



11 October 2010

ULDA Ref No: DEV2010/062

Ausbuild Pty Ltd
Attn Brent Fletcher
PO Box 246
CAPALABA QLD 4157

Dear Brent

RE: UDA DEVELOPMENT APPROVAL FOR MATERIAL CHANGE OF USE – MULTIPLE RESIDENTIAL (8 DWELLINGS) AND RECONFIGURING A LOT (2 LOTS INTO 8) AT LOTS 46 & 801 HINCHINBROOK AVE, FITZGIBBON DESCRIBED AS LOT 46 & 801 ON SP234611

I am pleased to inform you that your application was approved on 8 October 2010 in accordance with the attached UDA Development Approval Package.

This application and its decision can also be viewed in the ULDA Development Approvals Register via our website www.ulda.qld.gov.au.

If you have any further questions with regard to the matter, please contact me on 3024 4166.

Yours sincerely

A handwritten signature in black ink, appearing to read "Matt Toon".

Matt Toon
PRINCIPAL PLANNER

UDA Development Approval Package

Site Address	Lot 46 & 801 Hinchinbrook Ave, Fitzgibbon
Real property description	Lot 46 & 801 SP234611
Type of approval	Material change of use & Reconfiguring a lot
Description of proposal	Multiple residential dwellings (8 dwelling units) Subdivision of 2 into 8 lots
ULDA reference number	DEV2010/062
Decision	Approved
Decision date	8 October 2010

Approved Drawings or Documents	Number	Plan or Document Date
Proposed Allotment Re-configuration	SP234611 Sheet 2 of 6	26/07/2010 (Received)
Revised Services layout for Lot 46	Appendix B 1 of 2	26/07/2010 (Received)
Revised Services layout for Lot 801	Appendix B 2 of 2	26/07/2010 (Received)
Floor Plan	Appendix C Page 1 of 2	20/07/10
General Housing Design Layout	Appendix C Page 2 of 2	14/07/10
Elevations (1-2)	Appendix D Page 1 of 3 (As Amended in Red)	22/07/10
Elevations (3-4)	Appendix D Page 2 of 3 (As Amended in Red)	22/07/10
Elevations (5-8)	Appendix D Page 3 of 3 (As Amended in Red)	22/07/10
Accessible Housing Design Layout	4a of 13 (As Amended in Red)	14/07/10
Fencing Plan Lot 46	046hin_p	21/04/2010
Fencing Plan Lot 801	801hin_p	21/04/2010

PROJECT TEAM

Matt Toon Principal Planner Development Assessment Urban Land Development Authority	Con de Groot Principal Engineer Development Assessment Urban Land Development Authority
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CONDITION	TIMING
1 Carry out the approved development Carry out the development generally in accordance with the approved plan/s. drawing/s and document/s.	Prior to the commencement of use and to be maintained
2 Detailed Landscape Plan a. Prepare a detailed Landscape Plan for all internal landscaped areas. Landscaping is to ensure that: - selected species and fencing does not block visual surveillance to adjacent footpaths - selected species are drought tolerant and low maintenance - a high level of visual amenity to street frontages.	a. Prior to commencement of landscape works

CONDITION		TIMING
	Submit to the ULDA plans certified by a suitably qualified AILA landscape architect professional in accordance with the above requirements. b. On completion of the Landscape works provide to the ULDA written certification from a licensed and experienced AILA Landscape Architect or Landscape Contractor that the completed landscaping complies with this condition.	b. Prior to commencement of use
3	Soil Erosion and Sediment Control Sediment, erosion and dust control measures must be implemented in accordance with the <i>Soil Erosion and Sediment Control Engineering Guidelines for Queensland Construction Sites</i> (The Institution of Engineers, Australia Queensland Division June 1996) as a minimum standard.	While site works are occurring and then to be maintained
4	Ponding of Stormwater Adjoining properties and roads are to be protected from ponding or nuisance from stormwater as a result of the works.	Prior to commencement of use and then to be maintained
5	Stormwater Drainage Infrastructure All lots to discharge stormwater to the kerb.	Prior to building work commencing
6	Sewer & Water Connection a. Obtain approval from Brisbane City Council to connect into the existing water and sewerage infrastructure. Submit for approval to the Brisbane City Council Engineering plans showing the design of any sewer property connections to serve the development. A Registered Professional Engineer of QLD (RPEQ) is to verify the plan and ensure the design in accordance with Brisbane City Council's current Sewerage Standards. b. Construct the sewer and water connection in accordance with the approved plans required in part a. of this condition Submit to the Brisbane City Council and the ULDA As-constructed plans verified by a Registered Professional Engineer of QLD (RPEQ) confirming all works have been completed in accordance with the approved plans. c. Provide to the ULDA all approval correspondence from BCC relating to part a. of this condition	a. Prior to commencement of work b. Prior to the commencement of use c. Prior to commencement of use
7	Service, meter assembly & meter box Obtain from the Brisbane City Council approval for a water service with meter assembly and meter box to the front real property boundary of the development in accordance with Brisbane City Council Current Standards. Construct the works in accordance with the Brisbane City Council	Prior to the commencement of the use

CONDITION		TIMING						
	Approval.							
8	Service Conduits & Mains Supply and install all service conduits and meet the cost of any alterations to public utility mains, existing mains, services or installations required in connection with the approved development in accordance with the Brisbane City Council's <i>Subdivision and Development Guidelines</i>	Prior to commencement of use and to be maintained						
9	Repair damage to kerb, footpath or road Repair any damage to existing kerb and channel, footpath or roadway (including removal of concrete slurry from footways, roads, kerb and channel and stormwater gullies and drainlines) that may occur during any works carried out in association with the approved development.	Prior to the commencement of the use						
10	Infrastructure Contributions Pay to the Urban Land Development Authority a monetary contribution towards the cost of the provision of essential infrastructure. The contribution has been calculated in accordance with the ULDA's <i>Interim Infrastructure Framework (The Framework)</i> which will apply for all development approvals issued prior to 30 June 2011. The Framework specifies that the charge will be adjusted each July in accordance with the 5 year rolling average of the Road and Bridge Construction Queensland Index. The current applicable charge is: <table border="1" data-bbox="290 1171 1118 1252"> <tr> <td>8 Medium units @ 60-100m² GFA</td><td>\$10,495 / unit</td><td>\$83,960.00</td></tr> <tr> <td>TOTAL</td><td></td><td>\$83,960.00*</td></tr> </table> * Charge will be adjusted each July in accordance with the 5 year rolling average of the Road and Bridge Construction Queensland Index	8 Medium units @ 60-100m ² GFA	\$10,495 / unit	\$83,960.00	TOTAL		\$83,960.00*	Prior to endorsement of survey plan
8 Medium units @ 60-100m ² GFA	\$10,495 / unit	\$83,960.00						
TOTAL		\$83,960.00*						

STANDARD ADVICE

UDA Development Approval

This UDA Development Approval does not include assessment against the Building Code of Australia and does not permit building work to occur. Prior to the commencement of any building work, a Development Permit under the *Sustainable Planning Act 2009* for Carrying out Building Work will be required.

Brisbane City Council (BCC) or Queensland Urban Utilities (QUU) Endorsement

For any conditions in this package that require the consideration of BCC or QUU, you will need to submit the relevant forms, plans and/or reports and fee to the entity nominated in the condition/s. When satisfied that the condition has been met, the applicable entity will issue a response in the manner required by the condition/s (e.g. a letter of endorsement or authorisation or a permit).

Noise and Dust Emissions

All development involving the emission of noise and dust from building/construction activities requires that the emission be in accordance with the requirements of the *Environmental Protection Act 1994*. Pursuant to Division 3 Section 440R of the *Environmental Protection Act 1994*, a builder or building contractor must not carry out building work on a building site in a

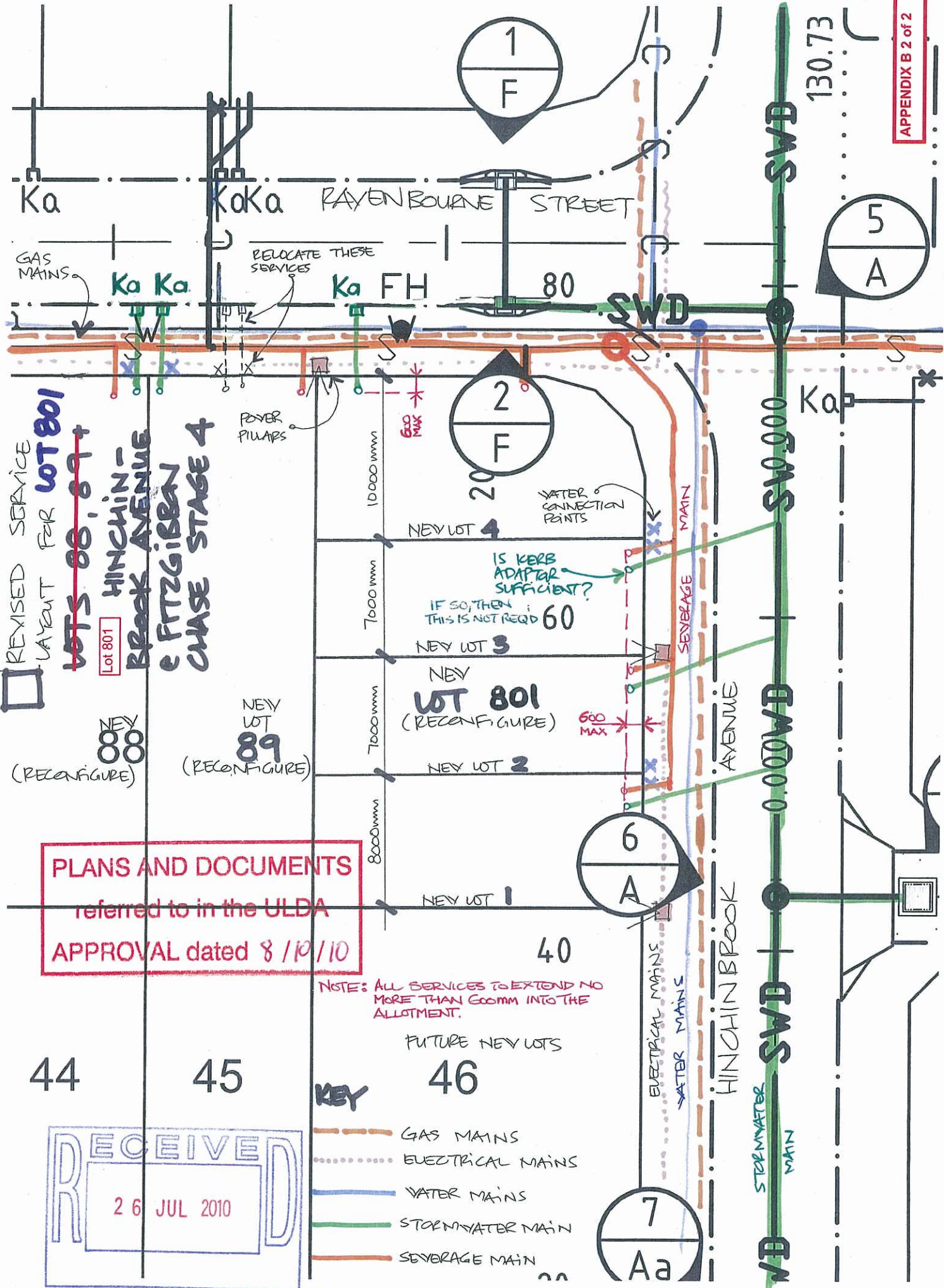
Urban Land Development Authority DEV2010/062
Lot 46 & 801 Hinchinbrook Ave, Fitzgibbon

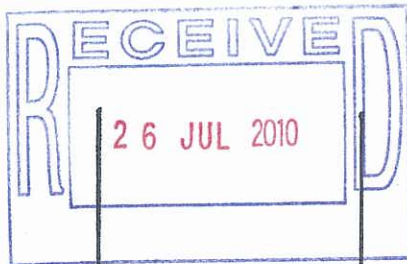
way that makes or causes audible noise to be made from the building work-

- (a) on a Sunday or public holiday, at any time; or
- (b) on a Saturday or business day, before 6.30 a.m. or after 6.30 p.m.

Please note: The above information has been provided to the applicant as an advice only, and does not form part of the development approval conditions. This advice has been provided to the applicant to inform them of other obligations they may have to comply with (under state legislation or local laws) prior to their activity commencing.

**** End of Package ****





60

NEW 88

NEW 89

(RECONFIGURE)

NEW LOT 801 (RECONFIGURE)

PLANS AND DOCUMENTS referred to in the ULDA APPROVAL dated 9/10/10

REVISED SERVICE LAYOUT FOR LOT 46 HINCHINBROOK AVENUE @ FITZGERALD CHASE STAGE 4

44

45

NEW LOT 4

40

NEW LOT 3

LOT 46

NEW LOT 2

20

NEW LOT 1

ELECTRICAL MAINS

IS KERB ADAPTER SUFFICIENT? IF SO THEN THIS IS NOT REQ'D POWER PIPES

WATER CONNECTION POINTS

SEWERAGE MAIN

KaKa

Ka

0.000

DIAMANTINA CRESCENT

KEY

NOTE: ALL SERVICES TO EXTEND NO FURTHER THAN 600 MM INTO THE ALLOTMENT.

- GAS MAINS
- ELECTRICAL MAINS
- WATER MAINS
- SEWERAGE MAIN
- STORMWATER MAIN

STORMWATER MAINS

0.000VD

SWD

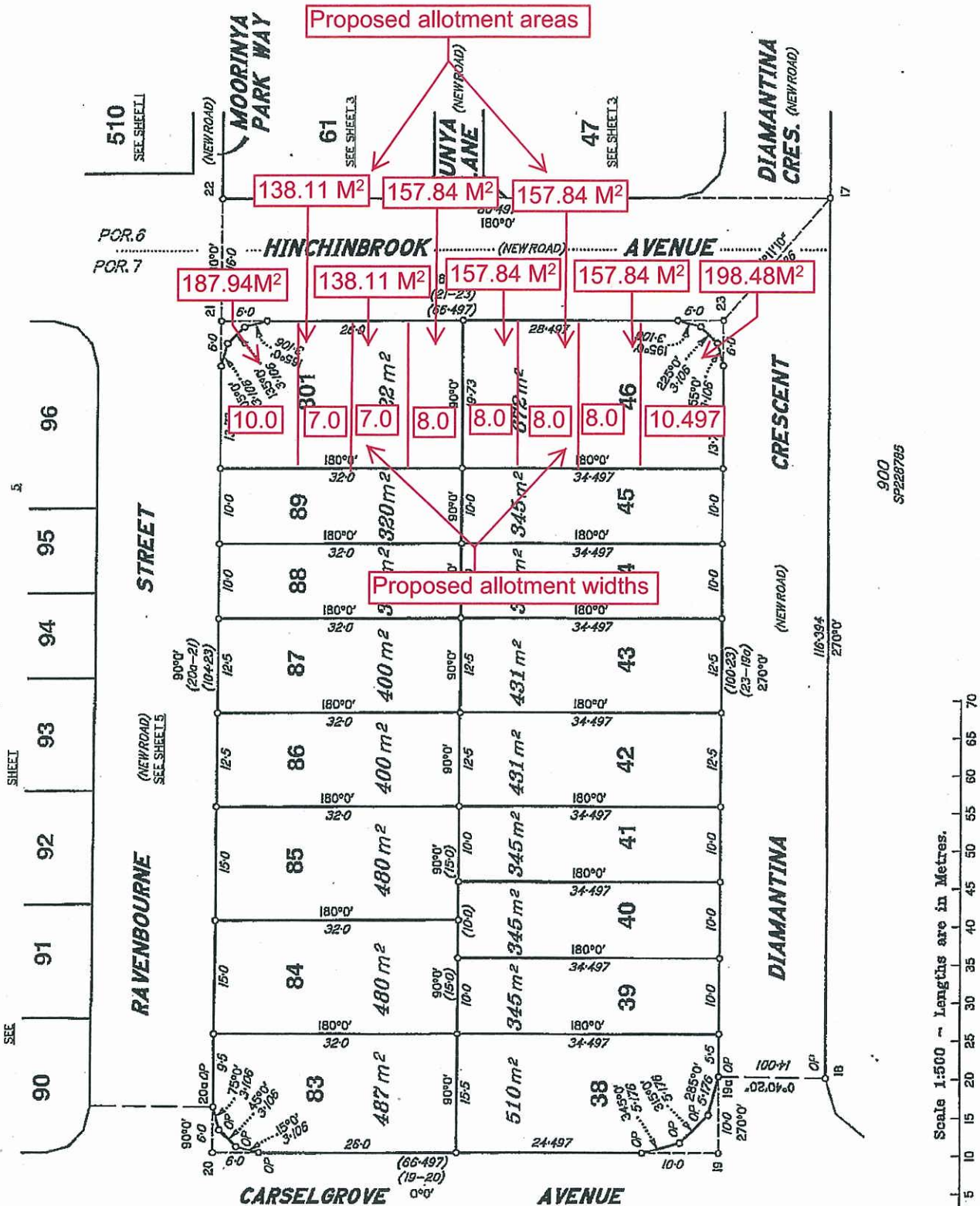
SWD

SWD

HINCHINBROOK AVENUE

APPENDIX B 1 of 2

PROPOSED ALLOTMENT RE-CONFIGURATION



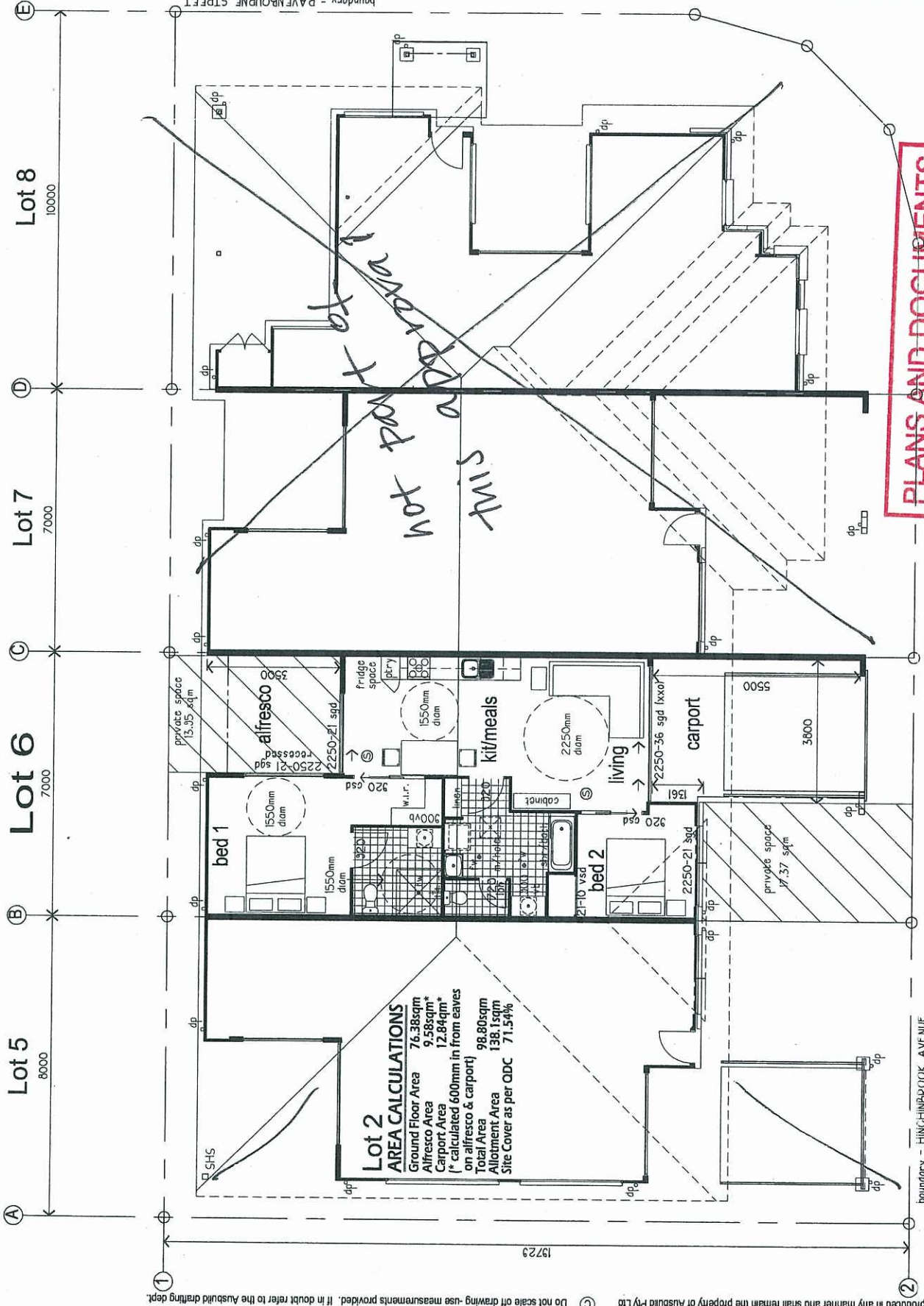
PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 8/10/10



State copyright reserved.

Insert Plan Number SP234611

Scale 1:500 ~ Lengths are in Metres.



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 8 / 10 / 10

ACCESSIBLE HOUSING
DESIGN LAYOUT
proposed lot 6

Lot 2
AREA CALCULATIONS
Ground Floor Area 76.38sqm
Alfresco Area 9.58sqm*
Carport Area 12.84sqm*
(* calculated 600mm in from eaves on alfresco & carport)
Total Area 98.80sqm
Allotment Area 138.1sqm
Site Cover as per ODC 71.54%

- denotes 30mm PVC downpipes
- denotes smoke detector (7 off)
- denotes exhaust fan/light/heater (8 off)
- denotes exhaust fan/light (3 off)
- denotes exhaust fan only (4 off)

AREA CALCULATIONS

Ground Floor Area 76.89sqm
Alfresco Area 10.56sqm*
Carport Area 14.72sqm*
Porch Area 1.81sqm*
(calculated 600mm in from eaves on carport, alfresco & porch)
Total Area 103.98sqm
Allotment Area 188.30sqm
Site Cover as per ODC 55.22%

Lot 4

8000

AREA CALCULATIONS

Ground Floor Area 76.89sqm
Alfresco Area 10.68sqm*
Carport Area 13.01qm*
(calculated 600mm in from eaves on alfresco & carport)
Total Area 100.57sqm
Allotment Area 138.15qm
Site Cover as per ODC 72.82%

Lot 3

8000

AREA CALCULATIONS

Ground Floor Area 77.94sqm
Alfresco Area 9.54sqm*
Carport Area 14.62qm*
(calculated 600mm in from eaves on alfresco & carport)
Total Area 102.14sqm
Allotment Area 138.15qm
Site Cover as per ODC 73.96%

Lot 2

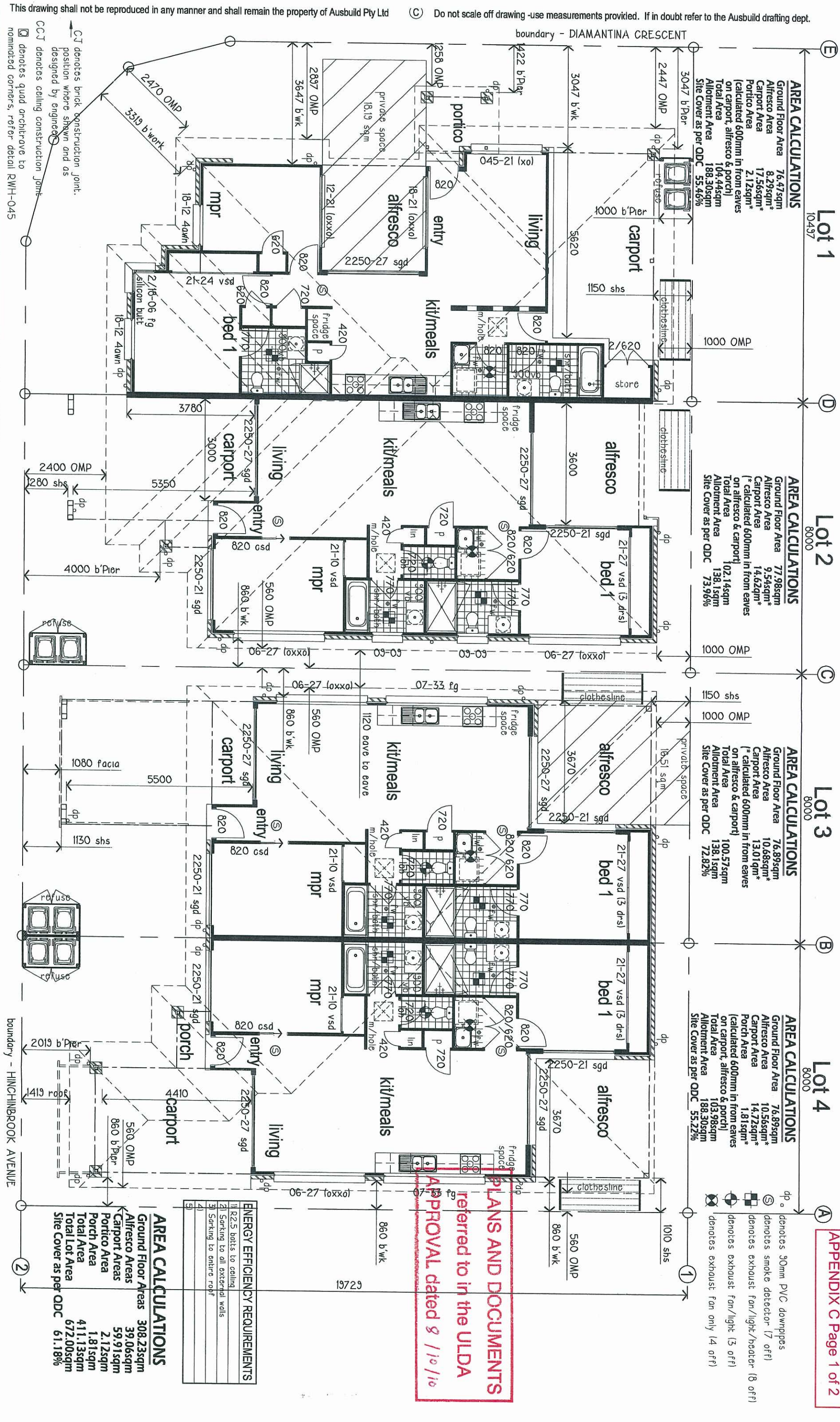
8000

AREA CALCULATIONS

Ground Floor Area 76.47sqm
Alfresco Area 8.29sqm*
Carport Area 17.56sqm*
Porch Area 2.12sqm*
(calculated 600mm in from eaves on carport, alfresco & porch)
Total Area 104.44sqm
Allotment Area 188.30sqm
Site Cover as per ODC 55.46%

Lot 1

10437



This drawing shall not be reproduced in any manner and shall remain the property of Ausbuild Pty Ltd

CCJ denotes brick construction joint.
position where shown and as designed by engineer

CCJ denotes quad construction joint.
denotes quad architrave to nominated corners, refer detail RWH-045

ENERGY EFFICIENCY REQUIREMENTS

1	11 R2.5 batts to ceiling
2	21 Sarking to all external walls
3	31 Sarking to entire roof
4	
5	

AREA CALCULATIONS

Ground Floor Areas	308.23sqm
Alfresco Areas	39.06sqm
Carport Areas	59.91sqm
Porch Area	2.12sqm
Total Area	411.33sqm
Total Lot Area	672.00sqm
Site Cover as per ODC	61.18%

AUSBUILD
Building with you

PO Box 246
Capalaba Qld 4157
Telephone (07) 3245 0600
Facsimile (07) 3245 0671
Web: www.ausbuild.com.au

DUPELX

Client
Ausbuild

Job Address
Lot 46 Hinchinbrook Av.
Fitzgibbon Chase Stg.3
Fitzgibbon 4018

Specification

Site Description
Lot No : Lot 46
RPD : SP234611
Parish of : Nunundah
County of : Stanley
Land Area: 672 sqm.

Local Authority
ULDA

Drawn
afs - 20/07/16

Ext.
0673

Scale
1 : 100

Wind Category
N2

Drawing No.
2 of 13

Job No.
046hin_p

Floor Plan

Amt. Date

Description

PO Box 246, Capalaba. Qld. 4157
Telephone (07) 3245 0600
Facsimile (07) 3245 0671
Web Site: www.ausbuild.com.au

Client
Ausbuild

Job Address
Lot 46 (1 - 2)
Hinchinbrook Av.
Fitzgibbon Chase St 3
4018

Specification

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 8 / 10 / 10

Site Description

Lot No : 46
RPD : SP234611
Parish of : Nundah
County of : Stanley
Land Area: 672sqm.

Local Authority
ULDA

Wind Category
N2
Scale
1 : 100

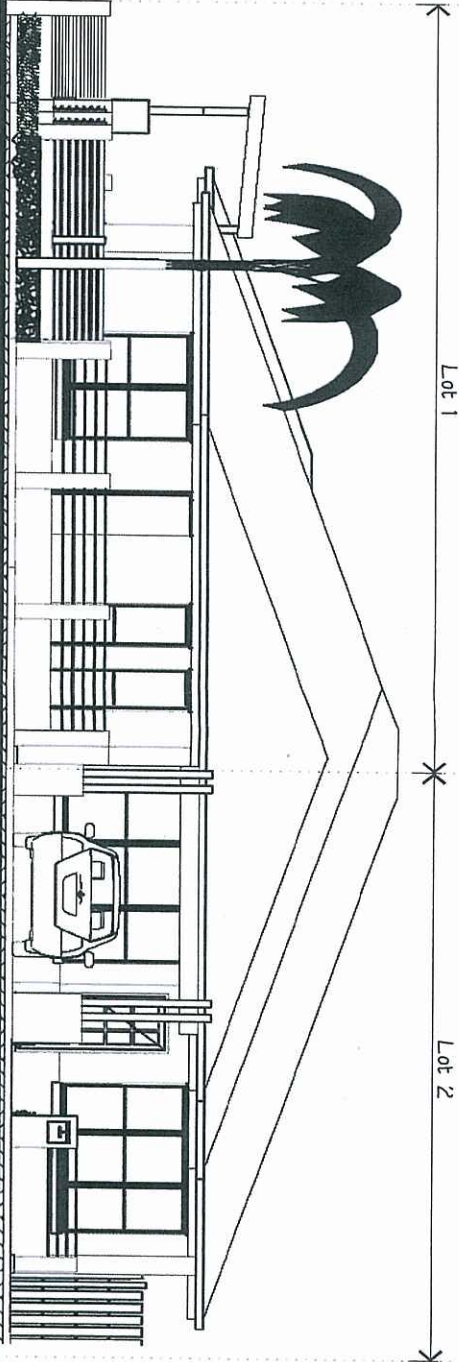
Drawn
afs 22/07/10
Ext.
673

Amt	Date	Description
Initials		

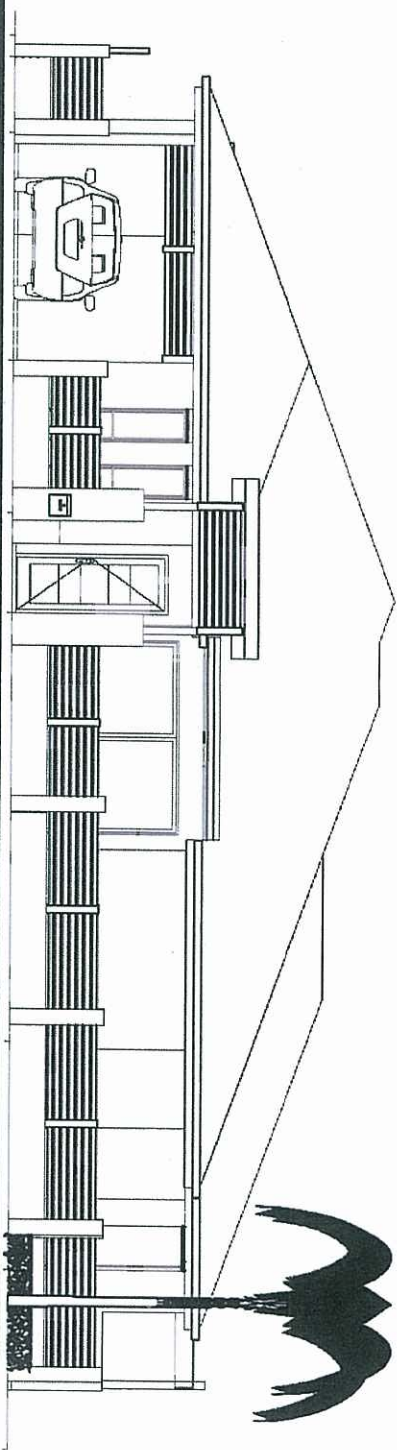
Job No. 046hin_p
Dwg No. 5 of 13

Elevations 1 - 2

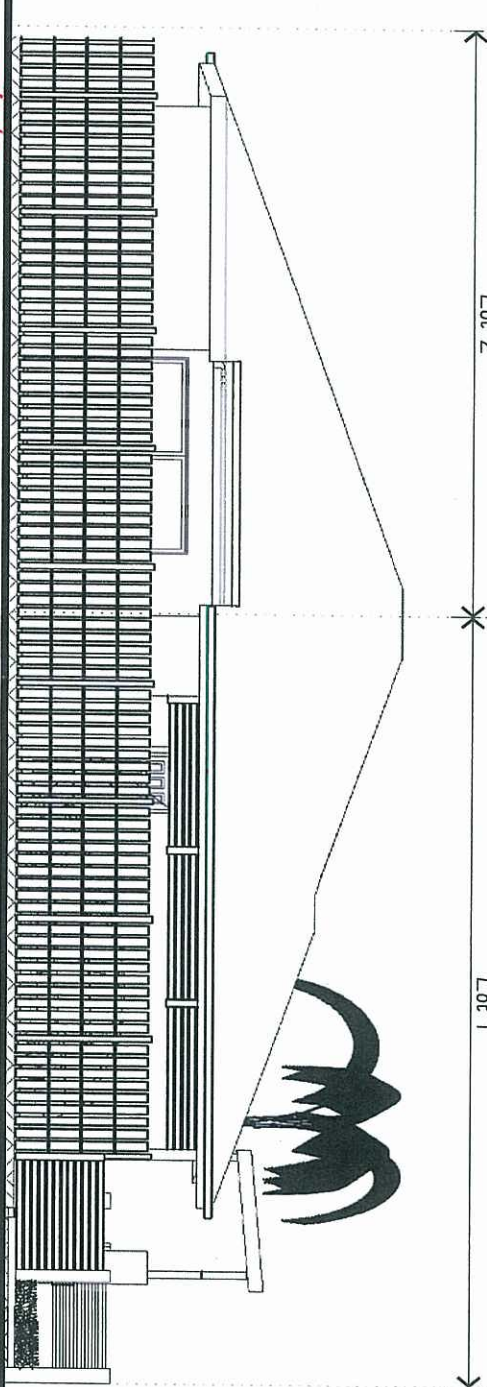
DUPLEX



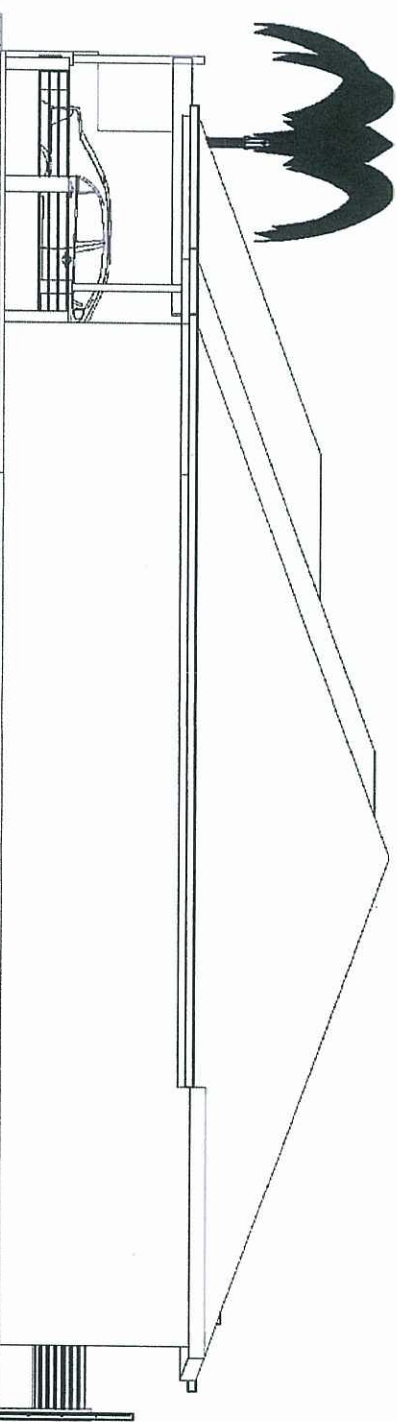
East Elevation



South Elevation



West Elevation



North Elevation

(C) Do not scale off drawing - use measurements provided. If in doubt refer to the Ausbuild drafting dept.

AMENDED
12 AUG 2010
D

By: Math Toon (name)
of the ULDA
Fencing is to be in accordance
with Fitzgibbon Chase Design

Celluline approval on 12/8/10.

This drawing shall not be reproduced in any manner and shall remain the property of Ausbuild Pty Ltd

Web Site: www.ausbuid.com.au

Ausbild

Lot 46 (3 - 4)
Hinchinbrook Av.
Fitzgibbon Chase St 3
4018

Specification

Lot No : 46
RPD : SP23461
Parish of : Nundah
County of : Stanley
Land Area: 672sqm.

ULDA

N2

afes 22/0

Elevations 3 -4

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 8 /10 /10

East Elevation

North Elevation

West Elevation

A MENDED IN IT D
 1 2 AUG 2010
 By: Math Tern (name)
 of the ULDA
 Facing is to be in accordance with
 Fitzgibbon Chase Design Guideline

Approval on 12/8/10

(C) Do not scale off drawing -use measurements provided. If in doubt refer to the Ausbuild drafting dept.

This drawing shall not be reproduced in any manner and shall remain the property of Ausbuild Pty Ltd

I:\apps\AUTOCAD\Fitzgibbon Chase\STAGE 3\LOTS\LOT 46 Double Duplex\DRAWINGS\lot 46 Hinchinbrook Avenue 10-03-10.dwg, 23/07/2010 2:14:16 PM

Web Site: www.ausbuid.com.au

Ausbild

Lot 801 (5 to 8)
Hinchinbrook Avenue
Fitzgibbon Chase St 3
4018

PLANS AND DOCUMENTS referred to in the ULDA

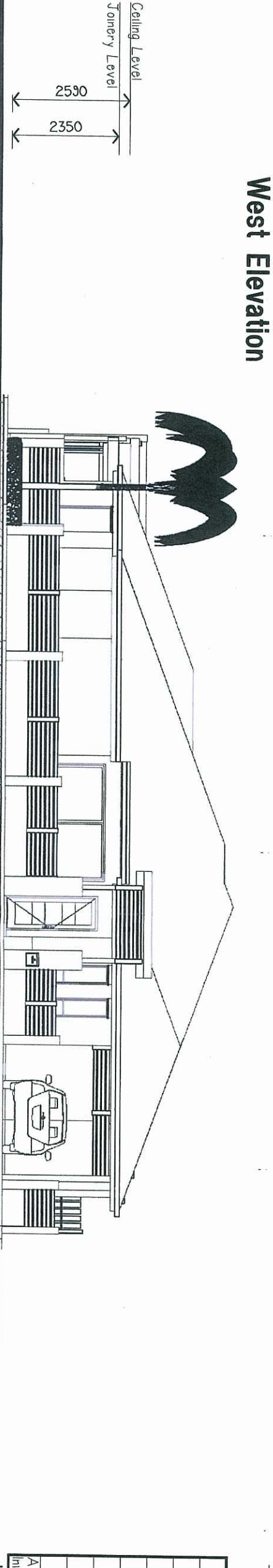
APPROVAL dated 8/10/10

<u>Drawn</u>	<u>Ext.</u>
afs 14/07/10	673

[illegible]

Job No.	Dwg No.
801hin_p	4 of 13

QUADPLEX

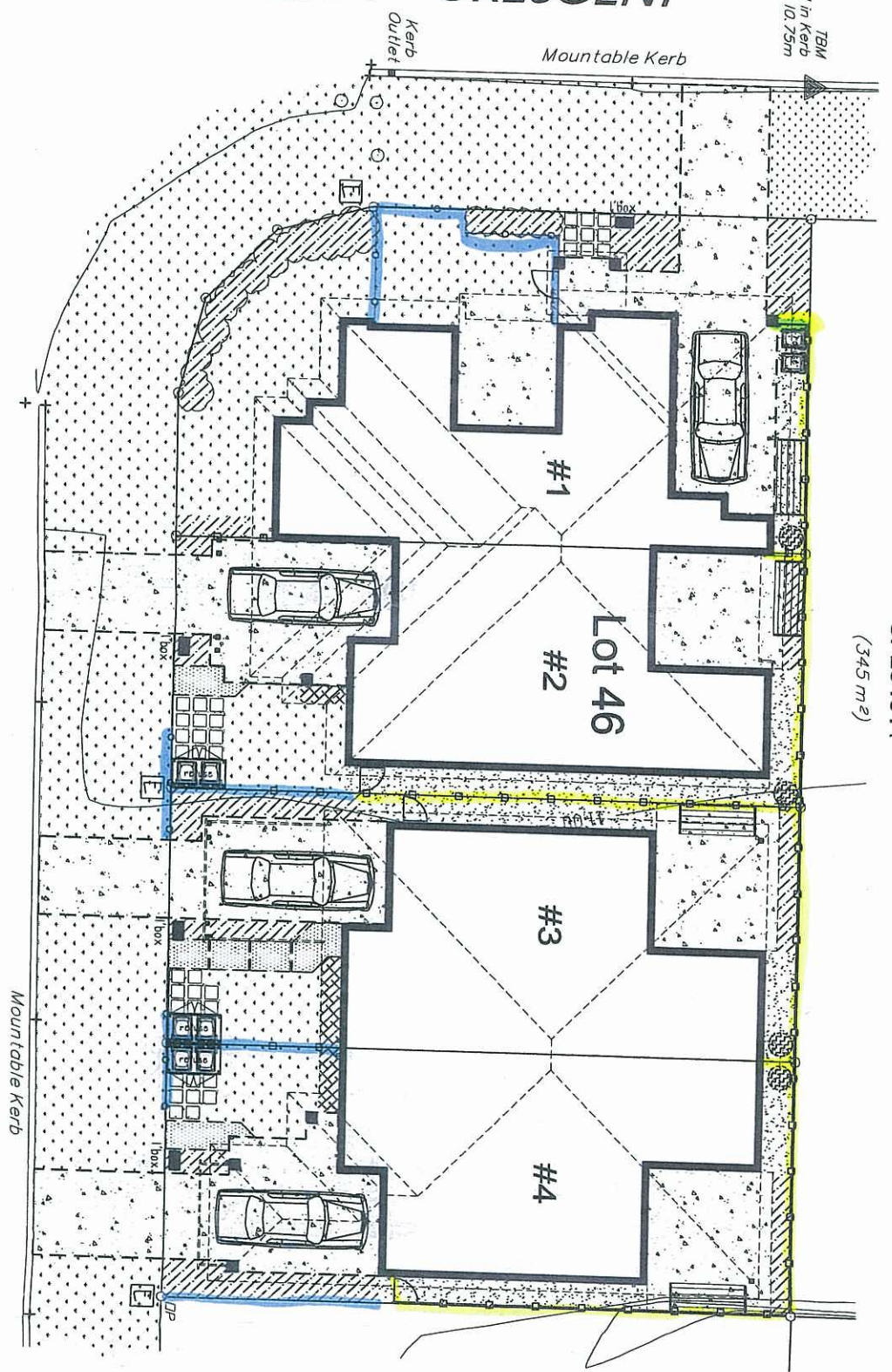


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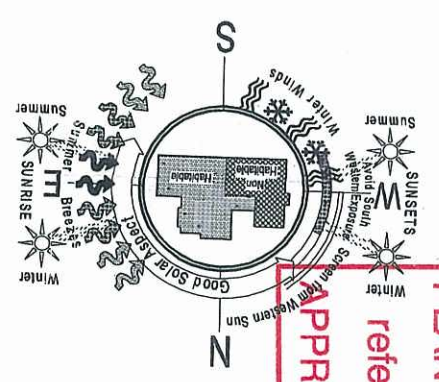
- EXPOSED AGGREGATE CONCRETE
- PLAIN CONCRETE
- TURF
- GRAVEL
- GARDEN BED
- FEATURE GARDEN BED
- 1800HT TIMBER FENCING
- 1200HT TIMBER FENCING
- FEATURE FENCING

- denotes position of 300ltr compost bin (final position to be determined by owner)
- denotes letter box position refer std detail AUS_043
- denotes connection point for ground water drainage system (indicative only)
- denotes existing trees to remain on site
- denotes trees to be removed from site
- denotes car-parking provision

DIAMANTINA CRESCENT



Lot 45
SP234611
(345 m²)



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL date 8/10/10
AUSBUILD

Building with you
PO Box 246, Capalaba, Qld. 4157
Telephone (07) 3245 0600
Facsimile (07) 3245 0671
Web Site: www.ausbuid.com.au

KEVIN HOLT CONSULTING
SURVEYORS AND TOWN PLANNERS
1B Technology Office Park
107 Miles Platting Road
Eight Mile Plains Qld 4113
Phone: 07 3219 0400
Fax: 07 3219 0900
Email: brisbane@kevinholtconsulting.com

- LEGEND
- UP - LIGHT POLE
 - OP - ORIGINAL REC
 - TBM - TEMPORARY BENCH MARK
 - PP - POWER POLE
 - FP - FIRE HYDRANT
 - AV - AIR VALVE
 - SM - SEWER MANHOLE
 - RM - ROOF WATER PIT
 - PO - POWER BOX
 - TS - TEST STRA PIT
 - CO - CROSS-OVER
 - HW - HEAD WALL
 - SL - SEWER LINE
 - FENCE
 - RR - ROCK RETAINING WALL
 - TR - TIMBER RETAINING WALL
 - SP - STORMWATER PIPE
 - GS - GAS SUPPLY
 - BL - BARRIER KERB LINE
 - SC - SURVEY CONTROL MARK
 - SM - STORMWATER MANHOLE
 - PM - PERMANENT SURVEY MARK
 - GR - GULLY GRATE
 - WT - WATER TAP / WATER VALVE
 - SW - STORM WATER LINE
 - TO - TOP OF BANK
 - BO - BOTTOM OF BANK

NOTE: The position of Fence lines, retaining walls and other detail is indicative only and should not be relied upon as depicting the Boundary Lines. This is a plan of VISABLE SERVICES ONLY. No Council search has been undertaken. The location of pegs found have NOT BEEN CHECKED and as such should not be relied on as marking the corners of the Lot. Any identification Survey should be carried out prior to any construction work.

Site Address:

46 Hinchinbrook Av.
Fitzgibbon Chase Stg 3
Fitzgibbon 4018

REAL PROPERTY DESCRIPTION

Lot 46 on SP234611
Original Portion
Parish of Nunindah
County of Stanley
Area of Land: 672 sqm
ULDA Reference: Map Ref
Local Authority: ULDA
Contour Interval: 0.25m
Datum: AHDD (Field Sn RL 10.408)

Amc	
Amc	
Amc	
SCALE:	1:200
DATE:	21/04/2010
JOB NO.	101376
CLIENT JOB NO.	046hlt_p

SITE SURVEY PLAN

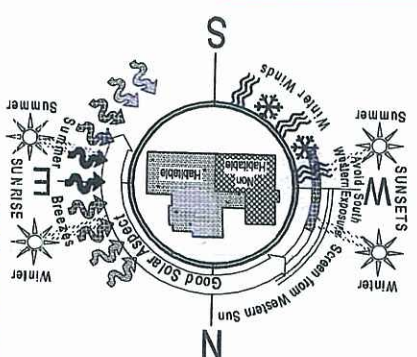
fencing plan - Lot 46

HINCHINBROOK AVENUE



APPROVED pursuant to design guidelines dated 12/8/10 on this plan type as highlighted in positions 3
refer to notes
DENIED
Landscaping Plan

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 8 /10 /10

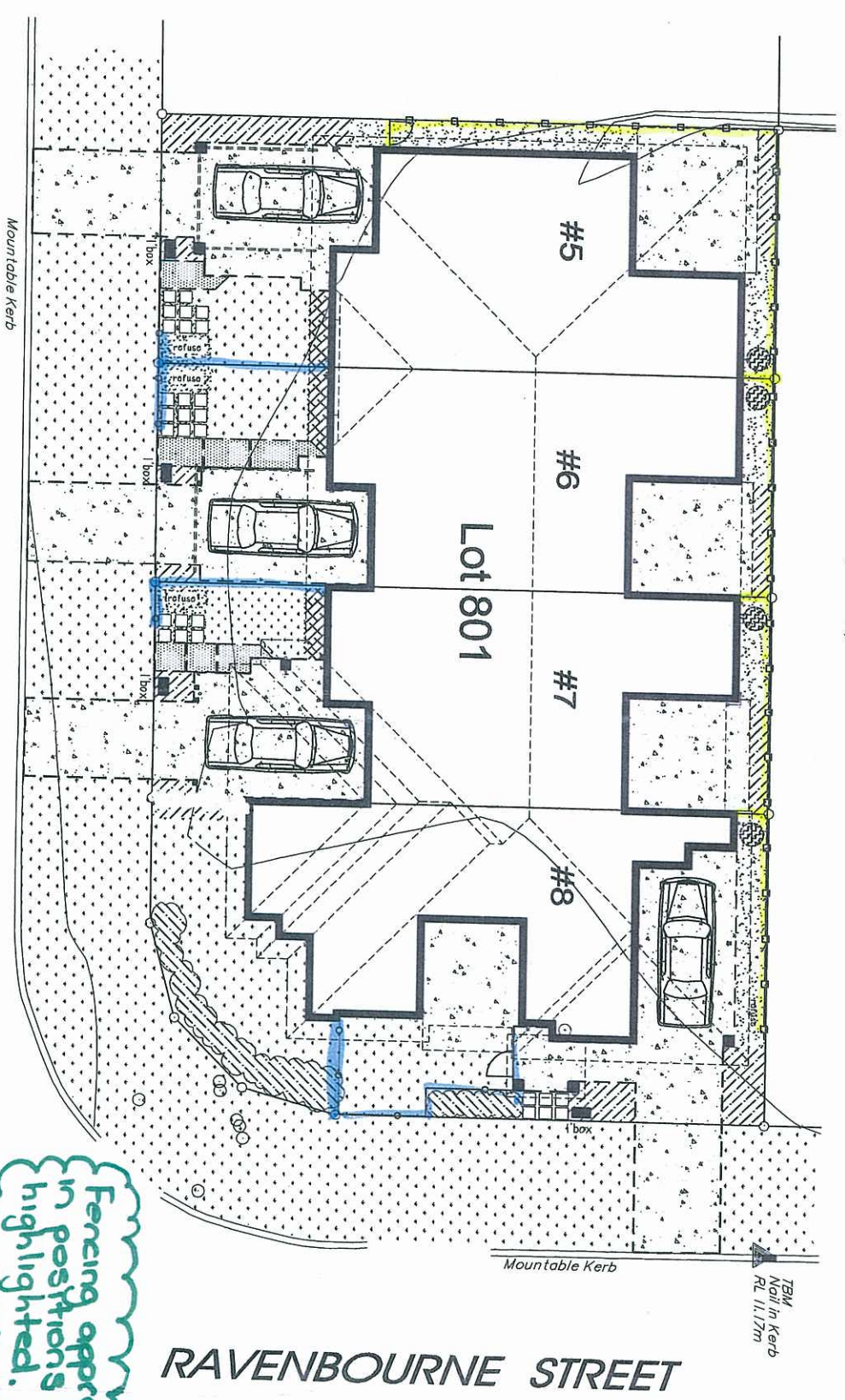


RECEIVED

Lot 89
SP234611
(320 m²)

6 AUG 2010

- EXPOSED AGGREGATE CONCRETE
- PLAIN CONCRETE
- TURF
- GRAVEL
- GARDEN BED
- FEATURE GARDEN BED
- 1800HT TIMBER FENCING
- 1200HT TIMBER FENCING
- FEATURE FENCING



Fencing approved
in positions as
highlighted.

HINCHINBROOK AVENUE

RAVENBOURNE STREET

- denotes existing trees to remain on site
- denotes trees to be removed from site
- denotes car-parking provision
- denotes connection point for ground water drainage system (indicative only)
- denotes position of 300ltr compost bin (final position to be determined by owner)
- denotes letter box position refer std detail AUS_043
- denotes connection point for ground water drainage system (indicative only)

Fencing Plan - Lot 801

APPROVED pursuant
to design guidelines
dated 12 / 8 / 10
- refer to note
Landscaping Plan

Client:

AUSBUILD
Building with you

PO Box 246, Capalaba, Qld. 4157
Telephone (07) 3245 0800
Facsimile (07) 3245 0671
Web Site: www.ausbuild.com.au

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Phone: 07 3219 0400
Fax: 07 3219 0900
Email: brisbane@kevinholtconsulting.com

- LEGEND**
- LP - LIGHT POLE
 - OP - ORIGINAL PEG
 - IBM - TEMPORARY BENCH MARK
 - PP - POWER POLE
 - FI - FIRE HYDRANT
 - AV - AIR VALVE
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 - BK - BARRIER KERB LINE
 - SC - SURVEY CONTROL MARK
 - PM - PERMANENT SURVEY MARK
 - GR - GULLY GRATE
 - WT - WATER TAP / WATER VALVE
 - SI - SIGN
 - SW - STORM WATER LINE
 - TL - TOP OF BANK
 - BL - BOTTOM OF BANK

NOTE: The position of Fence lines, retaining walls and other detail is indicative only and should not be relied upon as depicting the Boundary Lines. This is a plan of VISABLE SERVICES ONLY. No Council search has been undertaken. The location of pegs found have NOT BEEN CHECKED and as such should not be relied on as marking the corners of the Lot. Any identification survey should be carried out prior to any construction work.

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801 Hinchinbrook Av.
Fitzgibbon Chase Stg 3
Fitzgibbon 4018

REAL PROPERTY DESCRIPTION	
Lot 801 on SP234611	
Original Portion	
Parish of Nunah	
County of Stanley	
Area of Land: 622 sqm	
UBD Reference: Map Ref	
Local Authority: ULDA	
Contour Interval: 0.25m	
Datum: AHDD (Field Sin RL 10.408)	

Amt	
Amt	
Amt	
SCALE:	1:200
DATE:	21/04/2010
JOB NO.	101381
CLIENT JOB NO.	801hin_p

SITE SURVEY PLAN