

24 September 2010

ULDA Ref No: DEV2010/046

The Royal National Agricultural and Industrial Association of Queensland  
Attn Lloyd Dunn  
Locked Bag 1010  
**ALBION QLD 4010**

Dear Lloyd

**RE: UDA DEVELOPMENT APPROVAL FOR RECONFIGURATION OF A LOT (8 LOTS INTO 20) AT 600 GREGORY TCE, 1 BOWEN BRIDGE RD, 58 O'CONNELL TCE, 631, 655 & 601 GREGORY TCE AND 10 & 11 SYMES ST DESCRIBED AS LOT 481 ON SP196765, LOT 3 ON SP190738, LOT 2 ON SP144596, LOT 487 ON SP196776, LOT 484 & 486 ON SL4553, LOT 641 ON SP196755 AND LOT 485 ON SP192466**

I am pleased to inform you that your application was approved on 24 September in accordance with the attached UDA Development Approval Package.

This application and its decision can also be viewed in the ULDA Development Approvals Register via our website [www.ulda.qld.gov.au](http://www.ulda.qld.gov.au).

If you have any further questions with regard to the matter, please contact me on 3024 4166.

Yours sincerely

 on behalf

Matt Toon  
**PRINCIPAL PLANNER**

## UDA Development Approval Package

|                                                   |                               |                      |
|---------------------------------------------------|-------------------------------|----------------------|
| <b>Site address and real property description</b> | Lot 481 on SP196765           | 600 Gregory Terrace  |
|                                                   | Lot 3 on SP190738             | 1 Bowen bridge Road  |
|                                                   | Lot 2 on SP144596             | 58 O'Connell Terrace |
|                                                   | Lot 487 on SP196776           | 631 Gregory Terrace  |
|                                                   | Lot 484 on SL 4553            | 655 Gregory Terrace  |
|                                                   | Lot 486 on SL 4553            | 601 Gregory Terrace  |
|                                                   | Lot 641 on SP196755           | 10 Symes Street      |
|                                                   | Lot 485 on SP192466           | 11 Symes Street      |
| <b>Type of application</b>                        | Reconfiguring a lot           |                      |
| <b>Description of proposal</b>                    | Subdivision of 8 into 20 lots |                      |
| <b>ULDA reference number</b>                      | DEV2010/046                   |                      |
| <b>Decision</b>                                   | APPROVED                      |                      |
| <b>Decision Date</b>                              | 24 September 2010             |                      |

| Drawing or Document                                     | Number   | Plan or Document Date |
|---------------------------------------------------------|----------|-----------------------|
| Plan of Lots 101-107, 701 and Easements B& C in Lot 701 | SP219236 | 29/06/10              |
| Plan of Lots 108 - 111 & 702                            | SP219237 | 29/06/10              |
| Plan of Lots 112 - 115 & 703                            | SP219238 | 29/06/10              |
| Plan of Lots 116 & 704                                  | SP219239 | 29/06/10              |

### PROJECT TEAM

|                                                                                                         |                                                                                                  |
|---------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------|
| <b>Matt Toon</b><br>Principal Planner<br>Development Assessment<br>Urban Land Development Authority     | <b>Beatriz Gomez</b><br>DA Manager<br>Development Assessment<br>Urban Land Development Authority |
| <b>Con de Groot</b><br>Principal Engineer<br>Development Assessment<br>Urban Land Development Authority |                                                                                                  |

| CONDITIONS |                                                                                                                                                                                                                                                                                                                                                                                      | TIMING                                                                                                                                                     |
|------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.         | <b>Water service, meter assembly &amp; meter box</b><br>In accordance with the Brisbane City Council's <i>Water Supply Standards – 2005</i> , provide a water service, meter assembly and meter box to the boundary of each proposed new lot (i.e. proposed lots 101 – 107 and 701 on SP219236, 108 - 111 and 702 on SP219237, 112 – 115 and 703 SP219238, 116 and 704 on SP219239). | Prior to the transfer or sale of the proposed lots from the Royal National and Agricultural Industrial Association (RNA) of Queensland to any third party. |



| CONDITIONS                                                                                                                                                                                                                                                                                                                                                                            | TIMING                                                                                                                                                            |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>2 Sewer reticulation</b></p> <p>In accordance with Brisbane City Council's <i>Sewerage Standards – 2005</i>, provide a sewerage connection to each proposed new lot.</p>                                                                                                                                                                                                        | <p>Prior to the transfer or sale of the proposed lots from the Royal National and Agricultural Industrial Association (RNA) of Queensland to any third party</p>  |
| <p><b>3 Lawful point of discharge</b></p> <ul style="list-style-type: none"> <li>a) Submit to the ULDA documentation, demonstrating a lawful point of discharge for each proposed new lot.</li> <li>b) Submit to the ULDA written consent from the owners of properties (including the holders of easements) affected by any stormwater discharge.</li> </ul>                         | <p>Prior to endorsement of the plan of survey.</p>                                                                                                                |
| <p><b>4 Stormwater discharge</b></p> <p>Stormwater runoff from each proposed new lot must not adversely impact on flooding or drainage (peak discharge and duration for all events up to the 100 year Average Recurrence Interval (ARI)) of lots that are upstream, downstream or adjacent to those proposed.</p>                                                                     | <p>To be maintained</p>                                                                                                                                           |
| <p><b>5 Access easements</b></p> <ul style="list-style-type: none"> <li>a) Grant an easement for access purposes over proposed lot 701 in favour of proposed lot 101 on Plan No.SP219236.</li> <li>b) Grant an easement for access purposes over proposed lot 701 in favour of proposed lot 106 on Plan No.SP219236.</li> <li>c) Submit to the ULDA full easement details.</li> </ul> | <p>Prior to endorsement of the plan of survey.</p>                                                                                                                |
| <p><b>6 Electricity (<i>Underground Supply Area</i>)</b></p> <p>In accordance with Brisbane City Council's <i>Subdivision and Development Guidelines</i> and an approved electricity reticulation plan, provide underground electricity services to each proposed new lot</p>                                                                                                         | <p>Prior to the transfer or sale of the proposed lots from the Royal National and Agricultural Industrial Association (RNA) of Queensland to any third party</p>  |
| <p><b>7 Telecommunications</b></p> <p>Enter into an agreement with a telecommunication carrier to provide underground telecommunication services to each proposed new lot. The services must also comply with Brisbane City Council's <i>Subdivision and Development Guidelines</i>.</p>                                                                                              | <p>Prior to the transfer or sale of the proposed lots from the Royal National and Agricultural Industrial Association (RNA) of Queensland to any third party.</p> |
| <p><b>8 Service conduits &amp; mains</b></p> <p>In accordance with Brisbane City Council's <i>Subdivision and Development Guidelines</i>, supply and install all service conduits required in connection with this development approval and meet the cost of any required alterations to public utility mains, existing mains, services or installations.</p>                         | <p>Prior to the transfer or sale of the proposed lots from the Royal National and Agricultural Industrial Association (RNA) of Queensland to any third party</p>  |

| CONDITIONS |                                                                                                                                                                                                                                                                                                       | TIMING                                                                                                                                                    |
|------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------|
| 10         | <b>Damaged crossovers</b><br>Repair any damage to existing kerb and channel, footpath or roadway <i>(including concrete slurry from footways, roads, kerb and channel and stormwater gullies and drainage lines)</i> that result from works carried out in association with the approved development. | Prior to the transfer or sale of the proposed lots from the Royal National and Agricultural Industrial Association (RNA) of Queensland to any third party |
| 10         | <b>Redundant crossovers or services</b><br>Remove all redundant vehicle crossovers and services.                                                                                                                                                                                                      | Prior to the transfer or sale of the proposed lots from the Royal National and Agricultural Industrial Association (RNA) of Queensland to any third party |

**\*\* End of Package \*\***







SURVEY PLAN

Sheet 1 of 2

PERMANENT MARKS

| PM     | ORIGIN       | BEARING   | DIST    | NO     |
|--------|--------------|-----------|---------|--------|
| 4-OPM  | SP139419     | 21°51'45" | 141.016 | 42871  |
| 10-OPM | 12a/SP196776 | 38°04'30" | 156.029 | 131345 |

(New Conn)

No O.Mk  
Cor Conc Render  
1-52SE, 0-036NE  
Cor Conc Render  
1-91SW, 0-002SE  
O.Screw

No O.Mk  
Cor Br Wall  
0-07SW, 0-217NW  
O.Nail  
O.Screw

PLANS AND DOCUMENTS  
referred to in the UDA  
APPROVALS  
24/09/10

No O.Mk  
Screw Pld  
in Conc  
O.Screw  
Spike Fd

SP190743

O.Nail  
O.Cor Wall  
O.Cor Bldg  
O.Gl.Nail in Bit  
O.Spike  
O.Screw

SP196776

SP196776

DP219236

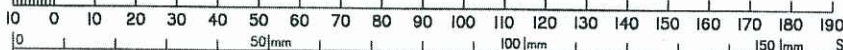
REFERENCE MARKS

| STN | TO                        | ORIGIN       | BEARING    | DIST   |
|-----|---------------------------|--------------|------------|--------|
| 1   | O.Nail in Top Conc Wall   | 3/DP219236   | At         | Stn    |
| 1   | O.Cor Wall                | 3/DP219236   | 64°50'     | 0-11   |
| 1   | O.Cor Bldg                | 3/DP219236   | 126°06'    | 0-281  |
| 1   | O.Gl.Nail in Bit          | 3/DP219236   | 43°02'     | 0-963  |
| 1   | O.Gl.Nail in Bit          | 3/DP219236   | 50°41'     | 3-704  |
| 1   | O.Gl.Nail in Bit          | 4/SP196765   | 13°14'35"  | 3-74   |
| 1   | O.Spike in Bit            | 3/DP219236   | 34°08'     | 4-823  |
| 1   | O.Screw in Wall           | IS24696      | 134°29'20" | 54-708 |
| 1   | O.Screw in Wall           | 3/DP219236   | 134°31'30" | 82-437 |
| 2   | Spike in Conc Fd          |              | 16°18'     | 3-902  |
| 2   | Cor Bldg                  |              | 134°28'    | 4-713  |
| 2   | O.Screw in Traffic Island | 5/SP196765   | 263°28'30" | 10-501 |
| 2   | Cor Bldg                  |              | 65°32'     | 13-116 |
| 3   | Gl.Nail in Bit            |              | 323°39'    | 3-525  |
| 4   | O.NE Cor Steel FP         | IS27791      | At         | Stn    |
| 4   | O.Screw in Kb             | IS27791      | 350°08'10" | 0-623  |
| 5   | O.Gl.Nail in Bit          | IS136049     | 293°19'    | 1-247  |
| 5   | O.Screw in Conc           | 8/SP196765   | 348°05'    | 2-085  |
| 6   | O.Screw in Conc           | IS136049     | 19°18'     | 1-624  |
| 7   | Screw in Conc Fd          |              | 22°39'     | 7-66   |
| 9   | O.Nail in Conc            | IS27791      | At         | Stn    |
| 9a  | O.Nail in Kb              | IS27791      | 41°02'40"  | 0-843  |
| 9c  | Screw in Conc Fd          |              | 180°06'    | 1-961  |
| 9c  | O.Nail in Bit gone        | IS27791      | 46°38'10"  | 4-673  |
| 10  | O.Screw in Kb             | IS27791      | 347°06'25" | 2-118  |
| 10  | O.Nail in Face of Wall    | IS24696      | 347°54'15" | 18-371 |
| 10  | Nail in Conc              | 5/DP219236   | 179°01'40" | 26-602 |
| 12  | Nail in Kb                |              | 253°06'    | 2-973  |
| 13  | O.Cor Bldg                | 11a/SP192466 | 313°54'    | 0-309  |
| 13  | O.Screw in Br Wall        | IS27791      | 347°06'05" | 0-385  |
| 13  | O.Cor Bldg                | 11a/SP192466 | 162°14'    | 4-377  |
| 13  | O.Screw in Conc           | IS24696      | 161°49'20" | 5-591  |
| 13  | Nail in Conc              |              | 310°11'10" | 30-034 |
| 16  | Nail in Conc              |              | 25°06'30"  | 23-185 |

(Not Srd)  
(New Ref)

Peg placed at all new and original  
corners, unless otherwise stated.

Scale 1:1250 - Lengths are in Metres.



T.H. JENSEN & BOWERS PTY. LTD. (ACN 010 872 607) hereby certify that the land comprised in this plan was surveyed by the corporation, by Scott James MORRISON, surveying graduate, for whose work the corporation accepts responsibility, under the supervision of David George BURKE, cadastral surveyor, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 29/06/10

T.H. JENSEN  
Director

Date 29/06/10

Plan of Lots 108-111 & 702

Cancelling Lot 484 on SL4553

PARISH: NORTH BRISBANE COUNTY: Stanley

Meridian: SP196776

F/N's: No

Scale: 1:1250

Format: STANDARD



SP219237

Plan Status:

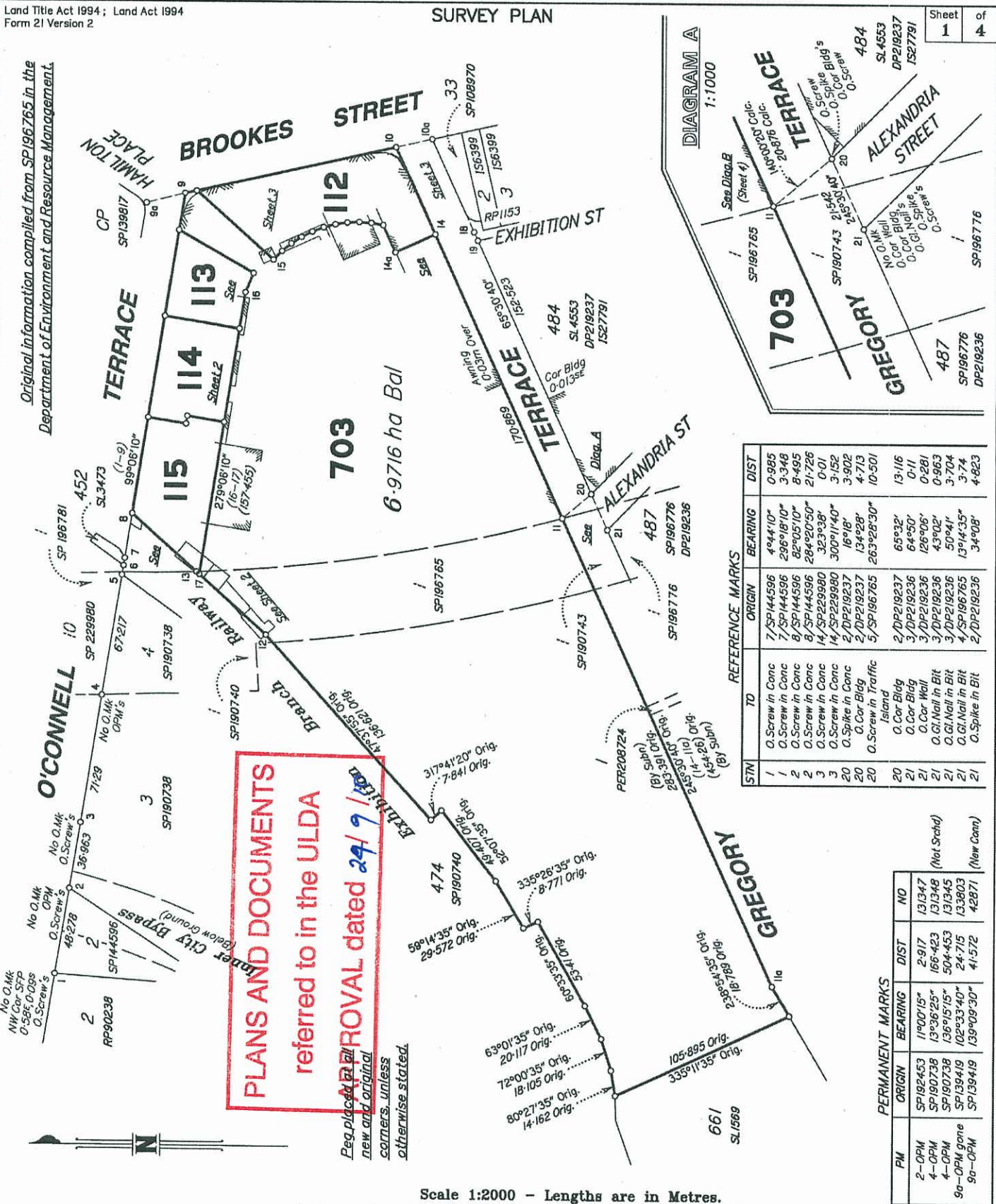
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SURVEY PLAN

Sheet 1 of 4

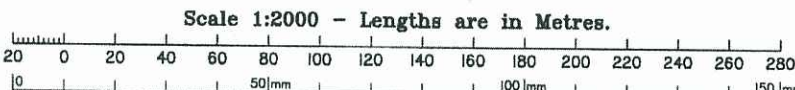
Original information compiled from SP196765 in the  
Department of Environment and Resource Management.



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Date: 24/06/10



Plan of Lots 112-115 & 703

Cancelling Lot 481 on SP196765

PARISH: NORTH BRISBANE COUNTY: Stanley

Meridian: SP196765

F/N's: No

Scale: 1:2000

Format: STANDARD



Plan Status:

REFERENCE MARKS

| STN | TO                         | ORIGIN      | BEARING    | DIST   |
|-----|----------------------------|-------------|------------|--------|
| 1   | O. Screw in Conc           | 7/SP144596  | 4°44'10"   | 0.985  |
| 1   | O. Screw in Conc           | 7/SP144596  | 286°18'10" | 3.348  |
| 2   | O. Screw in Conc           | 8/SP144596  | 82°05'10"  | 8.495  |
| 2   | O. Screw in Conc           | 8/SP144596  | 284°20'50" | 21.726 |
| 3   | O. Screw in Conc           | 14/SP229980 | 323°33'8"  | 0.01   |
| 3   | O. Screw in Conc           | 14/SP229980 | 300°11'40" | 3.152  |
| 20  | O. Spike in Conc           | 2/DP219237  | 16°18'     | 3.902  |
| 20  | O. Cor Bldg                | 2/DP219237  | 134°28'    | 4.713  |
| 20  | O. Screw in Traffic Island | 5/SP196765  | 263°28'30" | 10.501 |
| 20  | O. Cor Bldg                | 2/DP219237  | 65°32'     | 13.116 |
| 21  | O. Cor Bldg                | 3/DP219236  | 64°50'     | 0.11   |
| 21  | O. Cor Wall                | 3/DP219236  | 126°06'    | 0.281  |
| 21  | O. GI Nail in Bit          | 3/DP219236  | 43°02'     | 0.963  |
| 21  | O. GI Nail in Bit          | 3/DP219236  | 50°41'     | 3.704  |
| 21  | O. GI Nail in Bit          | 4/SP196765  | 139°43'5"  | 3.74   |
| 21  | O. Spike in Bit            | 2/DP219236  | 34°08'     | 4.623  |

PERMANENT MARKS

| PM          | ORIGIN   | BEARING    | DIST    | NO     |
|-------------|----------|------------|---------|--------|
| 2-OPM       | SP192453 | 1°00'15"   | 2.917   | 131347 |
| 4-OPM       | SP190738 | 13°36'25"  | 166.423 | 131348 |
| 4-OPM       | SP190738 | 136°15'15" | 504.453 | 131345 |
| 9a-OPM gone | SP139419 | 102°33'40" | 24.715  | 133803 |
| 9a-OPM      | SP139419 | 139°09'30" | 41.572  | 42871  |

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**PLANS AND DOCUMENTS**  
referred to in the ULDA  
**APPROVAL** dated 24/7/10

| PM    | PERMANENT MARKS |            |         | NO     |
|-------|-----------------|------------|---------|--------|
|       | ORIGIN          | BEARING    | DIST    |        |
| 2-OPM | SP192453        | 11°00'15"  | 2-917   | 131347 |
| 4-OPM | 4/SP190738      | 13°36'27"  | 166-423 | 131348 |
| 4-OPM | 4/SP190738      | 136°15'14" | 504-453 | 131345 |

(Not Srdhd)

| STN | TO              | REFERENCE MARKS |            |  | DIST   |
|-----|-----------------|-----------------|------------|--|--------|
|     |                 | ORIGIN          | BEARING    |  |        |
| 1   | O Screw in Conc | 7/SP144596      | 4°44'10"   |  | 0-965  |
| 1   | O Screw in Conc | 7/SP144596      | 296°18'10" |  | 3-349  |
| 2   | O Screw in Conc | 8/SP144596      | 82°05'10"  |  | 8-495  |
| 2   | O Screw in Conc | 8/SP144596      | 284°20'50" |  | 21-726 |
| 7   | Nail in Kb      | 102°17'         |            |  | 18-661 |
| 7   | Bolt in Kb Fd   | 95°28'25"       |            |  | 35-72  |

Original information compiled from  
SP144596 & SP190738 in the Department  
of Environment and Resource Management.

O'CONNELL

TERRACE

116

7494 m<sup>2</sup>

704

4.0656 ha Bal

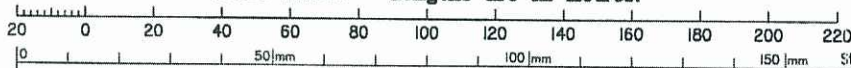
2

ROAD

BRIDGE

BOWEN

Scale 1:1500 - Lengths are in Metres.



**Plan of Lots 116 & 704**

Cancelling Lot 2 on SP144596 & Lot 3 on SP190738

PARISH: **NORTH BRISBANE** COUNTY: **Stanley**

Meridian: **SP190738**

F/N's: **No**

Scale: **1:1500**

Format: **STANDARD**

**SP219239**

Plan Status:

T.H. JENSEN & BOWERS PTY. LTD. (ACN 010 872 607) hereby certify that the land comprised in this plan was surveyed by the corporation, by Scott James MORRISON, surveying graduate, for whose work the corporation accepts responsibility, under the supervision of David George BURKE, cadastral surveyor, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 29/06/10



Date 29/06/10

Peg placed at all new and original corners, unless otherwise stated.

