

[illegible][illegible]

Land Use		Stage 4B		Stage 7A		Stage 7B		Overall	
Area of Subject Site	Area	Area	Area	Area	Area	Area	Area	%	
0.97 ha	0.426 ha	0.426 ha	0.570 ha	2.071 ha	4.007 ha	100.0%			
Statistical Averages									
Residential Averages	0.765 ha	0.292 ha	0.534 ha	1.372 ha	2.788 ha	69.6%			
Total Area of Allotments	0.763 ha	0.292 ha	0.534 ha	1.373 ha	2.788 ha	69.6%			
Road									
Local Roads	0.187 ha	0.114 ha	0.236 ha	0.483 ha	1.024 ha	25.5%			
Potential Circumferential Thoroughfares	—	0.020 ha	—	0.051 ha	0.070 ha	1.8%			
Total Area of New Road	0.187 ha	0.133 ha	0.236 ha	0.534 ha	1.094 ha	27.3%			
Open Space									
Detention Open Space	—	—	—	0.124 ha	0.124 ha	3.1%			
Total Open Space	—	—	—	0.124 ha	0.124 ha	3.1%			
Road Lengths									
Road Type	Length	Length	Length	Length	Length				
8.5m Wide New Linkway	—	56m	—	156m	77m				
15m Wide New Road	1.20m	—	15.1m	30m	33.3m				
19.5m Wide New Road	—	—	—	27.7m	—				
Total Length of New Road	1.20m	56m	161m	217m	406m				

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19.5m Wide New Road	—	—	—	27.7m	—				
Total Length of New Road	1.20m	56m	161m	217m	406m				

- B) 03/06/2012 Advanced Topics and Trends
- C) 03/05/2012 Advanced Thermodynamics and Statistical Mechanics
- D) 03/05/2012 Advanced Optics and Electromagnetism
- E) 17/09/2012 Advanced Waves and Plasmas
- F) 01/12/2012 Advanced Lasers
- G) 01/05/2013 New Lasers
- H) 07/05/2013 Advanced POC's Presentations
- I) 03/05/2013 Final of Notes
- J) 25/05/2013 Advanced Notes & Seminars
- K) 03/10/2013 Advanced Singing
- L) 25/07/2013 Advanced Singing
- M) 25/10/2013 Advanced Singing
- N) 08/04/2014 Advanced Singing 5 & 6
- O) 08/04/2014 Advanced Singing 7 & 8

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m.
The boundaries shown on this plan should not be used for final detailed engineers design.

Site boundaries: Capricorn survey group.
Adjoining information: DCCB.
Contours: Capricorn survey group.
Trees: Capricorn survey group.
Road network: Barnford + Ward.

ECONOMIC DEVELOPMENT

QUEENSLAND

PROJECT

HILLCLOSE

HARVEY ROAD

CLINTON

PLAN OF SUBDIVISION STAGE 4, 4B, 7A & 7B	DESCRIPTION
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100	100.0000

ALLOTMENT LAYOUT	
Level/Division	Orgnr

Date	08 JULY 2016
Comp Sys.	WIN7 / BU / AN
DWG Name	102261-5-IPRO

Local Authority	ECONOMIC DEVELOPMENT QUEENSLAND	
Locality	CLINTON	
Abd Reference	102361	
Scale		Sheet

1 : 500	A1
Plan Ref 102361 - 53	Rev 0

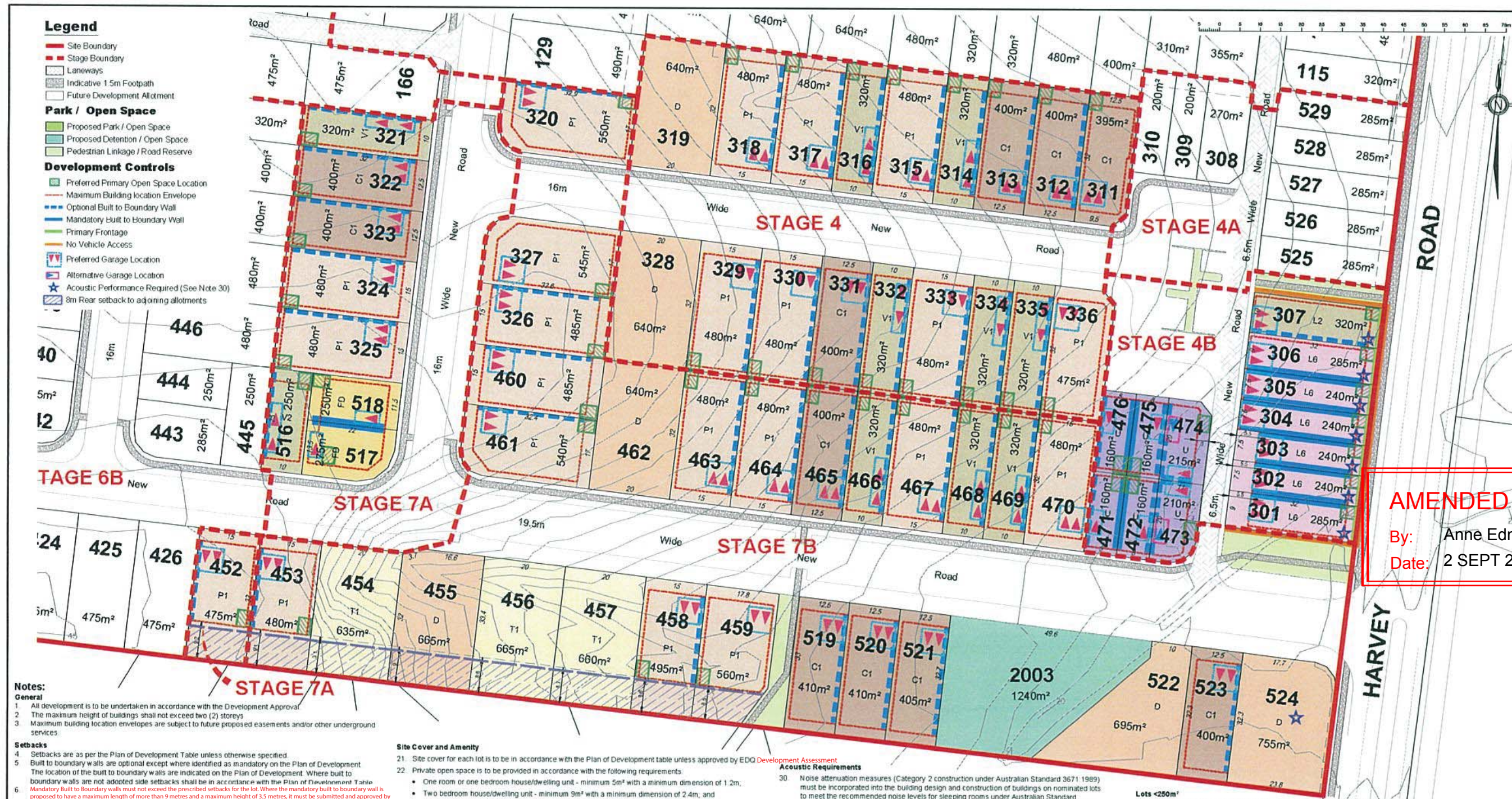


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- Legend**
- Site Boundary
 - Stage Boundary
 - Laneways
 - Indicative 1.5m Footpath
 - Future Development Allotment
 - Park / Open Space
 - Proposed Park / Open Space
 - Proposed Detention / Open Space
 - Pedestrian Linkage / Road Reserve
 - Preferred Primary Open Space Location
 - Maximum Building Location Envelope
 - Optional Built to Boundary Wall
 - Mandatory Built to Boundary Wall
 - Primary Frontage
 - No Vehicle Access
 - Preferred Garage Location
 - Alternative Garage Location
 - Acoustic Performance Required (See Note 30)
 - 8m Rear setback to adjoining allotments

- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval.
 - The maximum height of buildings shall not exceed two (2) storeys.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise specified.
 - Built to boundary walls are optional except where identified as mandatory on the Plan of Development.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Mandatory Built to Boundary walls must not exceed the prescribed setbacks for the lot. Where the mandatory built to boundary wall is proposed to have a maximum length of more than 9 metres and a maximum height of 3.5 metres, it must be submitted and approved by EDO Development Assessment.
 - Optional Built to Boundary walls are to have a maximum length of 9 metres and a maximum height of 3.5 metres. Where the Built to Boundary Wall exceeds the maximum length articulation must be provided and approved by EDO Development Assessment.
 - Boundary setbacks are measured to the wall of the structure.
 - First floor setbacks must not exceed the minimum ground floor setbacks.
 - Garages must not project forward of the front building setback.
 - Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
 - Primary Street frontage, where eaves should not be closer than 2400mm.
- Parking**
- Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling.
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one which must be capable of being covered (may be provided in tandem).
 - Double garages are not permitted on single storey dwellings on a lot less than 12.5m wide except where a laneway allotment or are in accordance with Hillclose Design Guideline Annexure A.
 - Double garages are not permitted on any lot less than 10m wide except where a laneway allotment.
 - All double garages should be setback behind the main face of the dwelling with doors articulated, comprising a mix of materials and colours, or staggered.
 - Maximum width of any garage shall be no more than 40% of the lot frontage on any lot less than 12.5m wide or are in accordance with Hillclose Design Guideline Annexure A.
 - Garages and carports served off a Laneway must be built to 0.5m rear setback unless otherwise dimensioned (lots 301, 302, 303). Refer Practice Note No. 12 Rear Lanes: design and development.
 - Garages are to be located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side garages are to be located on the western or southern side of the lot.
 - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.
 - For Urban Allotments where a carport is proposed instead of a garage, it may be built no closer than 1.5m from the front boundary and:
 - The carport - has a minimum dimension of 2.5m x 5m and a maximum dimension of 3m x 6m (excluding eaves).
 - The carport is not fully enclosed but may have up to two walls on the side or rear.
 - The side setback of the carport roofline must be in accordance with the non built to boundary setbacks in the Plan of Development Table, except where it is aligned with the built to boundary line, and
 - The roofline and materials must be consistent with the roofline and materials of the dwelling.

Site Cover and Amenity

- Site cover for each lot is to be in accordance with the Plan of Development table unless approved by EDO Development Assessment.
- Private open space is to be provided in accordance with the following requirements:
 - One room or one bedroom house/dwelling unit - minimum 5m² with a minimum dimension of 1.2m.
 - Two bedroom house/dwelling unit - minimum 9m² with a minimum dimension of 2.4m, and
 - Three or more bedroom house/dwelling - minimum 12m² with a minimum dimension of 2.4m

Fencing

- Fencing on all Primary Street Frontages has a maximum height of 1.2 metres where solid and have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.
- Fencing on lanes where along private open space, carparking and service areas can be screen fencing at 1.8m high where it can be 50% transparent for no more than 50% of the boundary (including the Garage).
- Where adjoining a residential boundary, erect a screen fence along the common boundaries. The side boundary fences are to extend from the rear boundary to align with the front facade of the dwelling but shall not extend beyond the front boundary building setback. Unless an alternative design for the fence is agreed to with the owner of adjoining land, the screen fence is to be 1.8 metres in height and constructed from timber.

Building Articulation

- All dwellings must have a porch, alcove or verandah providing an entry to the building which is visible from the street.
- Carports and garages should be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All buildings must incorporate two or more of the following design elements which provide diversity in building form as well as respond to the climate:
 - Verandahs / Porch
 - Roof Overhangs
 - Window Hoods/Screens
 - Awnings and Shade Structures

Buildings facing a park of more than one street

- For buildings that have more than one street frontage or adjoin park, the building design must ensure an attractive appearance is presented to the street frontage and, if applicable, the park.
- Buildings must address each street frontage or park frontage through the inclusion of, but not necessarily limited to, the following design elements:
 - Verandahs
 - Porches
 - Awning and Shade Structures
 - Variation to Roof and Building Lines
 - Inclusion of Window Openings

Acoustic Requirements

- Noise attenuation measures (Category 2 construction under Australian Standard 3671:1989) must be incorporated into the building design and construction of buildings on nominated lots to meet the recommended noise levels for sleeping rooms under Australian Standard 2107:2000. Submit to EDO Development Assessment written confirmation that this requirement will be met prior to survey plan endorsement.

Infrastructure Contributions

- Infrastructure Contributions for Reconfiguring a Lot will be calculated in accordance with EDO Development Approval for the relevant stage. The payment will be made to EDO prior to survey plan endorsement.
- Infrastructure Contributions for Multiple Residential (lots accommodating more than a single dwelling unit) will be calculated in accordance with Gladstone Regional Council's Infrastructure Charges Policy. The payment will be made to Economic Development Queensland Assessment Division prior to endorsement of a community management statement or commencement of use, whichever occurs first.

Site Amenity

- All second storey windows where within 9 metres of a habitable room or private open space of an adjoining lot are to have fixed external privacy screens or fixed opaque glazing at a sill height less than 1.5 metres above floor level on the side elevations of the buildings.
- All balustrades that are visible from the street are to be 50% visually permeable.

Plan of Development Table

	Urban Allotments		Terrace Allotments		Freehold Duplex Allotments		Villa Allotments 10m		Courtyard Allotments 12.5m		Premium Courtyard Allotments 15m		Traditional Allotments		Multiple Residential Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	3.0m	3.0m
Garage	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	5.5m	n/a	4.5m	n/a
Rear	0.9m	0.9m	1.2m / 5.5m	1.2m / 5.5m	1.2m	2.0m	1.2m	1.2m	1.2m	2.0m	1.2m	2.0m	1.2m	2.0m	1.2m	2.0m
Side - General Lots																
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	0.0m	1.0m
Non Built to Boundary	1.0m	1.0m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.2m	2.0m	1.0m	1.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	3.0m	3.0m	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	3.0m	3.0m	3.0m	3.0m
Laneway Lots																
Rear of Lot (from laneway boundary)	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	n/a	n/a	n/a	n/a	n/a	0.5m	0.5m
Site Cover	85%		75%		70%		70%		70%		70%		60%		70%	

- REVISION**
- A: 30/03/2012 Amended Layout and Notes
 - B: 01/05/2012 Amended Terminology and Setbacks
 - C: 02/05/2012 Amended Open Space and Carparking
 - D: 25/05/2012 Amended Notes and PD Table
 - E: 17/09/2012 Amended Lots and Stats
 - F: 01/02/2013 Amend Lot Mix
 - G: 01/05/2013 New Lot Mix
 - H: 07/05/2013 Amend POD & Pavements
 - I: 09/05/2013 Amend Notes
 - J: 29/05/2013 Amend Notes & Setbacks
 - K: 03/10/2013 Amend Staging
 - L: 15/10/2013 Amend Staging
 - M: 25/10/2013 Amend Stage 4a
 - N: 28/04/2014 Amend Stage 5 & 6
 - O: 08/07/2016 Amend Stage 7 & 4

Note:
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Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.

Source information:
Site boundaries: Capricorn survey group
Adjoining information: DCDB
Contours: Capricorn survey group
Trees: Capricorn survey group
Road linework: Bornhorst + Ward

AMENDED IN RED

By: Anne Edmonds
Date: 2 SEPT 2016



CLIENT
ECONOMIC DEVELOPMENT QUEENSLAND

PROJECT
HILLCLOSE HARVEY ROAD CLINTON

PLAN OF DEVELOPMENT
STAGE 4, 4B, 7A & 7B
ALLOTMENT LAYOUT

Level Datum:

Origin:

Date: 06 JULY 2016

Comp. by: WINW / BM / AN

DWG Name: 102361-51-PRO

Local Authority: ECONOMIC DEVELOPMENT QUEENSLAND

Locality: CLINTON

Job Reference: 102361

Scale: 1:500

Sheet: A1

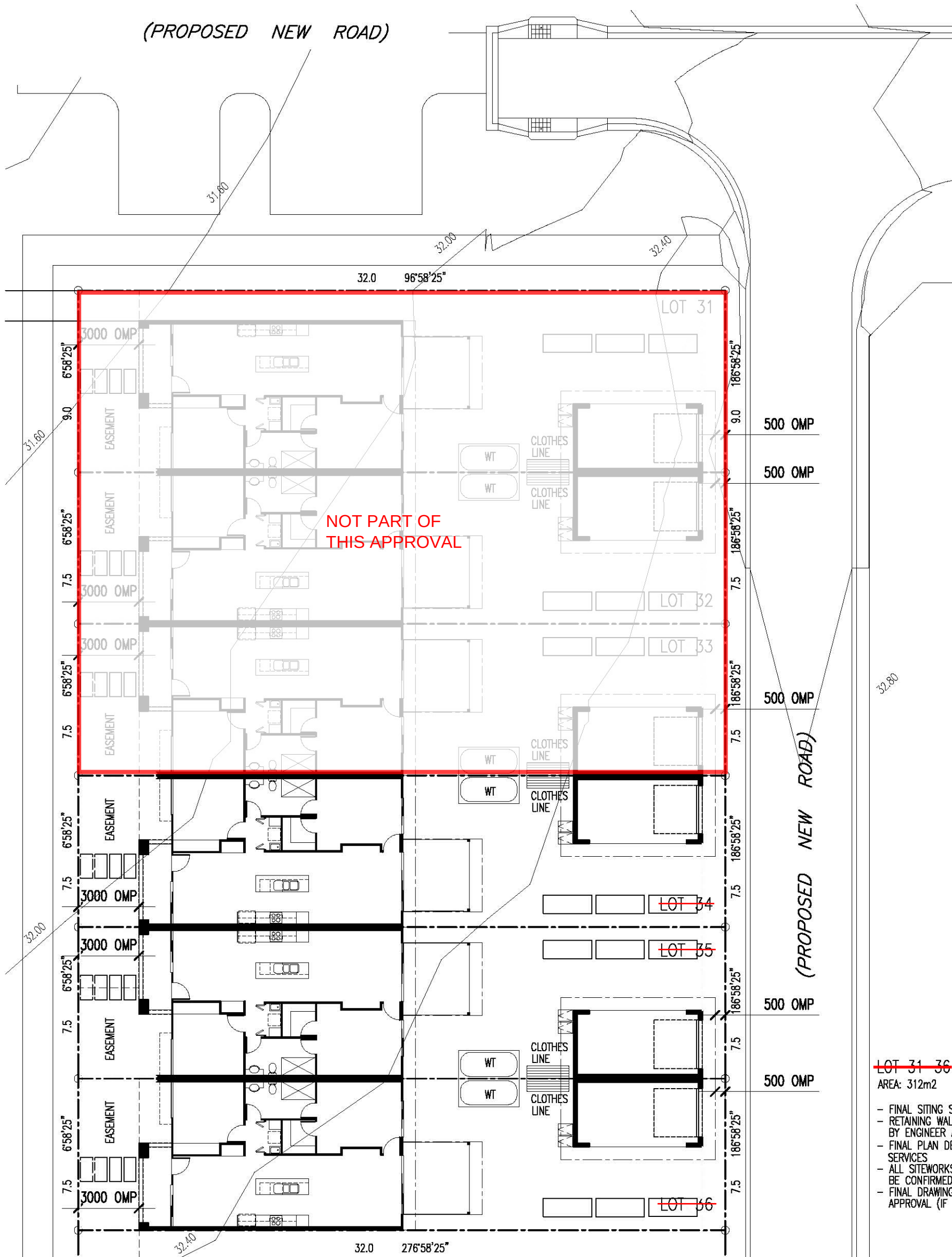
Plan Ref: 102361 - 56

Rev: 0



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~~LOT 31-36~~
AREA: 312m2

- FINAL SITING SUBJECT TO DETAILED CONTOUR SURVEY
- RETAINING WALLS OVER 1m HIGH TO BE DESIGNED BY ENGINEER AND REQUIRES 1m HIGH BARRIER
- FINAL PLAN DETAILS ARE SUBJECT TO POSITION OF SERVICES
- ALL SITEWORKS, DRIVEWAY FALLS & RETAINING TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION
- FINAL DRAWINGS ARE SUBJECT TO COVENANT APPROVAL (IF REQUIRED)

FOR
IRWIN HOMES

LOTS 304-306 HILL CLOSE ESTATE

CLINTON

HOUSE TYPE: TERRACE Ab

SITE PLAN

Note - Plans & elevations (including furniture, floor coverings, fittings & landscaping) as shown, are for illustration purposes only & do not form part of any contract.
- Plans are subject to change without notice. Overall dimensions do not include eaves. Dimensions may vary depending on facade style.

Nb. House plans can be mirrored
where the driveway location and built-
to-boundary walls are consistent with
the approved POD

AMENDED IN RED

By: Anne Edmonds

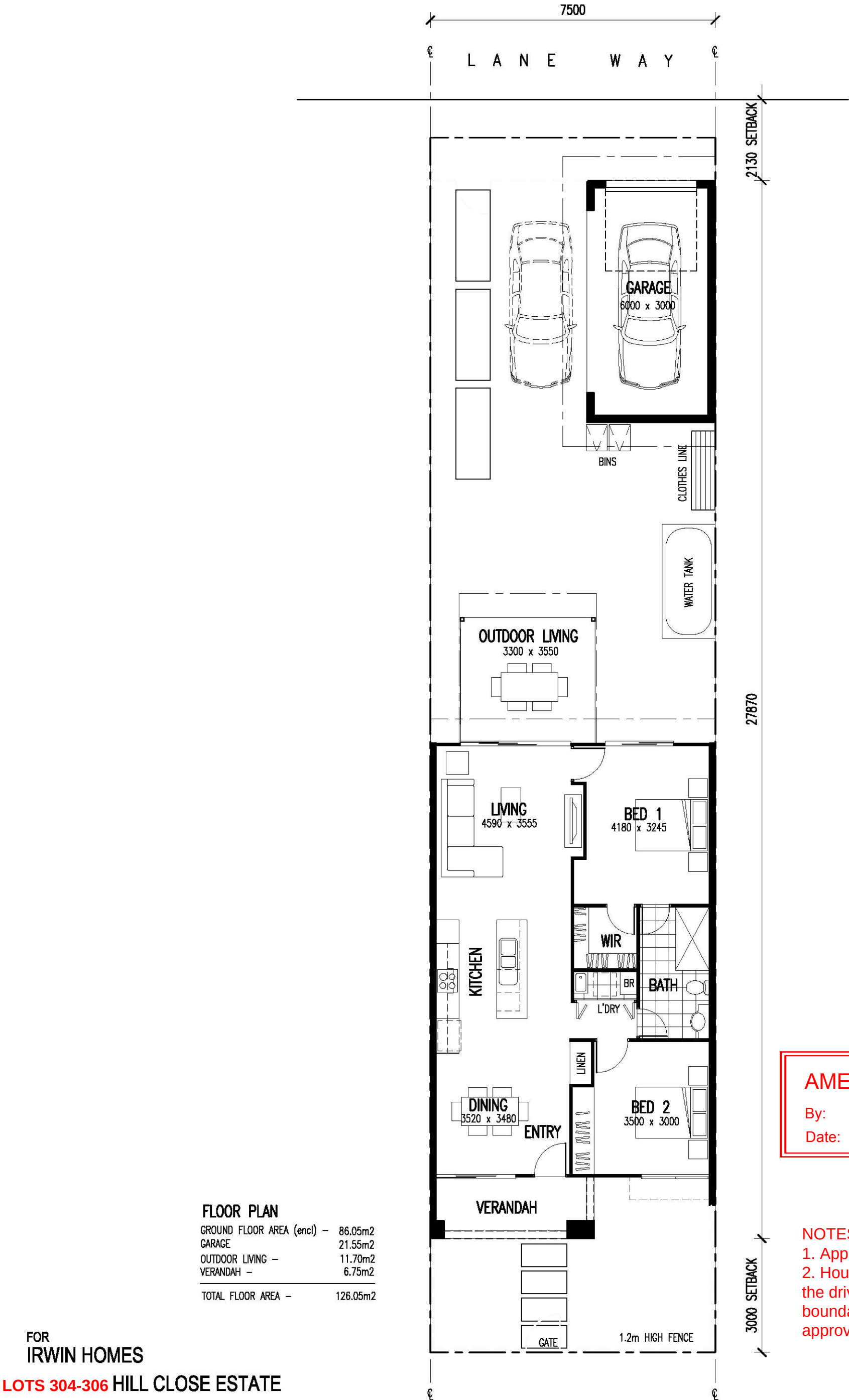
Date: 1 SEPT 2016



mondo
LIVING

Original drawings documented by Mondo Architects Pty Ltd
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FOR
IRWIN HOMES

LOTS 304-306 HILL CLOSE ESTATE
CLINTON

HOUSE TYPE: TERRACE Ab

FLOOR PLAN

Note - Plans & elevations (including furniture, floor coverings, fittings & landscaping) as shown, are for illustration purposes only & do not form part of any contract.
- Plans are subject to change without notice. Overall dimensions do not include eaves. Dimensions may vary depending on facade style.

AMENDED IN RED

By: Anne Edmonds
Date: 1 SEPT 2016



Queensland
Government

NOTES

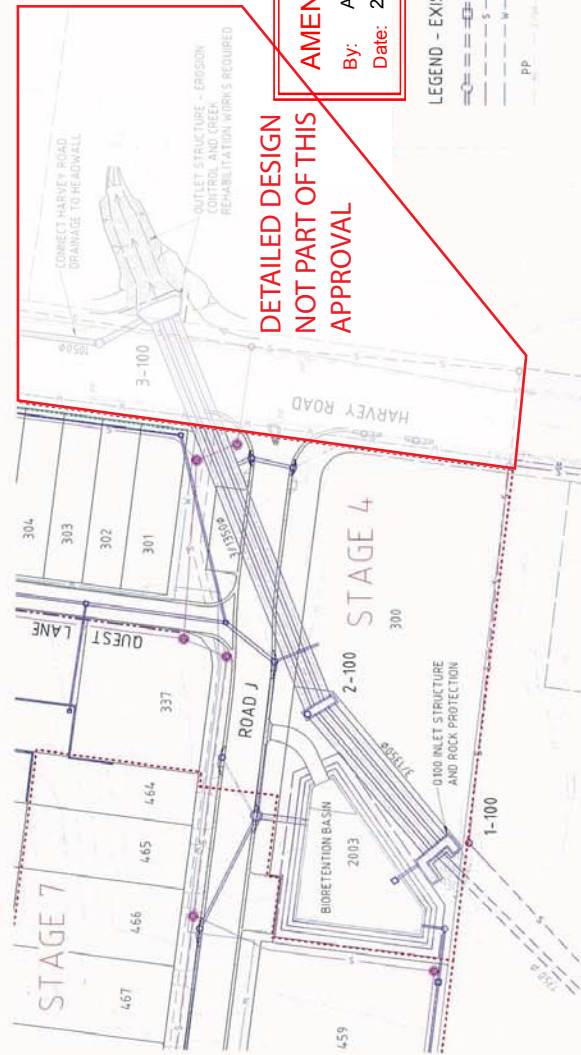
1. Applicable only to Lots 304-306.

2. House plans can be mirrored where the driveway location and built-to-boundary walls are consistent with the approved POD



Original drawings documented by Mondo Architects Pty Ltd
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STRUCTURE NAME	STRUCTURE DESCRIPTION	STRUCTURE	2-100	3-100
OUTLET STRUCTURE	OUTLET STRUCTURE	1-100	2-100	3-100
PIPE SIZE (mm)	1350	1350	1350	1350
PIPE CLASS	(2)	(2)	(2)	(2)
PIPE GRADE (%)	0.65%	1.71%	0.20%	0.20%
LENGTH m	6.400	35.353	80.575	80.575
FULL PIPE VELOCITY (m/s)				
PART FULL VELOCITY (m/s)				
DATUM RL	5.0			
WSE IN STRUCTURE	0.000	0.000	0.000	0.000
MGL IN PIPE	0.000	0.000	0.000	0.000
PIPE FLOW (cumecs)				
DEPTH TO INVERT	2.30	19.200	18.350	18.350
INVERT LEVELS	19.157	19.137	18.511	18.350
FINISHED SURFACE LEVELS	22.515	22.550	21.811	19.416
STRUCTURE SETOUT COORDINATES	N 73574.18 232	E 318925.542	N 73574.517	E 319027.135
DISTANCE ALONG DRAIN	0.000	E 318920.572	N 73574.517	E 319027.135



DETAILED DESIGN
NOT PART OF THIS
APPROVAL

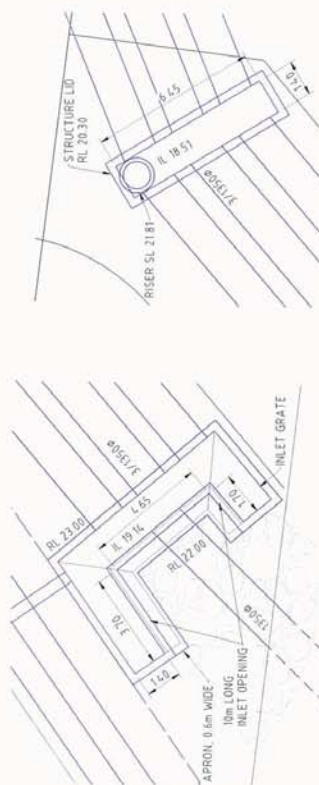
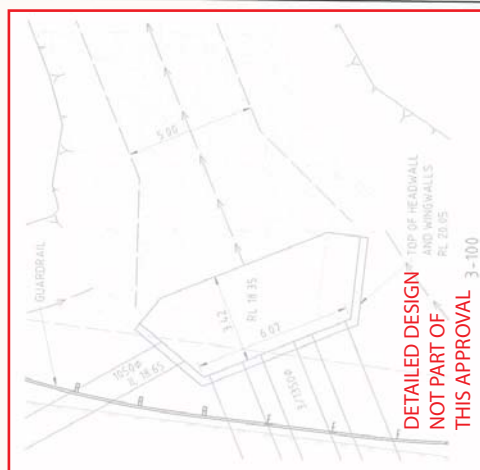
AMENDED IN RED

By: Anne Edmonds

Date: 2 SEPT 2016

LEGEND - EXISTING SERVICES:

	EXISTING STORMWATER
	SEWER GRAVITY MAIN
	WATERMAIN
	OVERHEAD ELECTRICITY LINE



Works external to the PDA required to be provided but not approved as a part of this PDA development approval.

1-100

2-100

CONCRETE STRUCTURES
SCALE 1:100

NOT CONSTRUCTION ISSUE

DATE	DATE	DATE	DATE	DATE	DATE
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R122207-47-SK02 A					

ND DEVELOP
TAGES 4 TO 7
AND

WATER DRAINAGE

ON A1 ORIGINAL



Cardino (Clg) Pty Ltd

Maud Street Maroochydore, Qld 4558
 4894 37 085 674 092

7) 543 2555 Fax. (07) 543 5642

1

STAGED CONSTRUCTION NOTES

STAGE 1: FUNCTIONAL INSTALLATION

CONSTRUCTION OF THE FUNCTIONAL ELEMENTS OF THE BIORETENTION BASIN AT THE END OF CONSTRUCTION (DURING LANDSCAPE WORKS) AND THE INSTALLATION OF TEMPORARY PROTECTIVE MEASURES.

FOR EXAMPLE, TEMPORARY PROTECTIVE MEASURES CAN BE CONSTRUCTED USING A 150mm DEEP CONCRETE CURB OR A 150mm DEEP CONCRETE CURB COVERED WITH SHALLOW TOPSOIL (50g 50mm) AND INSTALLED WITHIN THE BASIN BASIN PLANTING.

STAGE 2: SEDIMENT AND EROSION CONTROL

DURING THE BUILDING PHASE (OIL MAINTENANCE PERIOD) THE TEMPORARY PROTECTIVE MEASURES PRESERVE THE FUNCTIONAL INFRASTRUCTURE OF THE BIORETENTION BASIN AGAINST DAMAGE, WHILE ALSO PROVIDING A TEMPORARY PROTECTIVE MEASURE TO PREVENT EROSION OF THE BUILDING PHASE TO PROTECT DOWNSTREAM AQUATIC ECOSYSTEMS.

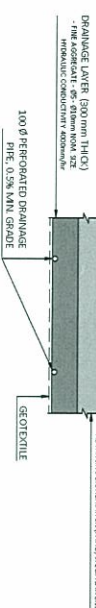
STAGE 3: OPERATIONAL ESTABLISHMENT

UPON COMPLETION OF THE BUILDING PHASE, THE TEMPORARY MEASURES PROTECTING THE FUNCTIONAL ELEMENTS OF THE BIORETENTION BASIN CAN BE REMOVED, ALONG WITH ALL ACCUMULATED SEDIMENT AND THE SYSTEM PLANTED IN ACCORDANCE WITH THE DESIGN PLANTING SCHEDULE (REFER **PLANTING SCHEDULE** FOR PLANTING SCHEDULE).

(REFER WATER BY DESIGN - BIORETENTION TDS)

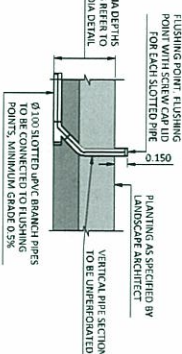
PLANTING AS PER LANDSCAPE DRAWINGS (POST DEVELOPMENT CONSTRUCTION) TIME TO BE INSTALLED PRE AND FOR THE DURATION OF THE CONSTRUCTION PERIOD.

GEOTEXTILES: AUSTRALIAN BOND FILTER WARE OR APPROXIMATELY EQUIVALENT (100gsm) TO BE INSTALLED PRE AND FOR THE DURATION OF THE CONSTRUCTION PERIOD.



TYPICAL FILTER MEDIA DETAIL

FLUSH POINT NOTE
FLUSH POINTS MUST BE INSTALLED ON THE DOWNSTREAM END OF ALL SUBSOIL BRANCH LINES AND MAIN LINES.



TYPICAL SUBSOIL DRAIN AND CLEANOUT DETAIL

BIO-RETENTION DETAILS

STANDARD DRAWING LIST

- IPWEA-DS-073 BIORETENTION DRAINAGE PROFILE - CONVENTIONAL
- IPWEA-DS-075 LARGE BIORETENTION SEDIMENT FOREBAY
- IPWEA-DS-078 BIORETENTION STANDARD NOTES



PROJECT NUMBER

REV	DATE	DESCRIPTION	DESIGNED BY	CHECKED BY	APPROVED BY
A	11.07.16	ISSUED TO COUNCIL FOR INFORMATION	W. J. JONES	W. J. JONES	W. J. JONES

ASSOCIATED CONSULTANTS

DATE	APPROVED	CHECKED
DATE	DATE	DATE

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CLIENT
**ECONOMIC DEVELOPMENT
QUEENSLAND
(EDQ)**

PROJECT
**HILLCLOSE CLINTON
SUBDIVISION
STAGES 4, 4A, 4B, 7A & 7B**

SUBJECT
**BIO-RETENTION LAYOUT &
NOTES & DETAILS SHEET 1**

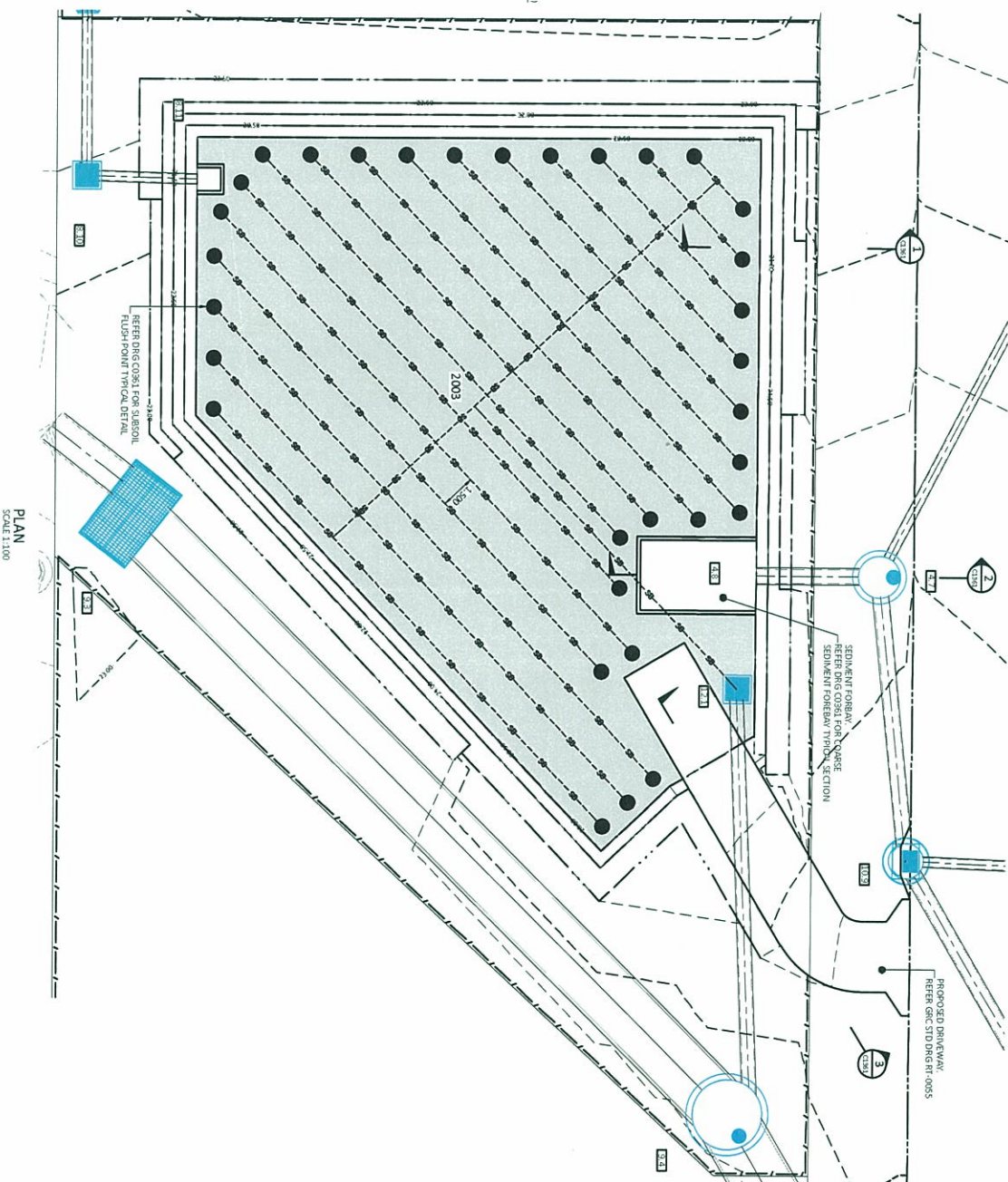
PROJECT NO.
1.6055

DESIGNER'S REF.
CO360

REVISION
A

STATUS
PRELIMINARY

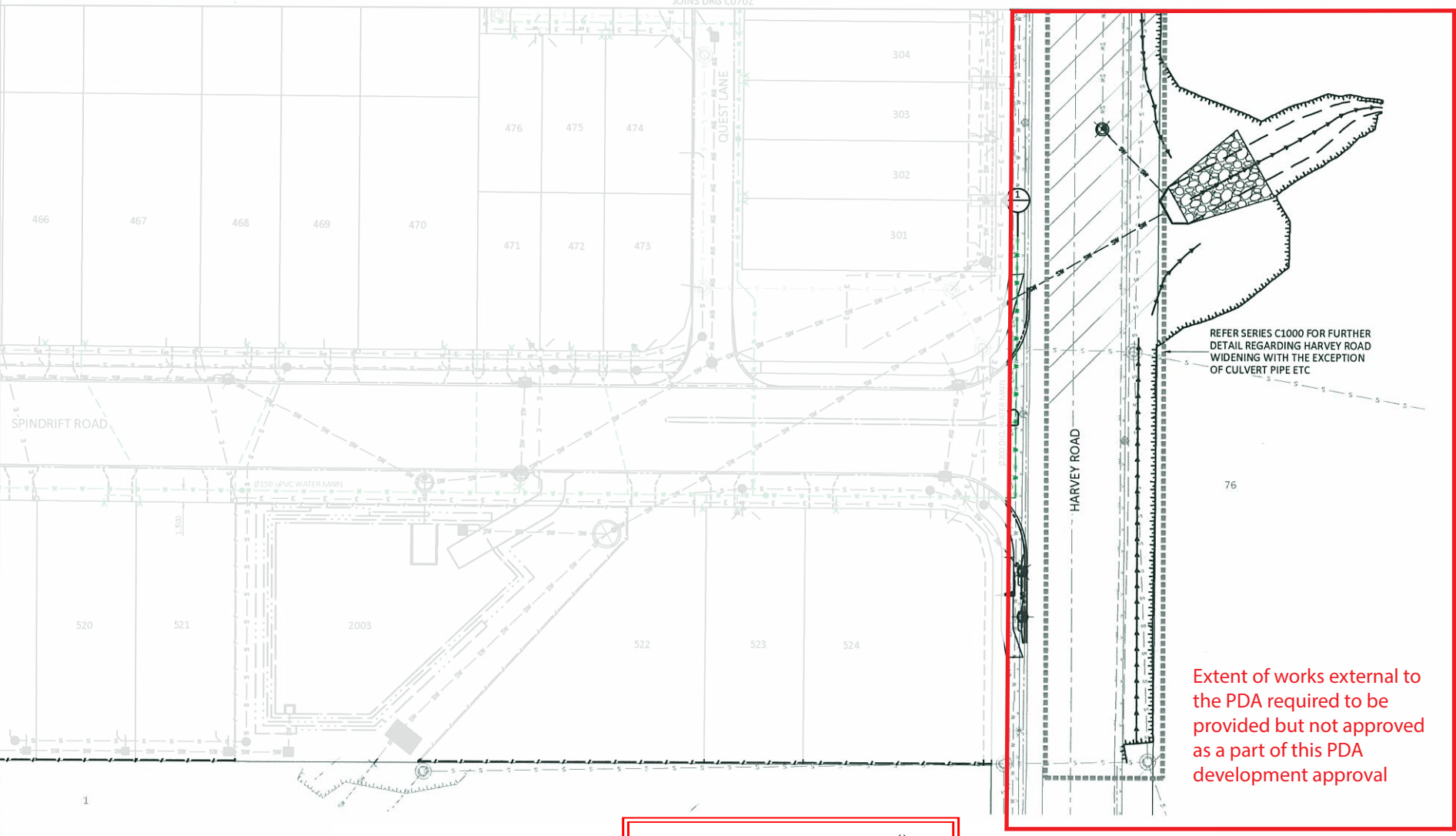
- NOTE:**
1. HEALTHY WATERWAYS BIO-RETENTION BASIN CONSTRUCTION AND ESTABLISHMENT SIGN OFF FORMS TO BE USED THROUGHOUT CONSTRUCTION.
 2. SUBSOIL DRAINAGE PIPES TO BE 200mm DIAMETER 0.5% MIN. GRADE 0.5% TO OUTLET AS NOTED ON THE PLAN OR AS DIRECTED BY THE SUPERINTENDENT.
 3. ALL SUBSOIL DRAINAGE PIPES TO BE 200mm DIAMETER 0.5% MIN. GRADE 0.5% TO OUTLET AS NOTED ON THE PLAN OR AS DIRECTED BY THE SUPERINTENDENT.
 4. THE LOCATION OF THE REINFORCED CONCRETE MAINTENANCE TRACK FROM THE SUPERINTENDENT.



ORIGINAL SIZE: A1
PRINTED SIZE: A1
SCALE: 1:100
DATE: 11.07.16
PROJECT NO: 1.6055
SUBJECT: BIO-RETENTION LAYOUT & NOTES & DETAILS SHEET 1

JOINS DRG C0702

JOINS DRG C0703

**AMENDED IN RED**

By: Anne Edmonds

Date: 2 SEPT 2016



ASSET REGISTER (Tick appropriate box)	
LOCAL FUNDED	DEVELOPER FUNDED
BCC FUNDED	STATE GOVT FUNDED
FEDERAL GOVT FUNDED	OTHER
"AS-CONSTRUCTED" - SIGHTED FUNDING INFORMATION COMPLETED.	
SIGNED (Utility/Eng)	DATE
NAME OF SIGNATORY (Print)	



DIMENSIONS IN METRES EXCEPT WHERE SHOWN OTHERWISE. CULVERT AND PIPE SIZES IN MILLIMETRES. UNREDUCED / REDUCED 1: 250 / 1: 500	AS UNREDUCED AS REDUCED
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STATUS
PRELIMINARY

CONTRACTOR - The documents and sheet remain the property of BORNHORST + WARD and the client. The documents may only be used for the purpose for which they were commissioned and in accordance with the terms of engagement. Unauthorised use of this document from any other source is prohibited.		REV DATE DESCRIPTION ISSUED TO COUNCIL FOR INFORMATION 11.07.16		DRAWN SE MS CH AP	ASSOCIATED CONSULTANTS	APPROVED 7729 RPEQ DATE	CHECKED DATE	BORNHORST + WARD CONSULTING ENGINEERS CIVIL AND STRUCTURAL	Level 4, 67 Astor Terrace Spring Hill, QLD 4000, Australia P. +61 (0) 3013 4699 mail@bornhorstward.com.au www.bornhorstward.com.au	CLIENT ECONOMIC DEVELOPMENT QUEENSLAND (EDQ)	PROJECT HILLCLOSE CLINTON SUBDIVISION STAGES 4, 4A, 4B, 7A & 7B	SUBJECT WATER RETICULATION LAYOUT SHEET 4	PROJECT No. 16085 DRAWING No. C0713 REVISION A
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ORIGINAL SIZE A1