



11 October 2010

ULDA Ref No: DEV2010/061

AusHomes Pty Ltd
Attn Shane Taylor
6/54-66 Perrin Ave
UNDERWOOD QLD 4119

Dear Shane

RE: UDA DEVELOPMENT APPROVAL FOR MATERIAL CHANGE OF USE – MULTIPLE RESIDENTIAL (4 DWELLINGS) AT LOTS 14 & 15 KURANDA WAY DESCRIBED AS LOT 14 & 15 ON SP22875

I am pleased to inform you that your application was approved on 8 October 2010 in accordance with the attached UDA Development Approval Package.

This application and its decision can also be viewed in the ULDA Development Approvals Register via our website www.ulda.qld.gov.au.

If you have any further questions with regard to the matter, please contact me on 3024 4166.

Yours sincerely

A handwritten signature in dark ink, appearing to read "Matt Toon".

Matt Toon
PRINCIPAL PLANNER



UDA Development Approval Package

Site Address	Lots 14 & 15 Kuranda Park Way, Fitzgibbon
Real property description	Lots 14 and 15 on SP228785
Type of approval	Material change of use
Description of proposal	Multiple residential (4 dwelling units)
ULDA reference number	DEV2010/061
Decision	Approved with UDA conditions
Decision date	8 October 2010

Approved Drawings or Documents	Number	Plan or Document Date
Site Plan Proposed Residence 15 B	09-1206 Sheet 1 of 13 Rev A	26.7.10 (Received)
Floor Plan	09-1206 Sheet 2 of 13	26.7.10 (Received)
Elevations and Section	09-1206 Sheet 3 of 13	26.7.10 (Received)
Ground and Upper Floor Plan	09-1206 Sheet 8 of 13	26.7.10 (Received)
Elevations and Section	09-1206 Sheet 9 of 13	26.7.10 (Received)
Site Plan Proposed Residence 14 A	10-0301 Sheet 1 of 13	26.7.10 (Received)
Ground and Upper Floor Plan	10-0301 Sheet 2 of 13	26.7.10 (Received)
Elevations and Section	10-0301 Sheet 3 of 13	26.7.10 (Received)
Floor Plan	10-0301 Sheet 8 of 13	26.7.10 (Received)
Elevations and Section	10-0301 Sheet 9 of 13	26.7.10 (Received)

PROJECT TEAM

Matt Toon Principal Planner Development Assessment Urban Land Development Authority	Con de Groot Principal Engineer Development Assessment Urban Land Development Authority
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CONDITION	TIMING
1 Carry out the approved development Carry out the development generally in accordance with the approved plan/s, drawing/s and document/s.	Prior to the commencement of use and to be maintained
2 External fencing The external boundary fencing (except facing onto the Laneway) is to either: a. be a maximum height of 1.2m if solid or b. be a maximum height of 1.5 m with a minimum of 50% transparency	Prior to the commencement of use and to be maintained

	CONDITION	TIMING
3	Detailed Landscape Plan a. Prepare a detailed Landscape Plan for all internal landscaped areas. Landscaping is to ensure that: - selected species and fencing does not block visual surveillance to adjacent footpaths - selected species are drought tolerant and low maintenance - a high level of visual amenity to frontages. Submit to the ULDA certified plans by a suitably qualified AILA landscape architect professional in accordance with the above requirements. b. On completion of the Landscape Works, provide to the ULDA written certification from a licensed and experienced AILA Landscape Architect or Landscape Contractor that the completed landscaping complies with this condition.	a. Prior to commencement of landscape works b. Prior to commencement of use
4	Soil Erosion and Sediment Control Sediment, erosion and dust control measures must be implemented in accordance with the <i>Soil Erosion and Sediment Control Engineering Guidelines for Queensland Construction Sites</i> (The Institution of Engineers, Australia Queensland Division June 1996) as a minimum standard.	While site works are occurring and then to be maintained
5	Stormwater Drainage Infrastructure Stormwater run-off from roof and developed surface areas of the site, and any run-off onto the site from adjacent areas, are to be collected internally and directed to a lawful point of discharge.	Prior to commencement of use and then to be maintained
6	Sewer & Water Connection a. Seek and obtain approval from Brisbane City Council to connect into the existing water and sewerage infrastructure. Submit for approval to the Brisbane City Council Engineering plans showing the design of any sewer property connections to serve the development. A Registered Professional Engineer of QLD (RPEQ) is to verify the plan and ensure the design in accordance with Brisbane City Council's current Sewerage Standards. b. Construct the sewer and water connection in accordance with the approved plans required in part a. of this condition Submit to the Brisbane City Council and the ULDA As-constructed plans verified by a Registered Professional Engineer of QLD (RPEQ) confirming all works have been completed in accordance with the approved plans. c. Provide to the ULDA all approval correspondence from BCC relating to part a. of this condition	a. Prior to commencement of work b. Prior to the commencement of use c. Prior to commencement of use

CONDITION		TIMING									
7	Service, meter assembly & meter box Obtain from the Brisbane City Council approval for a water service with meter assembly and meter box to the front real property boundary of the development in accordance with Brisbane City Council Current Standards. Construct the works in accordance with the Brisbane City Council Approval.	Prior to the commencement of the use									
8	Service Conduits & Mains Supply and install all service conduits and meet the cost of any alterations to public utility mains, existing mains, services or installations required in connection with the approved development in accordance with the Brisbane City Council's <i>Subdivision and Development Guidelines</i>	Prior to commencement of use and to be maintained									
9	Repair damage to kerb, footpath or road Repair any damage to existing kerb and channel, footpath or roadway (including removal of concrete slurry from footways, roads, kerb and channel and stormwater gullies and drainlines) that may occur during any works carried out in association with the approved development.	Prior to the commencement of the use									
10	Infrastructure Contributions Pay to the Urban Land Development Authority a monetary contribution towards the cost of the provision of essential infrastructure. The contribution has been calculated in accordance with the ULDA's <i>Interim Infrastructure Framework</i> (The Framework) which will apply for all development approvals issued prior to 30 June 2011. The Framework specifies that the charge will be adjusted each July in accordance with the 5 year rolling average of the Road and Bridge Construction Queensland Index. The current applicable charge is: <table border="1"> <tr> <td>2 Small Units =<60m² GFA</td><td>\$7,525 / unit</td><td>\$15,050.00</td></tr> <tr> <td>2 Medium units @ 60-100m² GFA</td><td>\$10,495 / unit</td><td>\$20,990.00</td></tr> <tr> <td>TOTAL</td><td></td><td>\$36,040.00*</td></tr> </table> * Charge will be adjusted each July in accordance with the 5 year rolling average of the Road and Bridge Construction Queensland Index	2 Small Units =<60m ² GFA	\$7,525 / unit	\$15,050.00	2 Medium units @ 60-100m ² GFA	\$10,495 / unit	\$20,990.00	TOTAL		\$36,040.00*	Prior to commencement of use
2 Small Units =<60m ² GFA	\$7,525 / unit	\$15,050.00									
2 Medium units @ 60-100m ² GFA	\$10,495 / unit	\$20,990.00									
TOTAL		\$36,040.00*									

STANDARD ADVICE

UDA Development Approval

This UDA Development Approval does not include assessment against the Building Code of Australia and does not permit building work to occur. Prior to the commencement of any building work, a Development Permit under the *Sustainable Planning Act 2009* for Carrying out Building Work will be required.

Brisbane City Council (BCC) or Queensland Urban Utilities (QUU) Endorsement

For any conditions in this package that require the consideration of BCC or QUU, you will need to submit the relevant forms, plans and/or reports and fee to the entity nominated in the condition/s. When satisfied that the condition has been met, the applicable entity will issue a response in the manner required by the condition/s (e.g. a letter of endorsement or authorisation, an approval or a permit).

Noise and Dust Emissions

All development involving the emission of noise and dust from building/construction activities requires that the emission be in accordance with the requirements of the *Environmental Protection Act 1994*.

Pursuant to Division 3 Section 440R of the Environmental Protection Act 1994, a builder or building contractor must not carry out building work on a building site in a way that makes or causes audible noise to be made from the building work-

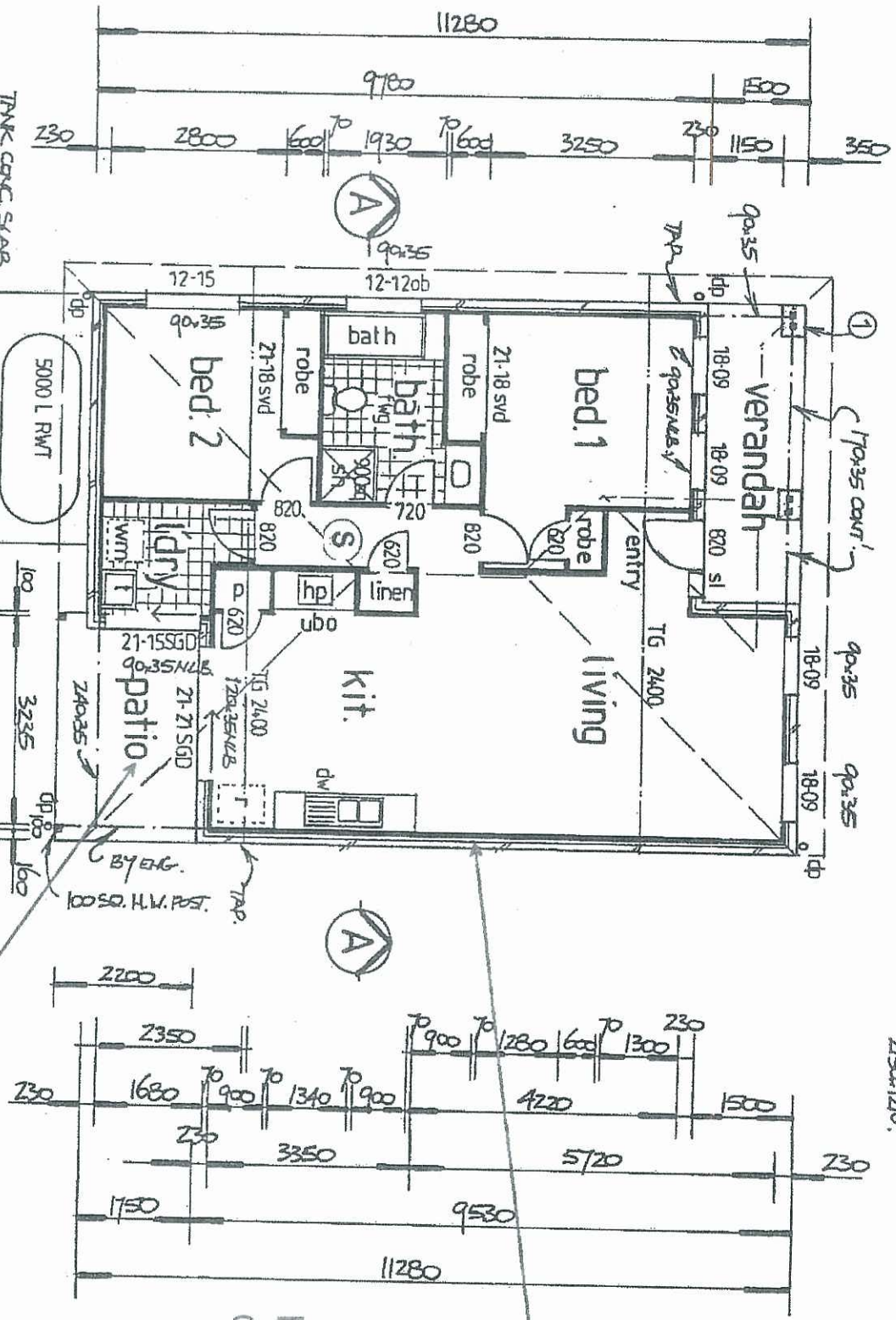
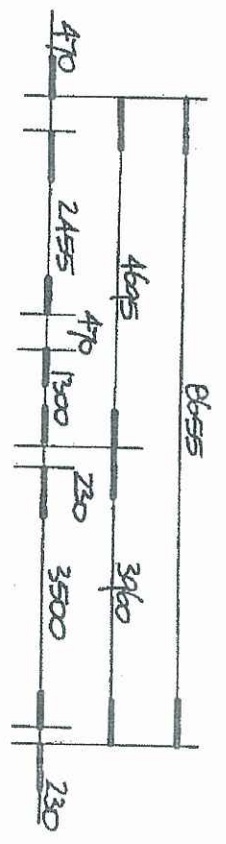
- (a) on a Sunday or public holiday, at any time; or
- (b) on a Saturday or business day, before 6.30 a.m. or after 6.30 p.m.

Please note: The above information has been provided to the applicant as an advice only, and does not form part of the development approval conditions. This advice has been provided to the applicant to inform them of other obligations they may have to comply with (under state legislation or local laws) prior to their activity commencing.

**** End of Package ****

- All lintels to be F17 seas. H.W. U.N.O.
- Provide 3 studs under girders or lintels supporting girder truss loads. U.N.O.
- Truss engineer shall check girder truss positions, all lintels and supporting studs (jamb studs), for adequacy.

- ① - 100x100 H.W. POST ON 470x350 BACK PIER - 1000 HIGH.
FRONT DOOR UNIT SIZE 2130x1210.



⑤ SMOKE ALARMS MUST COMPLY WITH THE BCA 3.7.2

BUILT TO BOUNDARY WALLS WITHIN 900MM OF THE BOUNDARY MUST BE CONSTRUCTED OF MAINTENANCE FREE MATERIALS AND ACHIEVE A FIRE RESISTANCE LEVEL OF 60/60/60

No encroachment by gutter or downpipes allowed at boundary.

Fire rated ceiling to patio to provide FRL 60/60/60 (within 900mm of boundary).

FLOOR PLAN 1:100

FLOOR AREA:-	
ENCLOSED RESIDENCE	84.7
VERANDAH	7.0
PATIO	7.5
	<u>99.2 m²</u>

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 8/10/10

Matrix Certification Services
APPROVED

AUSHOMES
Pty Ltd

Unit 6 Aushomes House
54-60 Perth Drive
UNDERWOOD Q4119
Ph: (07) 3809 5999
Fax: (07) 3809 5900
www.aushomes.com.au

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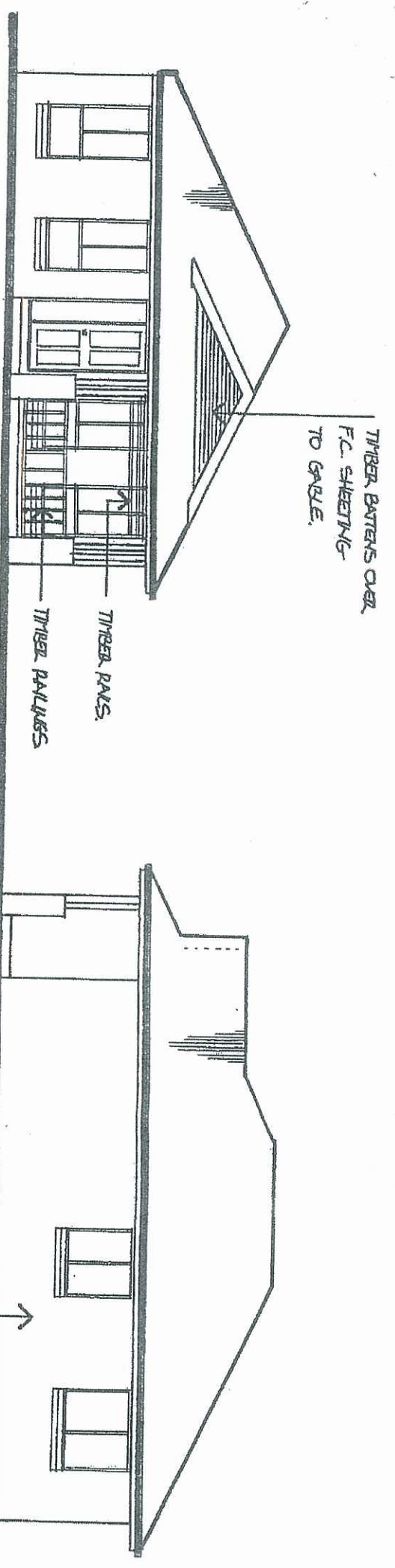
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Plans by: **G&D GREEN Pty Ltd**
Ph: (07) 3808 3424
Email: gndesign@optonline.com.au
ABN: 49 550 574 535
Lic No: 10376761

PROPOSED RESIDENCE FOR
LOT 15B PALMERSTON LANE
FITZGIBBON

Project: **2 of 13**
Drawing No: **09-1206**
JOB NO

RECEIVED
26 JUL 2010
BY:



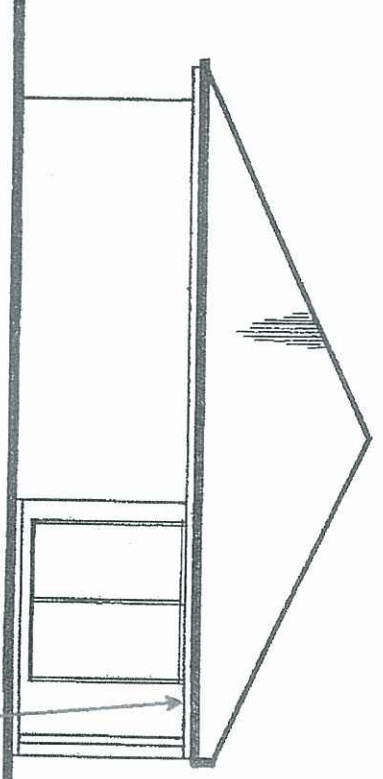
FRONT ELEVATION

R.H. SIDE

Tie-down to be continuous to Slab/Columns

No encroachment by gutter or downpipes allowed at boundary.

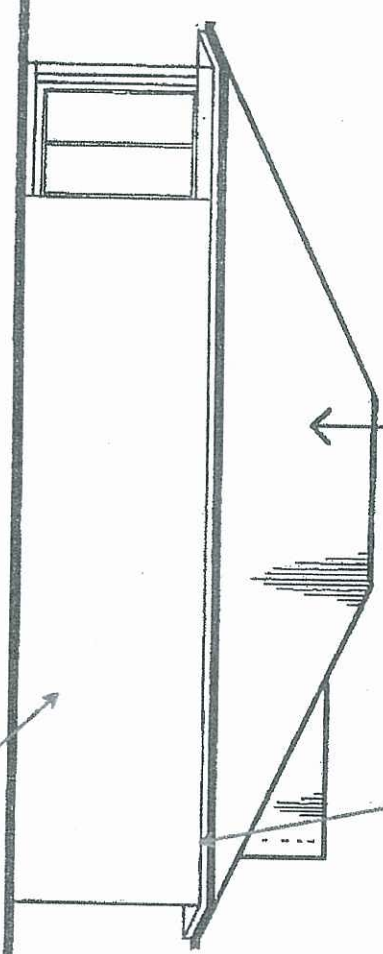
COLORBOND ASTOR ORS ROOF SHEETING



REAR ELEVATION

Fire rated ceiling to patio to provide FRL 60/60/60 (within 900mm of boundary).

L.H. SIDE

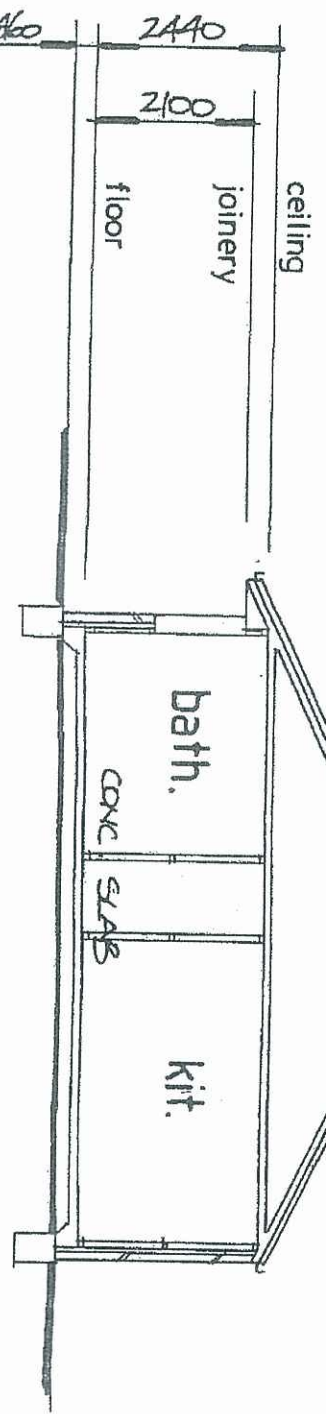


BUILT TO BOUNDARY WALLS WITHIN 900MM OF THE BOUNDARY MUST BE CONSTRUCTED OF MAINTENANCE FREE MATERIALS AND ACHIEVE A FIRE RESISTANCE LEVEL OF 60/60/60

PROVIDE SPEEDRACE TO ROOF FRAMING IN ACCORD WITH MANUF. SPEC.

ENGINEER DESIGNED ROOF TRUSSES @ 600 CTS.

450 EYES.



SECTION A-A

PLANS AND DOCUMENTS referred to in the ULDA APPROVAL dated 8 /16 /10

Matrix Certification Services
APPROVED

AUSHOMES
Pty Ltd

Unit 6 Aushomes House
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Plans by: **G&D GREEN Pty Ltd**
Ph: (07) 3809 3424
Email: green@gdgreen.com.au

Project: **PROPOSED RESIDENCE FOR LOT 15B PALMERSTON LANE FITZGIBBON**

Job No: **09-1206**

Sheet: **3 of 13**

5 SMOKE ALARMS MUST COMPLY WITH THE BCA 3.7.2.2

BA 00004739

- All lintels to be F-17 seas. H.W. U.N.O.
- Provide 3 studs under girders or lintels supporting girder truss loads. U.N.O.
- Truss engineer shall check girder truss positions, all lintels and supporting studs (Iamb studs), for adequacy.

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 8 /10 /10



GROUND FLOOR AREA:-

GARAGE 1 _____ 32-1

GARAGE 2 _____ 21-2

53-3 m

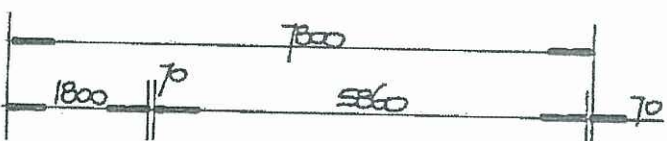
UPPER FLOOR AREA:-

ENCLOSED RESIDENCE _____ 56-3

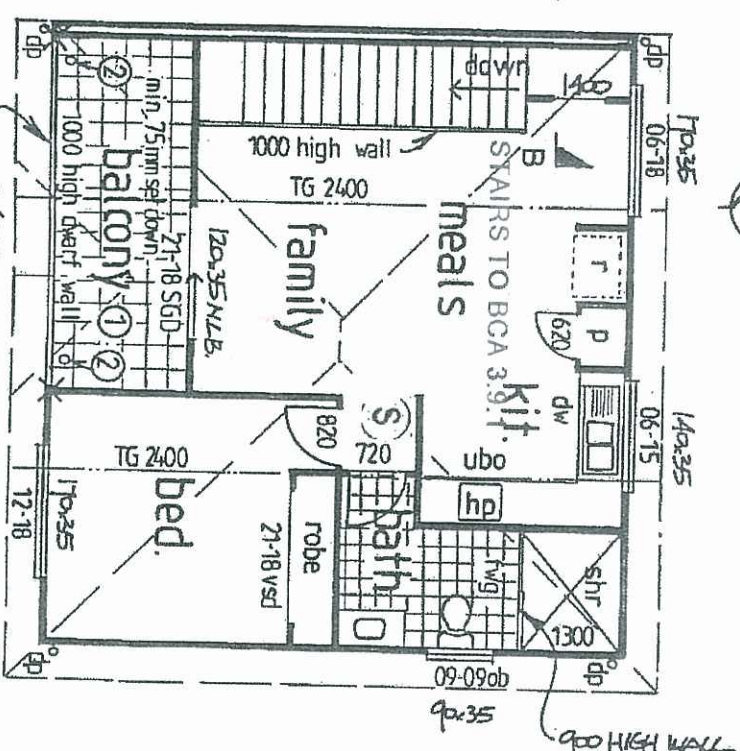
BALCONY _____ 8-8

65-1 m²

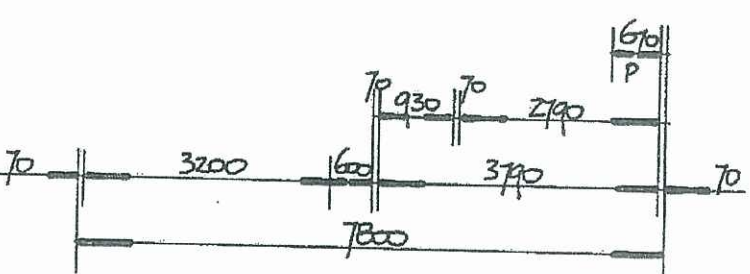
TOTAL FLOOR AREA:- 118-4 m²



GROUND FLOOR PLAN 1:100



UPPER FLOOR PLAN 1:100



- ① - FLOOR TILES ON HARDWORED COMPRESSED SHEET. REFER TECHNICAL SPECIFICATIONS FROM MANUAL. FILL IN. LEAVE AWAY TO DRAINAGE.
- ② - DRAINAGE DUCT.

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Ph: (07) 3809 3424
Email: greenadesign@optusnet.com.au
ABN 49 550 574 934
Lic No. 1029264

projed

PROPOSED RESIDENCE FOR

AUSHOMES Project

LOT 15A PALMERSTON LANE

FITZGIBBON

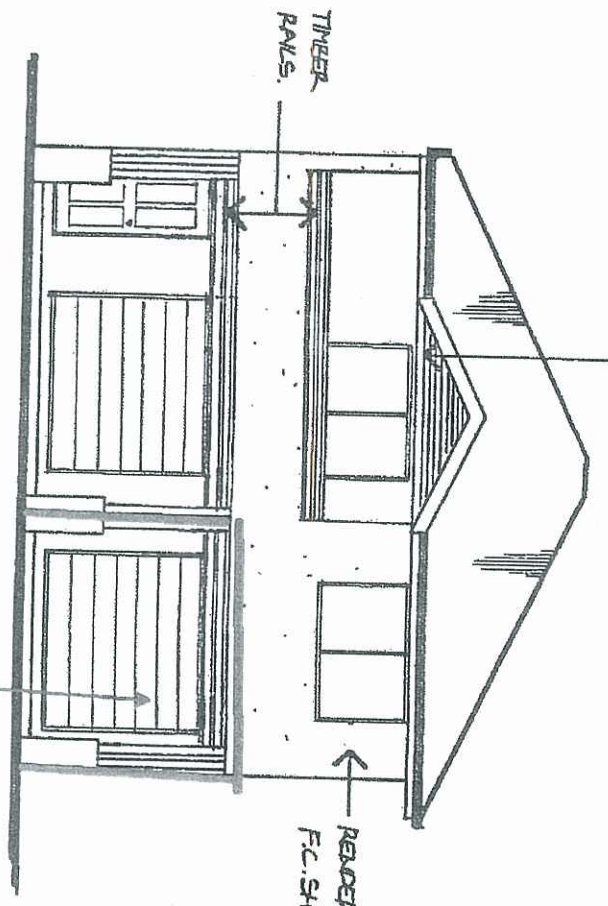
JOB NO	drawing no
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8 of 13

APPROVED

Matrix Certification Services

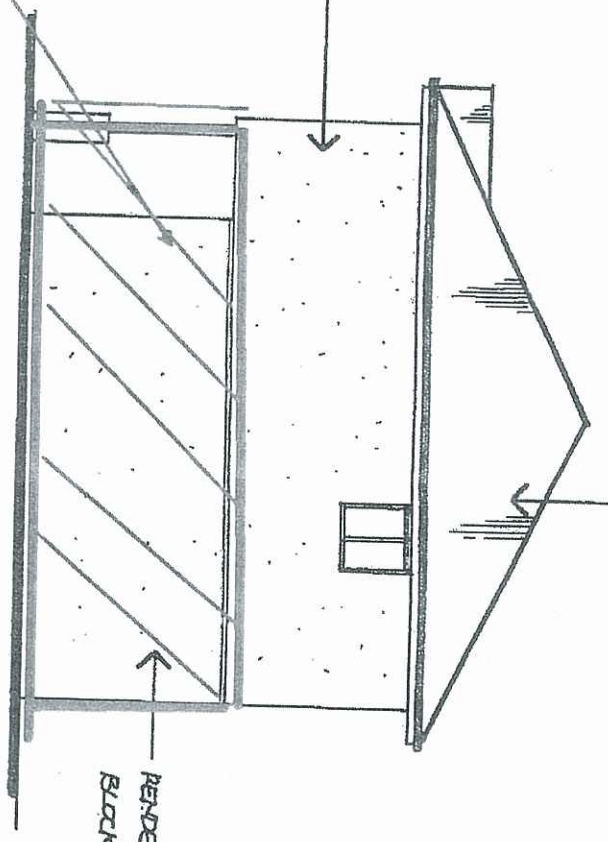
TIMBER BATTENS OVER
F.C. SHEETING
TO GABLE.



FRONT ELEVATION

Fire rate to all of enclosed Garage 2 including ceiling and floor above. Sound rating to 55Rw.

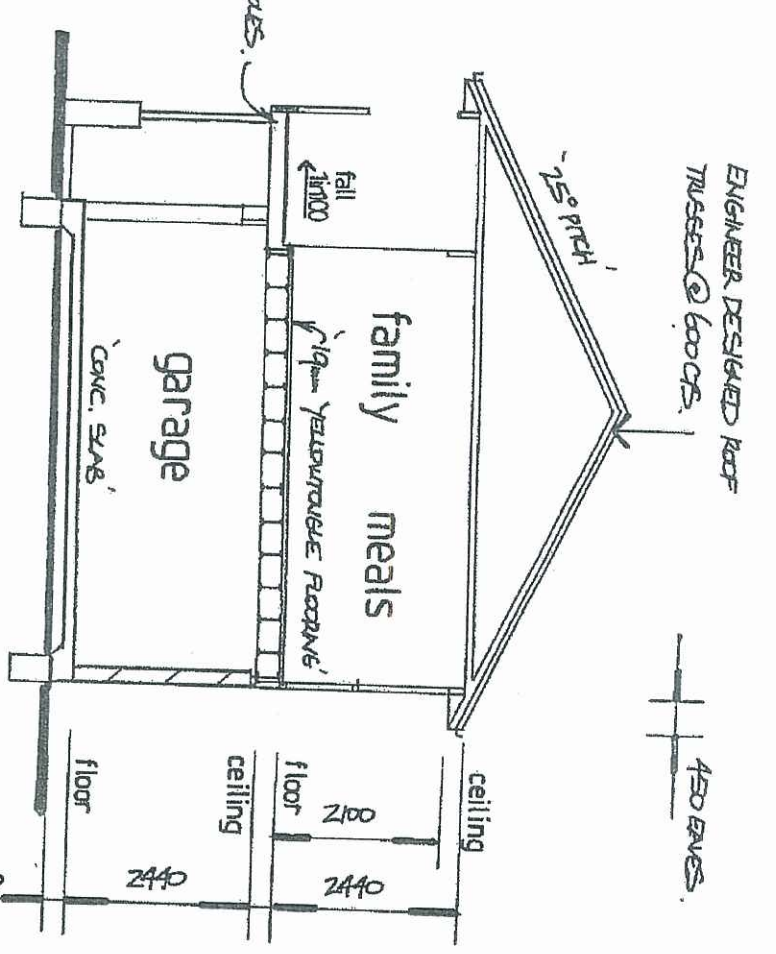
COLORBOND CUSTOM CRB
ROOF SHEETING



R.H. SIDE

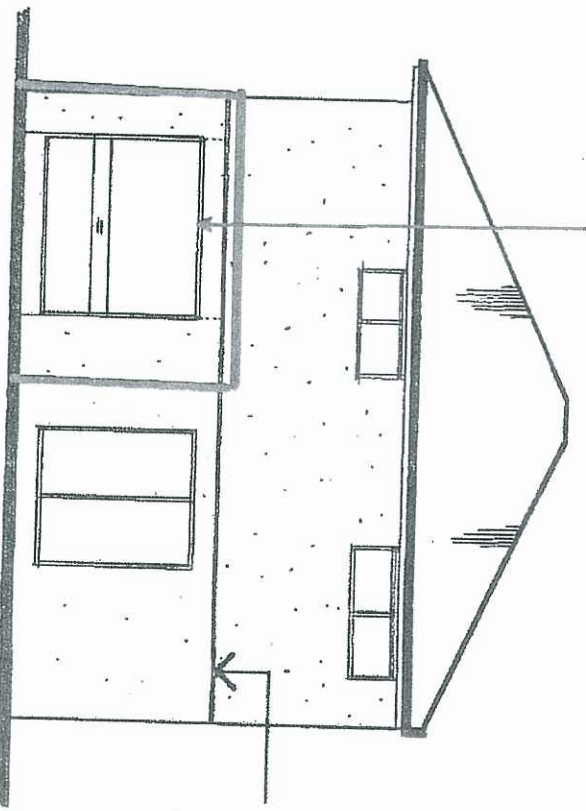
Tie-down to be continuous to Slab/Columns

RENDER OVER
BLOCKWORK



SECTION A-A

G.I. FLASHING
BETWEEN BLACK
BLUEBOARD.



REAR

BUILT TO BOUNDARY WALLS WITHIN 900MM OF
THE BOUNDARY MUST BE CONSTRUCTED OF
MAINTENANCE FREE MATERIALS AND ACHIEVE
A FIRE RESISTANCE LEVEL OF 60/60/60

L.H. SIDE Fire rated ceiling to underside of balcony to provide
FRL 60/60/60 (within 900mm of boundary).

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 8 /10 /10

Matrix Certification Services
APPROVED

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RECEIVED
26 JUL 2010
BY: _____

Plans by: **G&D GREEN PTY LTD**
Ph: (07) 3809 3424
Email: green@gdgreen.com.au
Lic No. 1029264

project: **PROPOSED RESIDENCE FOR
LOT 15A PALMERSTON LANE
FITZGIBBON**

JOB NO

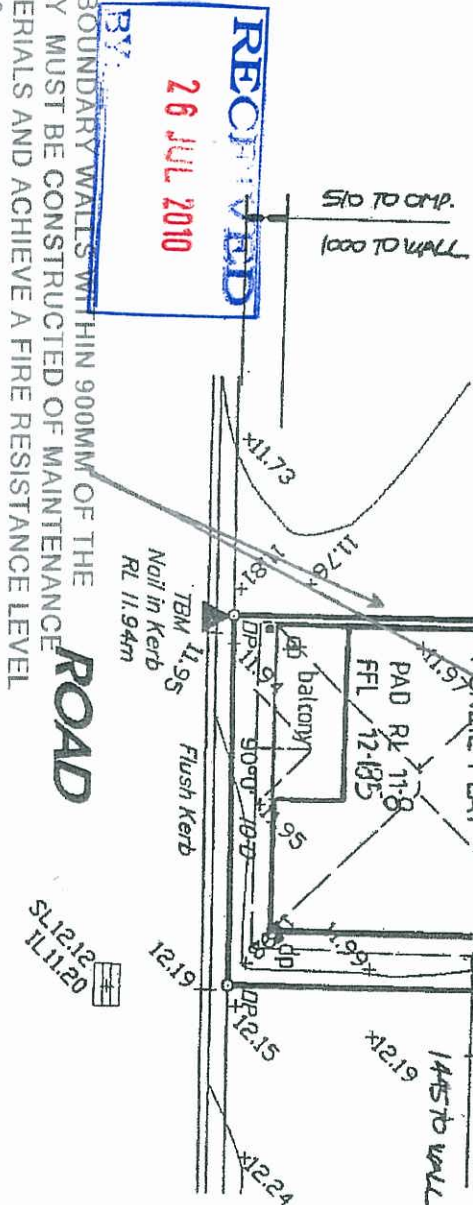
Sheet: **9 of 13** drawing no. **09-1206**

AN OVERLAND FLOW PATH WITH FALL AWAY FROM SLAB LEAVING A MINIMUM 75MM VISIBILITY ZONE AND EXTERNAL STEPS TO BCA 3.9.1 MUST BE ESTABLISHED BEFORE COMPLETION OF LANDSCAPING.

PLANS AND DOCUMENTS
referred to in the ULDA
ROAD
APPROVAL dated 8/10/10

NO	DATE	DESCRIPTION
1	15/04/10	Lot Description Updated
2		
3		
4		
5		

REVISIONS



Disclaimer: This Contour Plan must be used in conjunction with the photographs supplied in the Site Survey Report.

No As constructed sewer information was received for this plan at time of survey. Sewer line location undetermined.

CONTOUR SURVEY PLAN

CLIENT: Aushomes Pty Ltd
SITE ADDRESS: Lot 14 New Road Fitzgibbon

Lot: 14
on: SP 228785
Parish of: Nundah
County of: Stanley
Area: 320 m²
UBD Ref: Map 109 Ref Q15
Local Authority: Brisbane C.C.
Contour Interval: 0.25m
Datum: AHDD (Field Stn - RL11.258)

REAL PROPERTY DESCRIPTION

APPROVED

LEGEND

- o LP LIGHT POLE
- o OP ORIGINAL PEG
- o TBM TEMPORARY BENCH MARK
- o PP POWER POLE
- o FV FIRE HYDRANT
- o AV AIR VALVE
- o RW ROCKET MANHOLE
- o RP ROCKET PIT
- o RO POWER BOX
- o RO CROSS-OVER
- o H HEADWALL
- o S SEWER LINE
- o T TOP of Bank
- o B BOTTOM of Bank
- o SW STORMWATER LINE
- o E ELECTRIC POWER LINE
- o F FENCE
- o R ROCK RETAINING WALL
- o T TRIGGER RETAINING WALL
- o S STORM WATER PIPE
- o G GAS SUPPLY
- o B BARRIER KERB LINE
- o S SURVEY CONTROL MARK
- o M STORMWATER MANHOLE
- o P PERMANENT SURVEY MARK
- o G GULLY GRATE
- o W WATER TAP/WATER VALVE
- o S SIGN (AS SHOWN)

Disclaimer:
The position of Fence Lines, Retaining Walls and other detail is indicative only and should not be relied upon as depicting the Boundary Lines. This is a plan of VISIBLE SERVICES ONLY. The location of pegs found have NOT BEEN CHECKED and as such should not be relied on as marking the corners of the lot. An Identification Survey should be carried out prior to any construction works.



18 Technology Office Park
107 Miles Platting Road
Eight Mile Plains Qld 4113
Phone 07 3219 0400
Fax 07 3219 0900
Email bishare@kevinholtconsulting.com

DATE SURVEYED: 25/11/2009
SURVEYOR: RW (AL)

A3 SCALE: 1:200
DATE DRAFTED: 25/11/2009

JOB NO. 092788
PLAN NO. REV 001A

Discharge wastes to sewer or HSTP & roof water to K&C or stormwater.
Where site is "cut and fill", batter shall slope max. 1 in 2.
Surface water runoff from building shall be dispersed evenly over the site so as not to cause a nuisance or ponding to adjoining property and to be drained to the street or stormwater where possible.
Builder shall verify position of house on site, setbacks, pad levels, floor levels and driveway gradients, before commencing building work. Pad and floor levels may alter from plan due to unforeseen site conditions.
Retaining walls are subject to soil tests and contour design and may vary at time of construction.
Retaining walls and driveway layouts shown on plan are only an indicative representation and may change due to site conditions. These do not form part of the contract, unless specifically denoted in the specifications.
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AUSHOMES Pty Ltd

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Plans by: G&D GREEN Pty Ltd

Ph: (07) 3809 3424
Email: greendesign@optusnet.com.au

ABN 49 550 574 935
Lic No. 1029264

REVISIONS

NO	DATE	DESCRIPTION
1	14-10	CONTOUR, LAYOUT, WINDOWS, AIRBRED

project

PROPOSED RESIDENCE FOR
AUSHOMES PTY LTD
LOT 14A PALMERSTON LANE
FITZGIBBON

JOB NO

date

11-3-10

scale

1:100

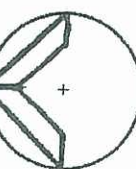
drawn

G-Green

1:200

ckd

10-0301



sheet

1 of 13

drawing no.

10-0301

BUILT TO BOUNDARY WALLS WITHIN 900MM OF THE BOUNDARY MUST BE CONSTRUCTED OF MAINTENANCE FREE MATERIALS AND ACHIEVE A FIRE RESISTANCE LEVEL OF 60/60/60

BOUNDARY TO BE IDENTIFIED TO ENSURE THERE IS NO ENCROACHMENT OVER THE REAL PROPERTY ALIGNMENT

ROAD

FLUSH KERB

FLUSH KERB

FLUSH KERB

FLUSH KERB

FLUSH KERB

FLUSH KERB

FLUSH KERB

FLUSH KERB

FLUSH KERB

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FLUSH KERB

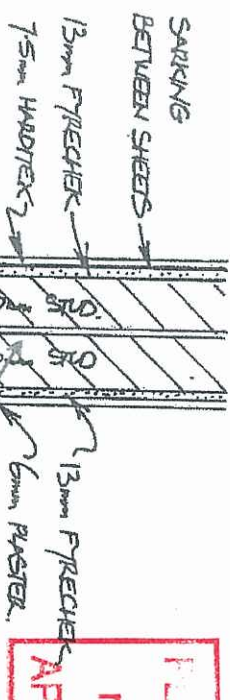
FLUSH KERB

FLUSH KERB

Whole area to be fire-rated FRL60/60/60 including ceiling and floor above. Sound rating to be 55 Rw. Electrical circuits to power board of house.

BUILT TO BOUNDARY WALLS WITHIN 900MM OF THE BOUNDARY MUST BE CONSTRUCTED OF MAINTENANCE FREE MATERIALS AND ACHIEVE A FIRE RESISTANCE LEVEL OF 60/60/60

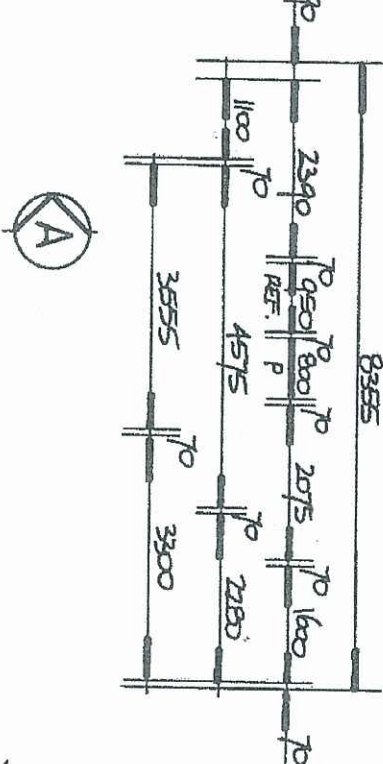
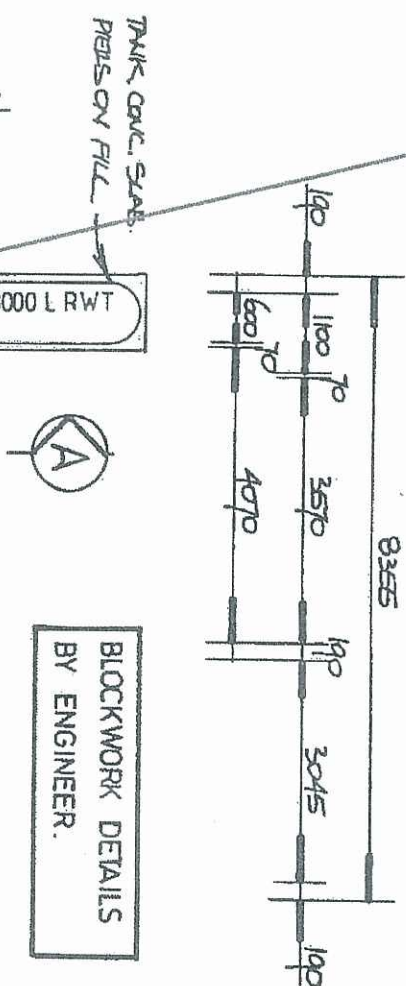
SMOKE ALARMS MUST COMPLY WITH THE BCA 3.7.2



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 9/10/10

- All lintels to be F17 seas. H.W. U.N.O.
- Provide 3 studs under girders or lintels supporting girder truss loads. U.N.O.
- Truss engineer shall check girder truss positions, all lintels and supporting studs (jamb studs), for adequacy.

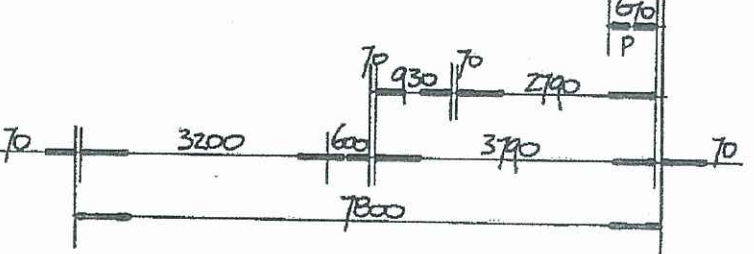
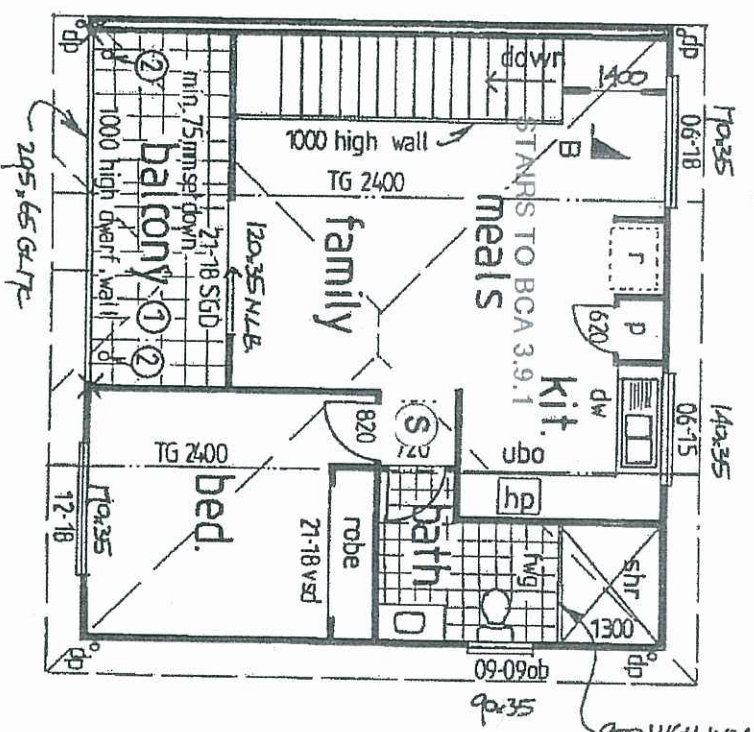
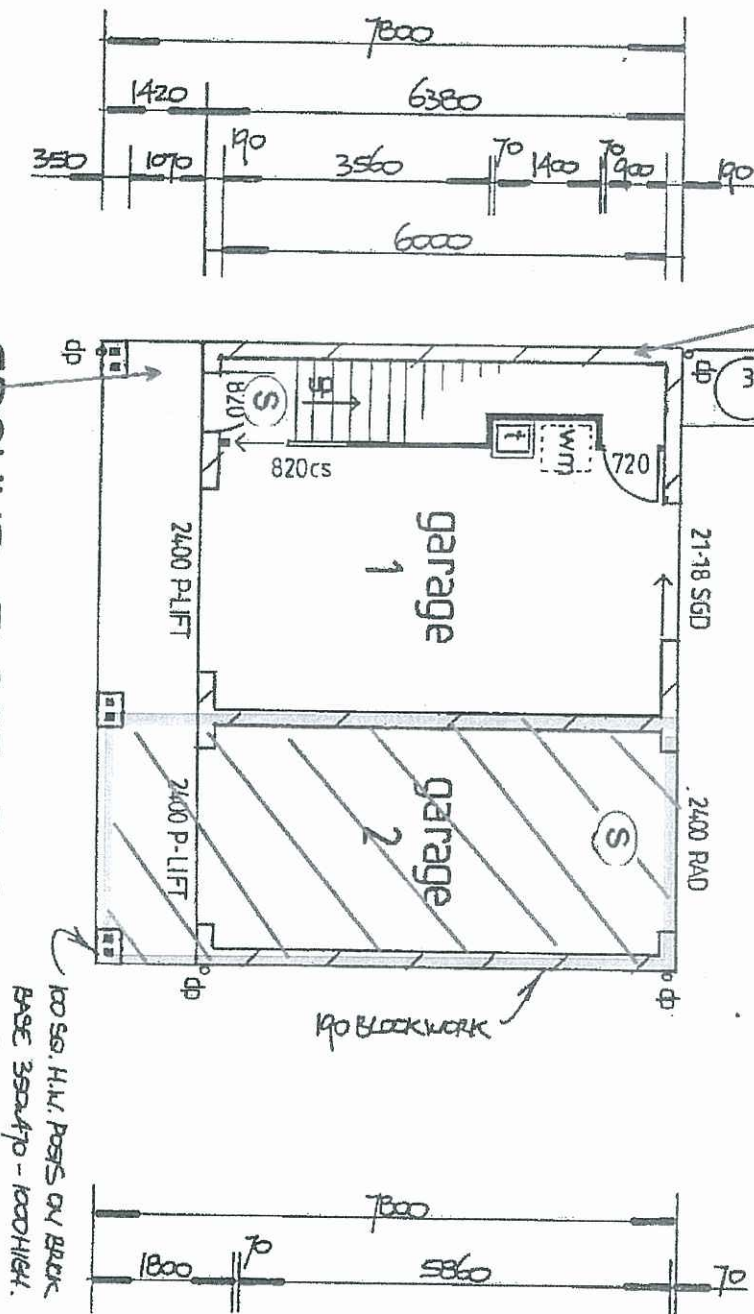
BA 00004742



GROUND FLOOR AREA:-	
GARAGE 1	32.1
GARAGE 2	21.2
ENCLOSED RESIDENCE	56.3
BALCONY	8.8
UPPER FLOOR AREA:-	
ENCLOSED RESIDENCE	56.3
BALCONY	8.8
TOTAL FLOOR AREA:-	118.4 m²

GROUND FLOOR PLAN 1:100

UPPER FLOOR PLAN 1:100



- 1 - FLOOR TILES ON HARDWAXED COMPRESSED SHEET. REFER TECHNICAL SPECIFICATIONS FRANG MAXIMUM FILL MAX. 1m TO AWAY TO DRAINAGE.
- 2 - DRAINAGE COVER.

AUSHOMES
Pty Ltd

Unit 6 Aushomes House
54-60 Perth Drive
UNDERWOOD Q4119

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Fax: (07) 3809 5900
www.aushomes.com.au

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Plans by: G&D GREEN Pty Ltd
Ph: (07) 3809 3424
Email: grendedesign@optusnet.com.au

PROPOSED RESIDENCE FOR
LOT 14A PALMERSTON LANE
FITZGIBBON

Matrix Certification Services
APPROVED

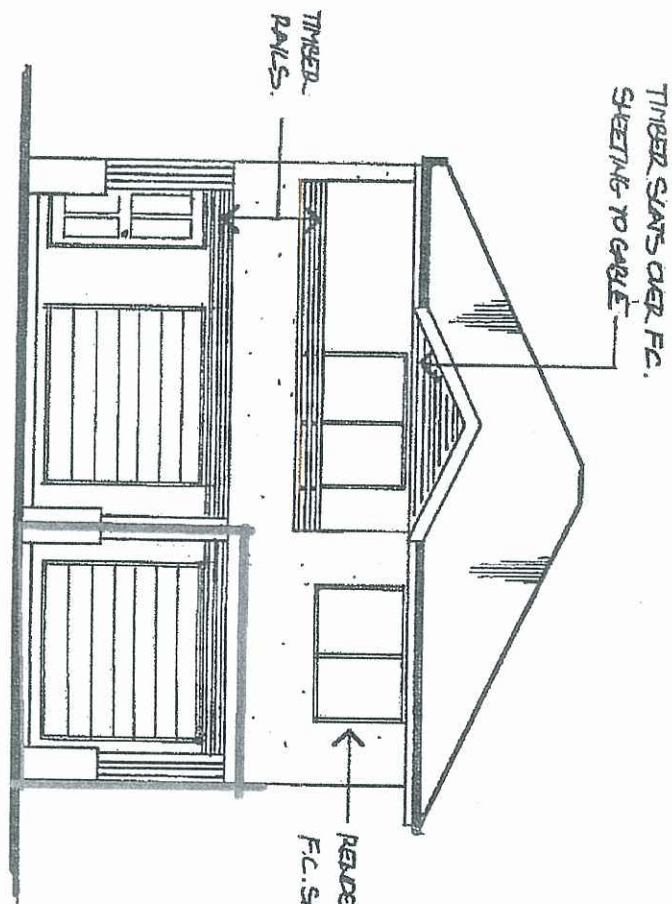
sheet 2 of 13
drawing no. 10-0301

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Fire rate under floor deck to 900mm of boundary.

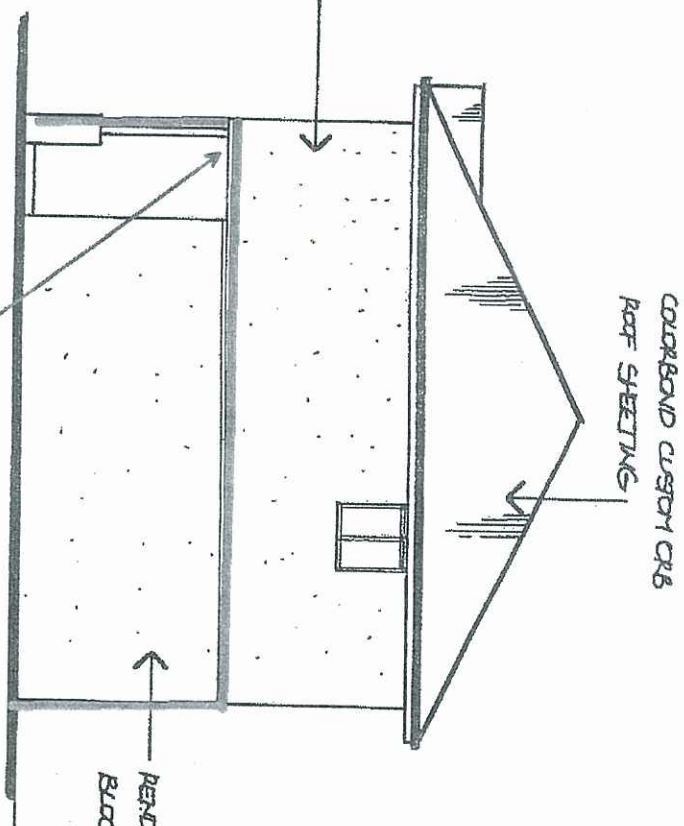
whole area to be fire-rated FRL60/60/60 including ceiling and floor above. Sound rating to be 55 Rw. Electrical circuits to power board of house.

BA 0000-1742



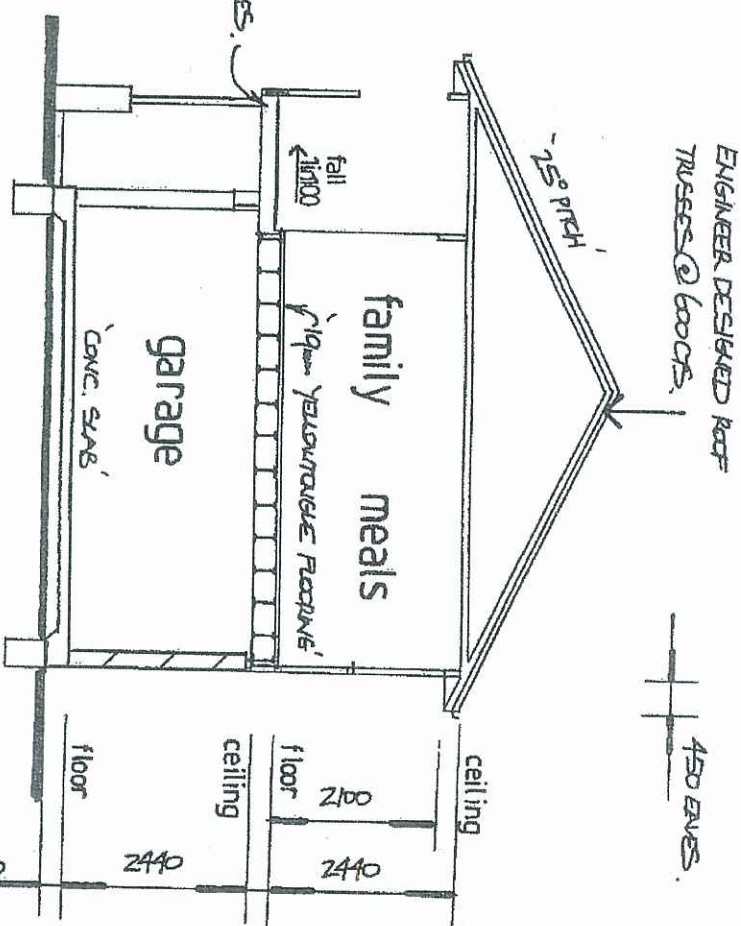
FRONT ELEVATION

Tie-down to be continuous to Slab/Columns.

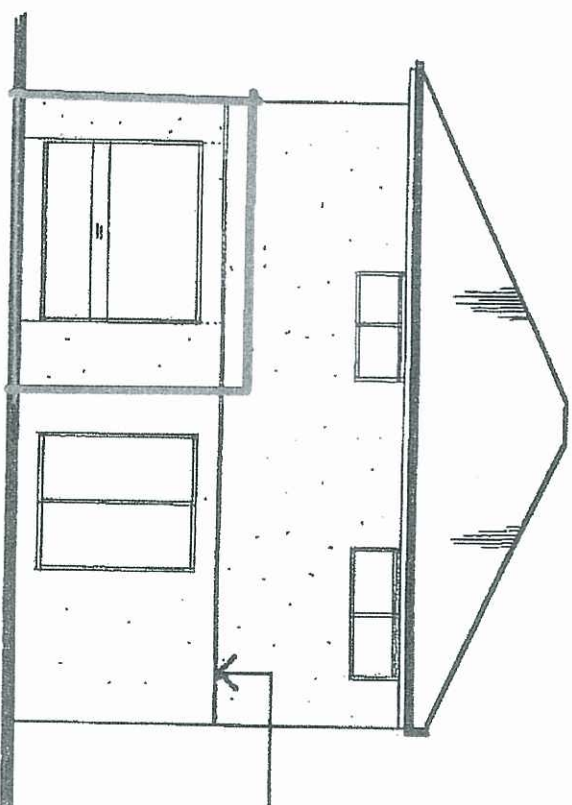


R.H. SIDE

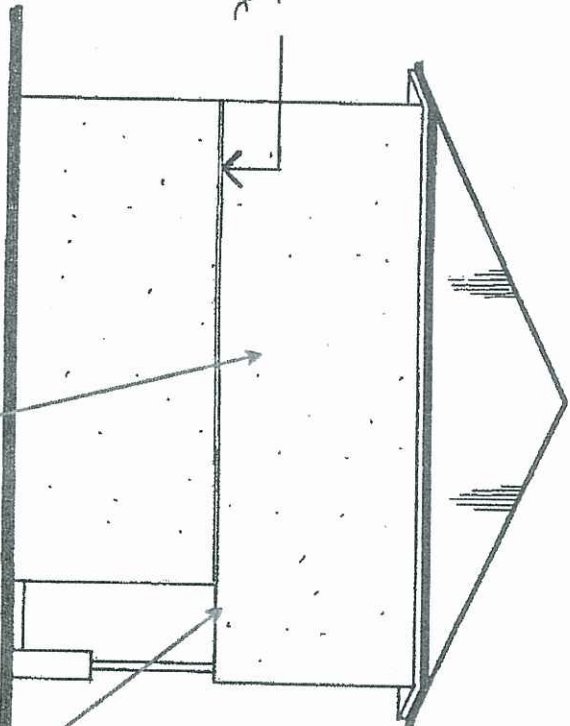
Fire rated ceiling to under deck and to floor above FRL60/60/60/



SECTION A-A



REAR



L.H. SIDE

BUILT TO BOUNDARY WALLS WITHIN 900MM OF THE BOUNDARY MUST BE CONSTRUCTED OF MAINTENANCE FREE MATERIALS AND ACHIEVE A FIRE RESISTANCE LEVEL OF 60/60/60

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 8/10/10

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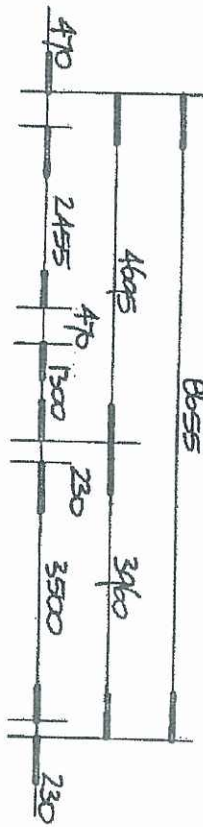
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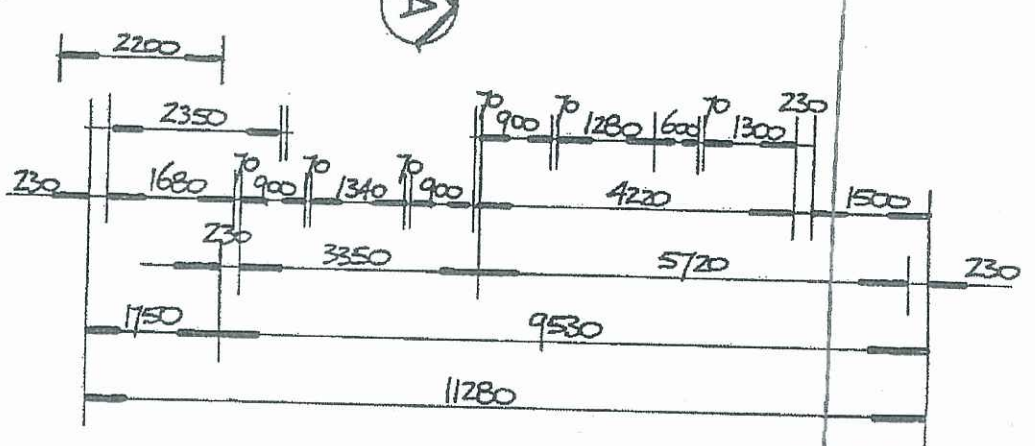
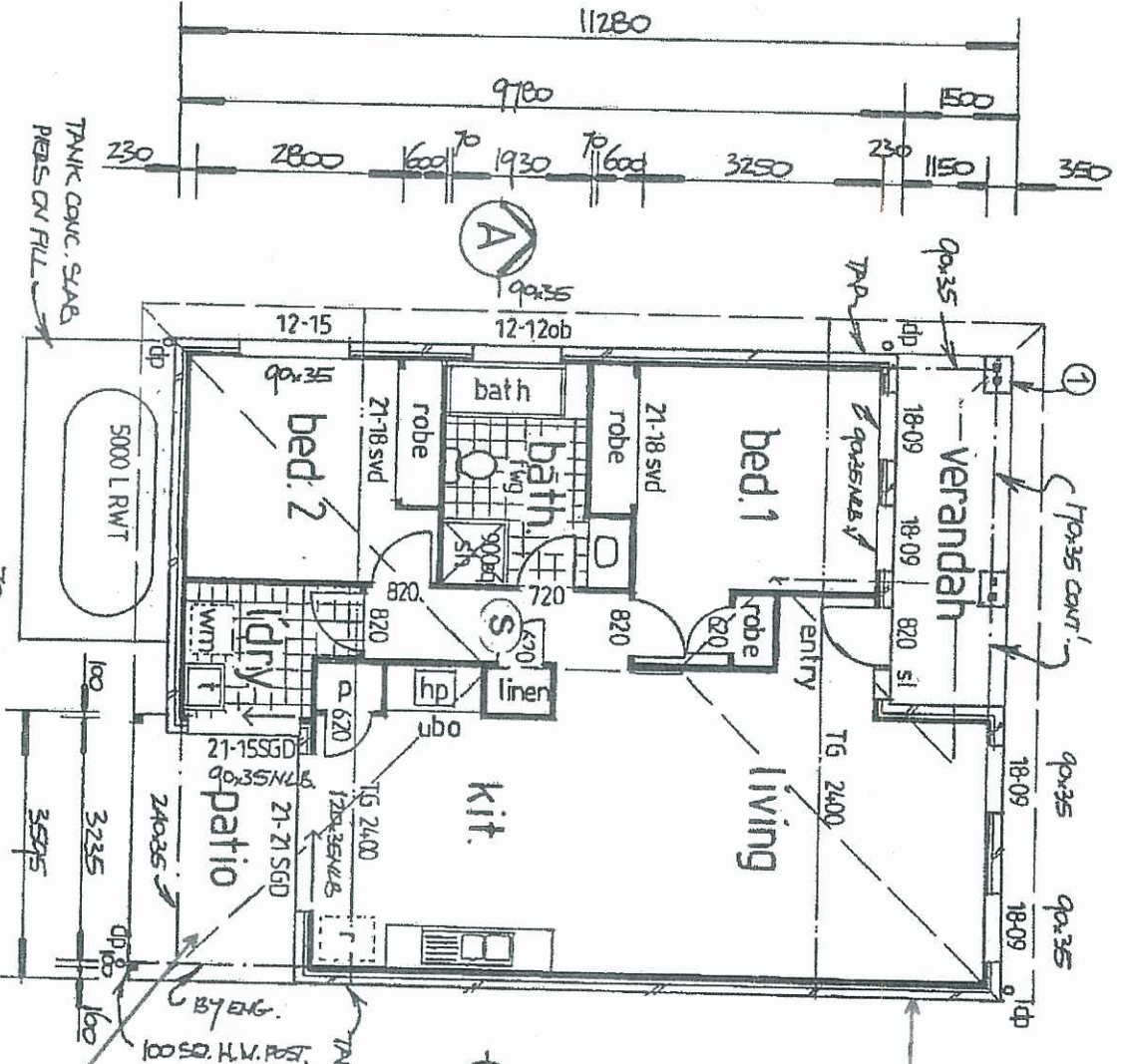
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Ph: (07) 3809 3424
Email: green@design@optusnet.com.au
Lic No: 1029264

Project: **PROPOSED RESIDENCE FOR**
LOT 14A PALMERSTON LANE
FITZGIBBON
JOB NO

Sheet: **3 of 13** drawing no: **10-0301**



- ① - 100x100 H.W. POST ON 470x350 BRICK PIERS - 1000 H/184.
- PLANT DOOR UNIT SIZE 2150x120.



BUILT TO BOUNDARY WALLS WITHIN 900MM OF THE BOUNDARY MUST BE CONSTRUCTED OF MAINTENANCE FREE MATERIALS AND ACHIEVE A FIRE RESISTANCE LEVEL OF 60/60/60

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 8/10/10

Ceiling of patio to be fire rated FRL60/60/60
(Within 900mm. of boundary)

FLOOR PLAN 1:100

FLOOR AREA:-	
ENCLOSED RESIDENCE	84.7
VERANDAH	7.0
PATIO	7.5
	99.2 m²

(S) SMOKE ALARMS MUST COMPLY WITH THE BCA 3.7.2

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- All lintels to be F17 seas. H.W. U.N.O.
- Provide 3 studs under girders or lintels supporting girder truss loads. U.N.O.
- Truss engineer shall check girder truss positions, all lintels and supporting studs (jamb studs), for adequacy.

BA 00004742

Matrix Certification Services
APPROVED

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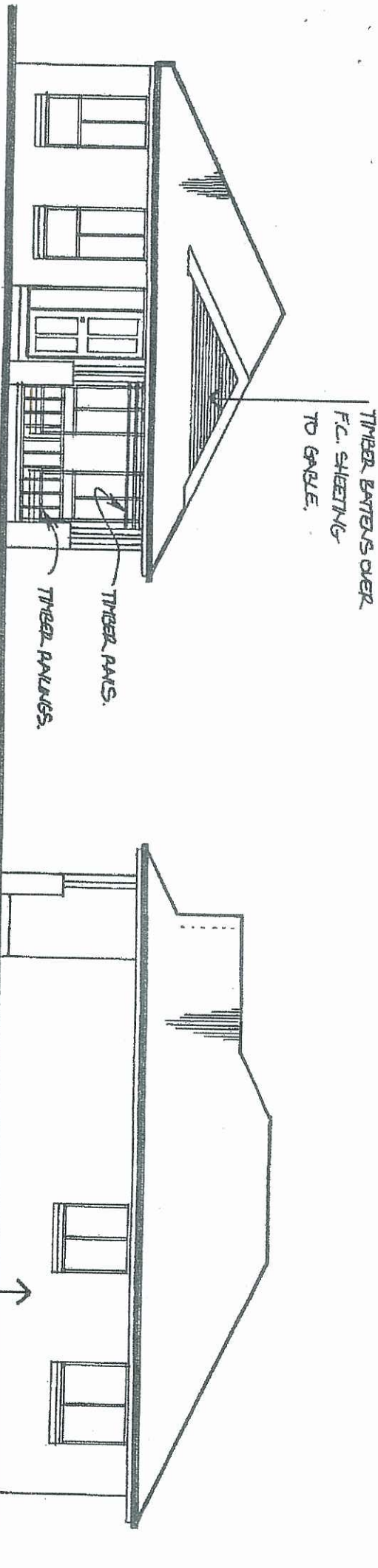
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Aushomes Pty Ltd
LOT 14B PALMERSTON LANE
FITZGIBBON

project

sheet **8 of 13** drawing no. **10-0301**

JOB NO. _____



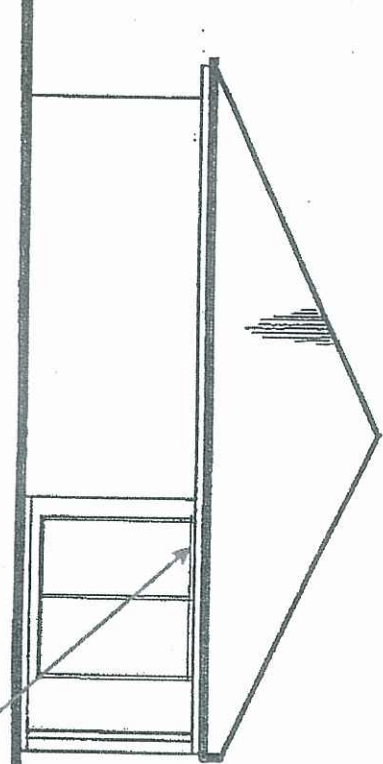
FRONT ELEVATION

R.H. SIDE

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 9 /10 /10

Tie-down to be continuous to Slab/Columns.

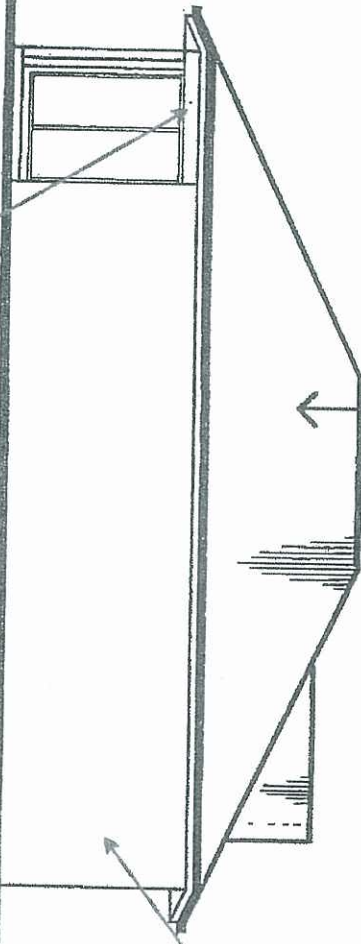
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REAR ELEVATION

FINISHED GROUND LINE. L.H. SIDE

Ceiling of patio to be fire rated FRL60/60/60 (Within 900mm. of boundary)



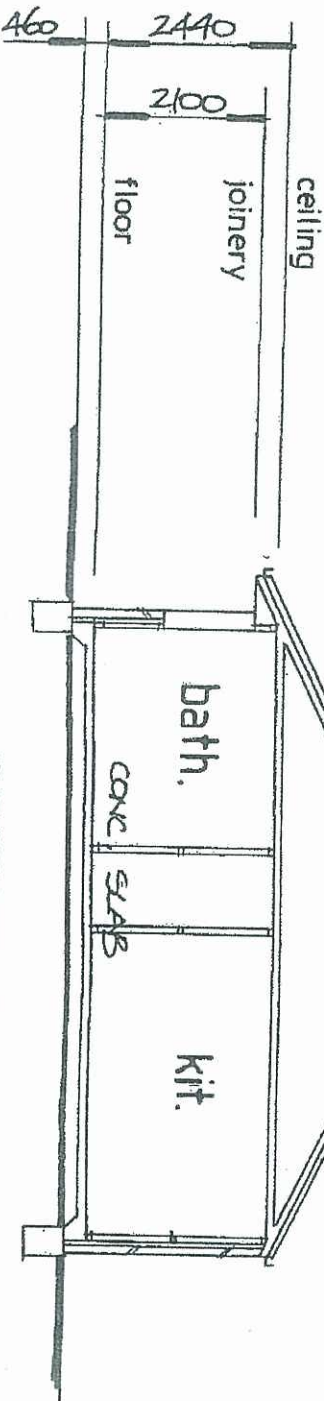
BUILT TO BOUNDARY WALLS WITHIN 900MM OF THE
BOUNDARY MUST BE CONSTRUCTED OF MAINTENANCE
FREE MATERIALS AND ACHIEVE A FIRE RESISTANCE LEVEL
OF 60/60/60

ENGINEER DESIGNED ROOF
TRUSSES @ 600
C/S.

PROVIDE SPEEDBRACE TO
ROOF FRAMING IN ACCORD
WITH MANUF. SPEC.

450
EVS.

25° PITCH



SECTION A-A

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JOB NO

sheet 9 of 13
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