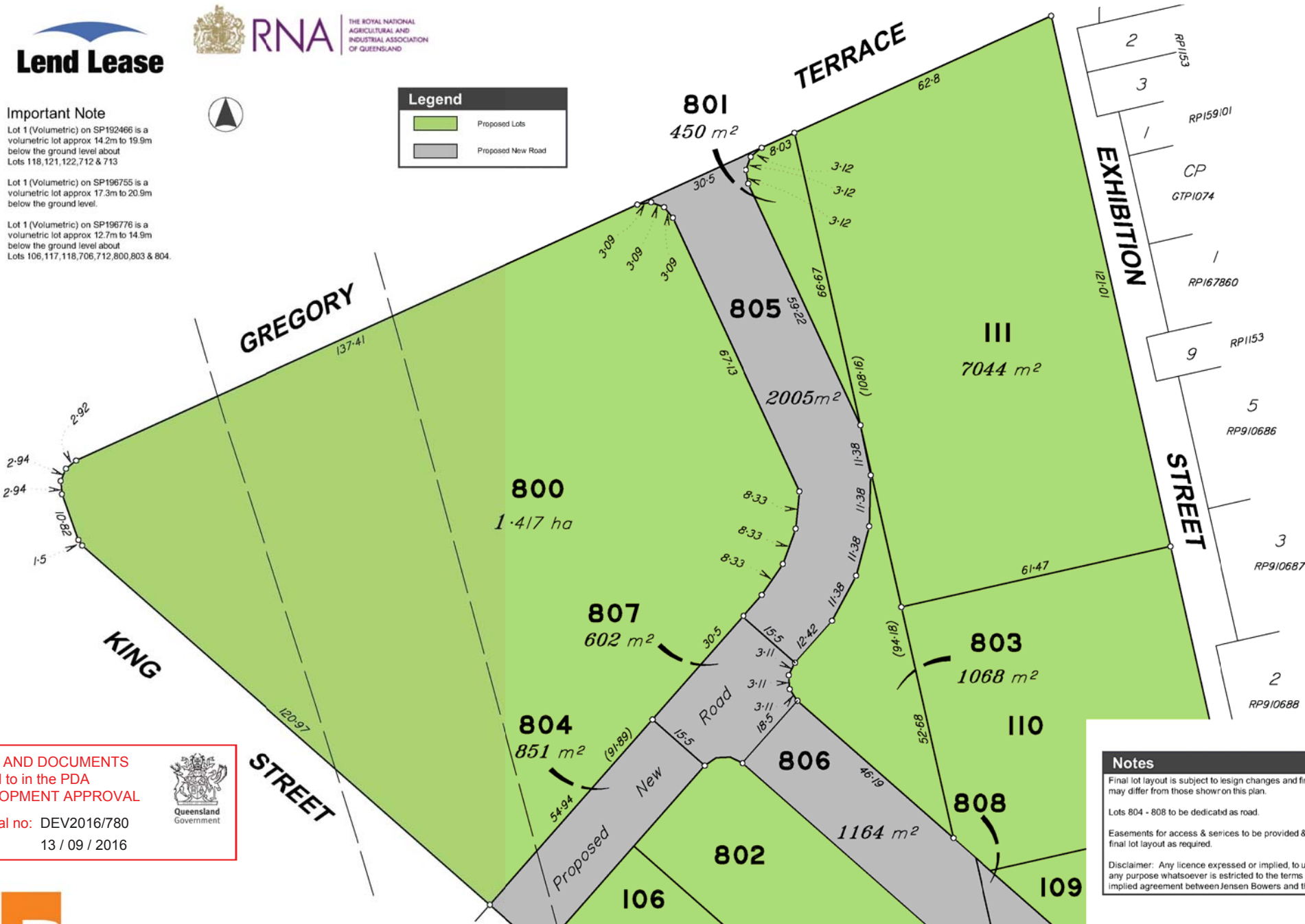
Disclaimer: Any licence expressed or implied, to use this document for any purpose whatsoever is restricted to the terms of the agreement or implied agreement between Jensen Bowers and the instructing party.

Important Note

Lot 1 (Volumetric) on SP192466 is a volumetric lot approx 14.2m to 19.9m below the ground level about Lots 118,121,122,712 & 713

Lot 1 (Volumetric) on SP196755 is a volumetric lot approx 17.3m to 20.9m below the ground level.

Lot 1 (Volumetric) on SP196776 is a volumetric lot approx 12.7m to 14.9m below the ground level about Lots 106,117,118,706,712,800,803 & 804.



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2016/780

Date: 13 / 09 / 2016



Notes

Final lot layout is subject to design changes and final field survey, and may differ from those shown on this plan.

Lots 804 - 808 to be dedicated as road.

Easements for access & services to be provided & surrendered on the final lot layout as required.

Disclaimer: Any licence expressed or implied, to use this document for any purpose whatsoever is restricted to the terms of the agreement or implied agreement between Jensen Bowers and the instructing party.

Important Note

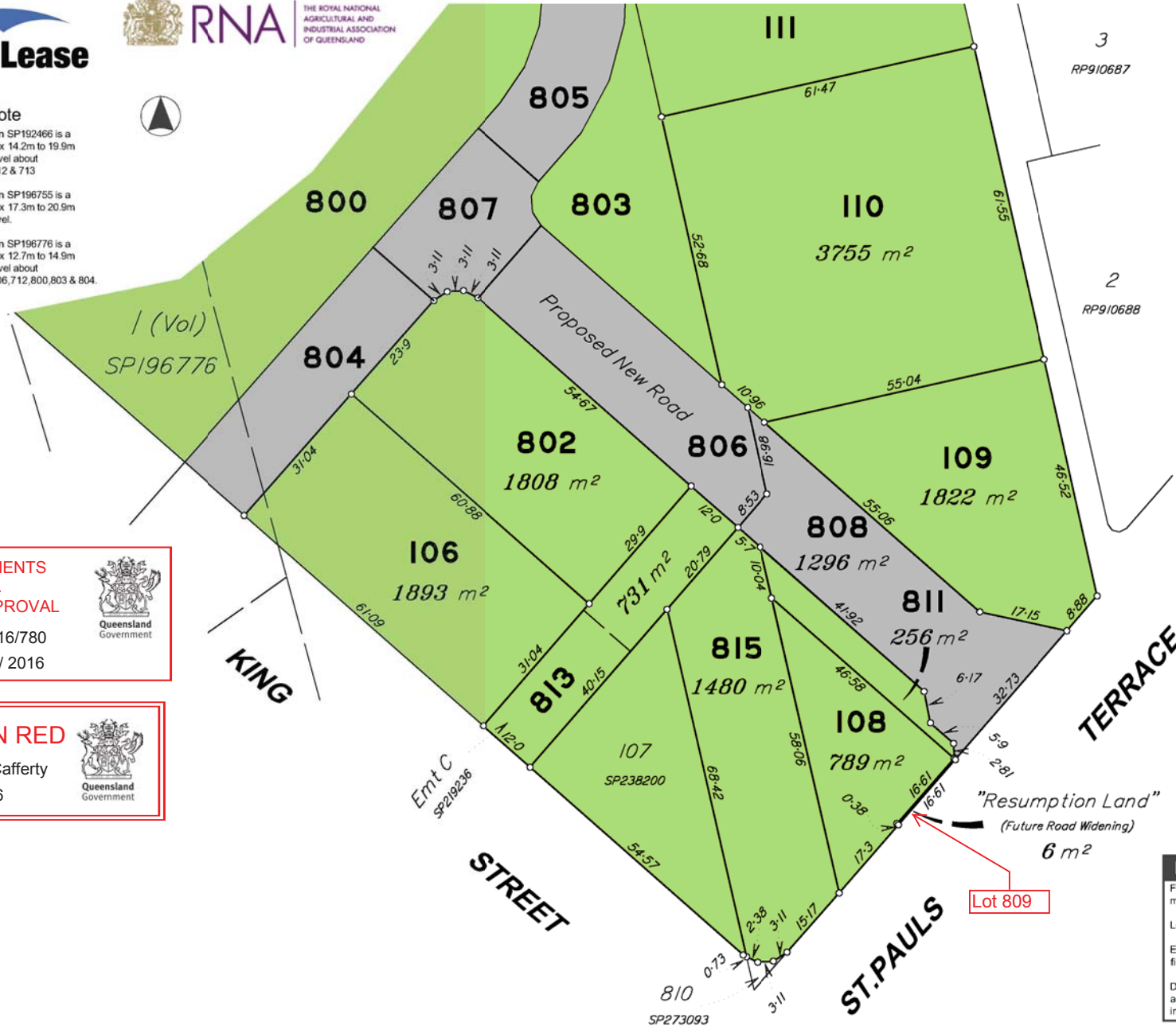
Lot 1 (Volumetric) on SP192466 is a volumetric lot approx 14.2m to 19.9m below the ground level about Lots 118,121,122,712 & 713

Lot 1 (Volumetric) on SP196755 is a volumetric lot approx 17.3m to 20.9m below the ground level.

Lot 1 (Volumetric) on SP196776 is a volumetric lot approx 12.7m to 14.9m below the ground level about Lots 106,117,118,706,712,800,803 & 804.



Legend	
	Proposed Lots
	Proposed New Road



Notes
Final lot layout is subject to design changes and final field survey, and may differ from those shown on this plan.
Lots 804 - 808 to be dedicated as road.
Easements for access & services to be provided & surrendered on the final lot layout as required.
Disclaimer: Any licence expressed or implied, to use this document for any purpose whatsoever is restricted to the terms of the agreement or implied agreement between Jensen Bowers and the instructing party.

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2016/780

Date: 13 / 09 / 2016



AMENDED IN RED

By: Gerard McCafferty

Date: 13 / 9 / 2016





PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2016/780

Date: 13 / 09 / 2016



NOTE

The areas shown on this plan have been derived from preliminary design plans and are approximate only.

This plan to follow Private Development Area reconfiguration approvals as shown on plan S-6441-194.

Final floor layout is subject to design changes, Council approval and final field survey, and may differ from those shown on this plan.

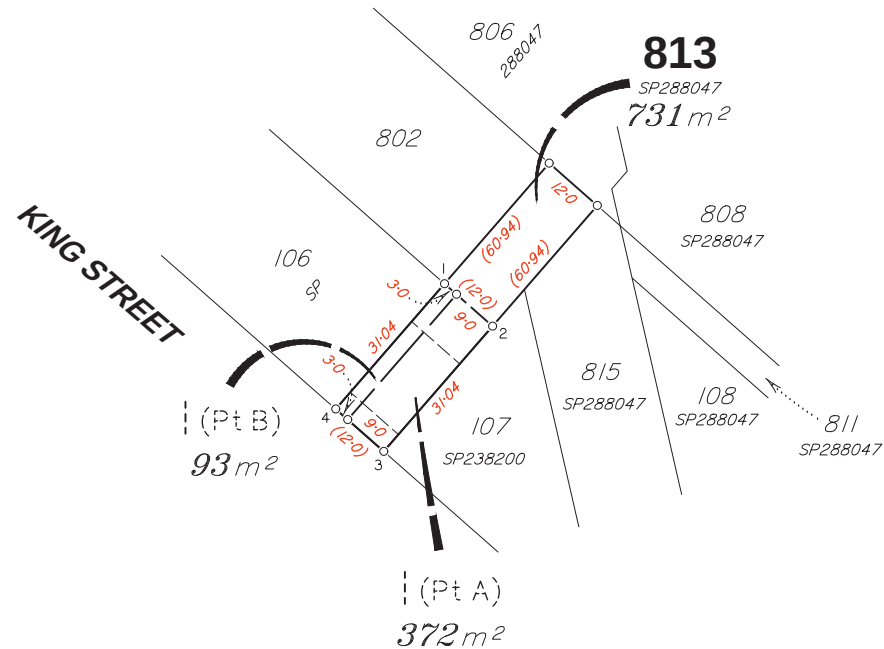
Disclaimer: Any licence expressed or implied, to use this document for any purpose whatsoever is restricted to the terms of the agreement or implied agreement between Jensen Bowers and the instructing party.

Development Summary

Site Area: 731 m²
Area of Open Space: N/A
Length of New Road: N/A
Proposed Lots: 2

Client: Lend Lease
Address: Gregory Terrace, Fortitude Valley
RP Description: Lot 813 on SP288047
Local Authority: Brisbane City Council
Locality: Bowen Hills
County: Stanley

Design, areas and dimensions are subject to detailed investigations, final survey, design and relevant authority approvals.



DATUM FOR LEVELS

OPM 131313
RL9.562m AHD (der)

DIRECTION OF
THREE DIMENSIONAL
DIAGRAM

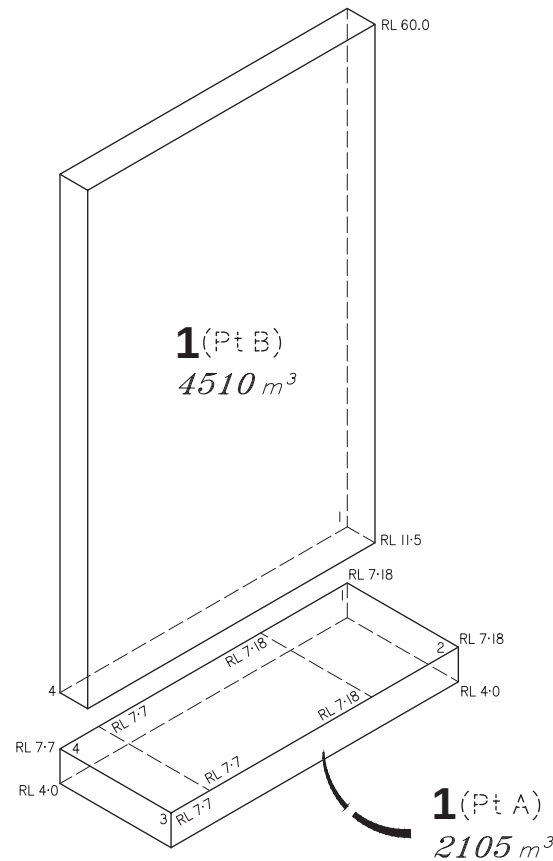
OVERALL
3D DIAGRAM

Scale 1 : 500

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2016/780

Date: 13 / 09 / 2016



*Lot 1 (Pt B) is bounded by
horizontal and vertical planes.*

*Lot 1 (Pt A) is bounded by
vertical planes.*

*Top of Volumetric Lot 1 (Pt A)
is 300mm below private lane
design FSLs.*

NOTE

The areas shown on this plan have been derived from preliminary design plans and are approximate only.

Final floor layout is subject to design changes, Council approval and final field survey, and may differ from those shown on this plan.

Disclaimer: Any licence expressed or implied, to use this document for any purpose whatsoever is restricted to the terms of the agreement or implied agreement between Jensen Bowers and the instructing party.