

Maroochydore City Centre Priority Development Area

Precinct 7 (Residential) Plan

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

27 MAY 2016

MEDQ

13 March 2016



SunCentral[®]
Maroochydore

CONTENTS

1.	Introduction	2
1.1.	Document purpose	2
1.2.	Development Application	2
1.3.	Development consistent with the scheme.....	2
1.4.	Development inconsistent with the scheme.....	2
1.5.	Demonstrating development is consistent with the scheme	3
1.6.	Site and context	3
1.7.	Development potential	3
2.	Precinct Plan	4
2.1.	Key Outcomes	4
3.	Development Criteria	5
3.1.	Element 1 - Access, Movement and Parking	5
3.1.1.	Street Network	5
3.1.2.	Parking	6
3.1.3.	Pedestrian / Cycle Network	7
3.2.	Element 2 - Land Use and Activation.....	8
3.2.1.	Preferred Land Use	8
3.2.2.	Activation	8
3.3.	Element 3 - Built Form.....	9
3.3.1.	Density.....	9
3.3.2.	Building Height	9
3.3.3.	Building Setbacks	9
3.3.4.	Building Design.....	9
3.3.5.	Communal & Private Open Space	10
3.4.	Element 4 - Open Space and Public Realm	11
3.4.1.	Open Space.....	11
3.4.2.	Public Realm	11
3.5.	Element 5 - Infrastructure	12

1. Introduction

1.1. Document purpose

A Precinct Plan must be:

- a. lodged for approval as part of the first development application for a material change of use or reconfiguration of a lot within each of the precincts nominated on Map 4 (Zone and Precincts Plans); and
- b. approved before:
 - (i) permissible development can occur within that precinct;
 - (ii) any subsequent development application for permissible development can be approved for that precinct; and
 - (iii) any Plan of Development can be approved for that precinct.

Any amendment to an approved precinct plan will require a new precinct plan which must be accompanied by a PDA development application.

The Precinct Plan lodged for approval must demonstrate:

- a. how the precinct provisions are achieved, including maximum development yields, and the scale and distribution of land uses; or
- b. if one or more aspects of the precinct provisions are not achieved, other than maximum development yields, how the non-achievement is consistent with relevant aspects of the PDA-wide development criteria and zone intent; or
- c. if the maximum development yields are proposed to be exceeded, how an accompanying infrastructure network analysis and economic impact assessment

- achieve the outcomes stated in the precinct provisions (see footnotes 17-24 in section 3.5 Precinct Provisions); or
- d. if none of the above applies:
 - (i) how the precinct plan does not conflict with the PDA vision; and
 - (ii) how there are sufficient grounds to justify approval of the precinct plan despite not achieving one or more relevant aspects of the precinct provisions, PDA wide development criteria, zone intents or stated outcomes from the infrastructure network analysis or economic impact assessment.

The term 'grounds' has the same meaning as in section 3.2.4.

An approved Precinct Plan prevails over the PDA-wide development criteria, zone intent and other aspects of precinct provisions to the extent of any inconsistency.

1.2. Development Application

To the extent the PDA Vision, PDA-wide development criteria, zone intents, precinct provisions, precinct plans and the DSDIP guidelines are relevant, they are to be taken into account in the preparation of a PDA development application and the assessment of the application by the MEDQ.

The Infrastructure Plan and Implementation Strategy may include further information which should be taken into account in the preparation, design and feasibility of development proposals.

1.3. Development consistent with the scheme

PDA assessable development is consistent with the scheme if:

- a. the development complies with all relevant PDA-wide development criteria, zone intent, precinct provisions and precinct plan; or
- b. the development does not comply with one or more of the relevant aspects of the PDA-wide development criteria, zone intents, precinct provisions or precinct plan but:
 - (i) the development does not conflict with the PDA vision; and
 - (ii) there are sufficient grounds to justify the approval of the development despite the non-compliance with the PDA-wide development criteria, zone intents, precinct plan or the precinct provisions.

In this section 'grounds' means matters of public interest which include the matters specified as the main purposes of the Act as well as:

- a. superior design outcomes; and
- b. overwhelming community need.

The term 'grounds' does not include the personal circumstances of an applicant, owner or interested third party.

1.4. Development inconsistent with the scheme

Under the Act, development that is inconsistent with the scheme cannot be granted approval.

PDA prohibited development is inconsistent with the scheme.

1.5. Demonstrating development is consistent with the scheme

Development applications for PDA assessable development must demonstrate how the proposed development is consistent with the scheme in accordance with section 3.2.4. The application should also demonstrate that development will not compromise or unreasonably prejudice opportunities for the development of the remaining area in the precinct. Suggested ways applicants may demonstrate this is through a preliminary approval or Plan of Development (PoD).

1.6. Site and context

The precinct is 1.43 ha in area.

Figure 1 indicates the precinct location within the PDA.

1.7. Development potential

The Development Scheme encourages medium and high intensity residential uses with some limited ground floor convenience retail and café uses adjacent to and overlooking the Southern Lake.

The maximum development yields for the precinct are the following:

- Retail – up to 100m² GFA; and,
- approximately 200 residential dwellings.



Figure 1 – Precinct 7 - Residential

2. Precinct Plan

2.1. Key Outcomes

The key outcomes for the precinct are as follows:

- To achieve medium and high density residential uses, capitalising on the amenity and character of the southern parklands.
- Provide for residential accommodation with graduating building heights from the south to the north.
- Provide for a café / restaurant / shop (convenience store) located overlooking the southern parklands lake.



3. Development Criteria

3.1. Element 1 - Access, Movement and Parking

3.1.1. Street Network

The development is to provide for a well-designed street and movement network which:

- i. Connects to and integrates with the Residential Avenue located in Precinct 8 – Dalton Drive, as indicated in Figure 2 and Figure 5.

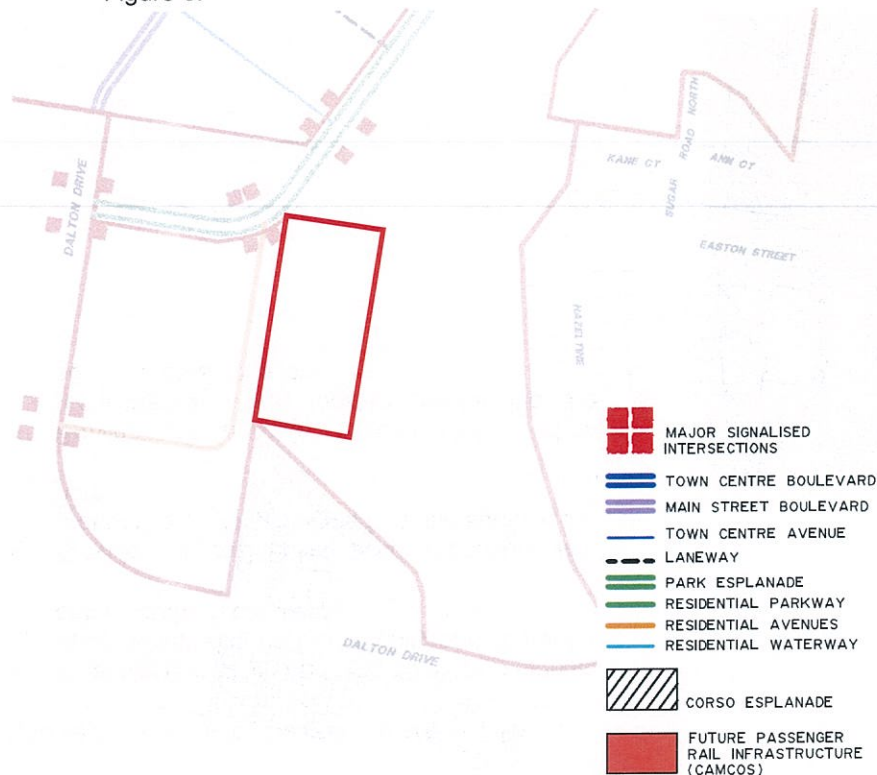


Figure 2 – Precinct Road Hierarchy Plan

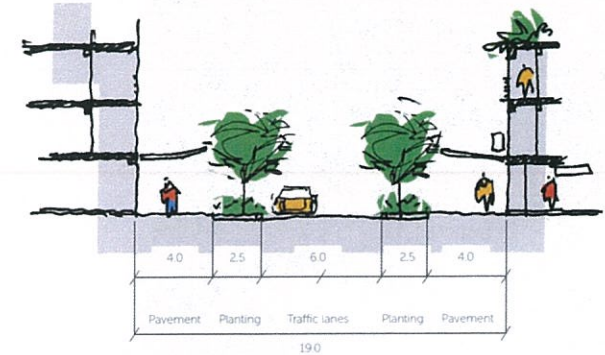


Figure 3 – Residential Avenue



3.1.2. Parking

Development outcomes:

- i. Parking is to be provided in a combination of on site development parking and on street parking.
- ii. For Residential development - provide on-site car parking for the development in accordance with Column 2 of Table 2.
- iii. For Non Residential development – provide on-site car parking for the development in accordance with Column 2 of Table 2.
- iv. Provide onsite parking in basements and podiums. All podium car parks are screened and/or suitably sleeved;

Table 2: Precinct 7 - Car Parking Rates

Column 1	Column 2
Land Use	On Site Parking Rate
Residential	Maximum resident: 1 space per dwelling unit Maximum visitor: 1 space per 5 dwellings
Non Residential	Maximum 1 space per 20m ² GFA

3.1.3. Pedestrian / Cycle Network

Development is to create safe, walkable and active City Centre that provides pedestrians and cyclists with legible, direct, comfortable and safe connections between major land uses and transit infrastructure across the City Centre and wider Maroochydore area.

Development outcomes

- i. Deliver active transport connections as identified in Figure 4 – Pedestrian & Cycle Network Plan, that provide opportunities to access other precincts and areas adjoining the PDA.
- ii. Provide cycle parking integrated into the public realm.
- iii. Cycle & pedestrian pathways to maintain public access at all times.

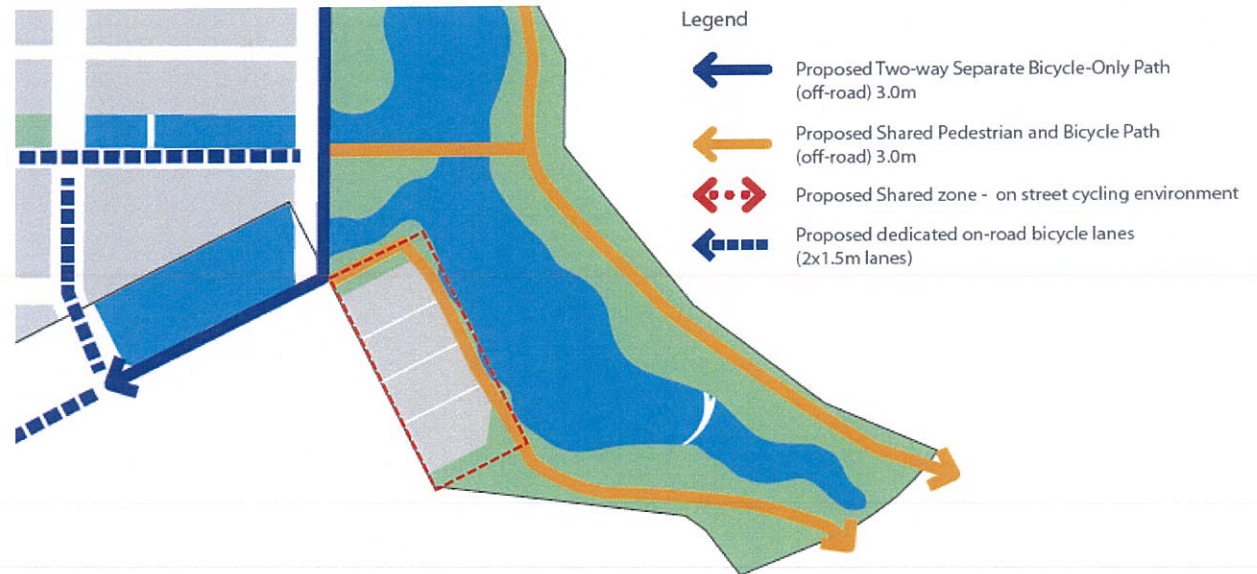


Figure 4 –Pedestrian & Cycle Network Plan



3.2. Element 2 - Land Use and Activation

The Maroochydore City Centre PDA will create a new mixed use city 'heart' for Maroochydore with a range of land uses, activities and destinations that is integrated and well connected to the surrounding urban fabric and supportive of Maroochydore's role as the Principal Activity Centre of the Sunshine Coast.

Residential

- Contains predominantly medium and high density residential uses with some limited ground floor convenience retail and café uses.
- Accommodates generous open space linkages around the southern lakelands.

3.2.1. Preferred Land Use

Preferred Land Uses within the Precinct include:

- Multiple dwelling
- Residential care facility
- Food and drink outlet

The level of assessment for a use is in accordance with Precinct 7 Residential Precinct: Levels of Assessment in the Development Scheme.

3.2.2. Activation

Development is to ensure safe, active and vibrant interfaces between the built form and the public realm, relative to their use, activities, location and outlook.

Development outcomes:

- Gateway and feature building design responds to the southern arrival and

esplanade road frontage and vista as a Primary Frontage & Elevation (as identified in Figure 5).

- Residential uses to provide balconies and building entries addressing the street and lake, but with consideration of feature screening of western sun.
- Buildings be designed to minimise overlooking to the existing residential uses to the south.
- Pedestrian promenade and public access along the lake frontage.
- Café/restaurant to be located along the primary frontage (as identified in Figure 5)

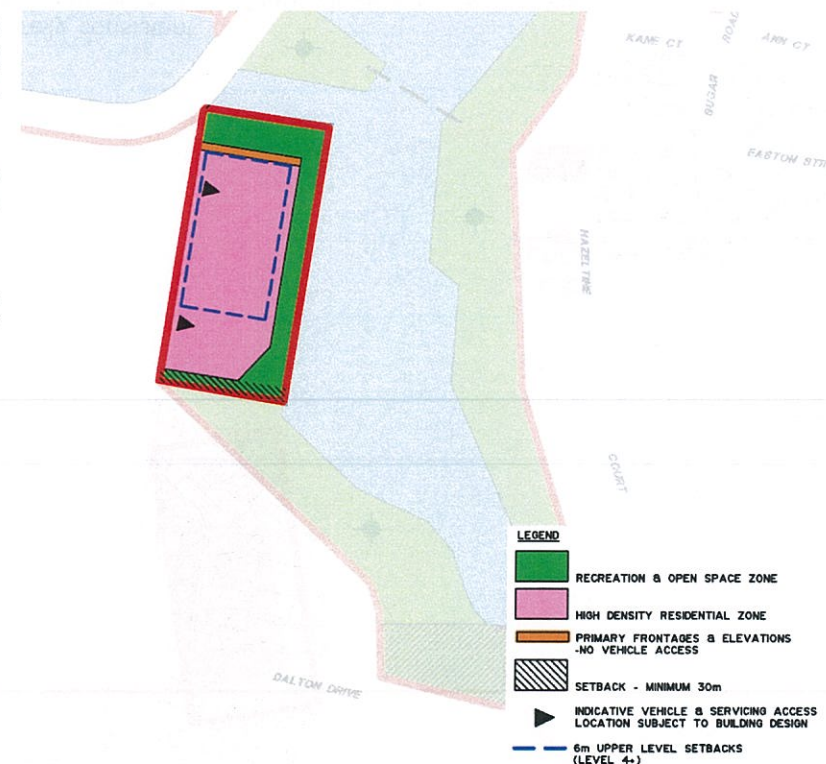


Figure 5 – Built Form Interfaces Plan

3.3. Element 3 - Built Form

Development is to create a defined and recognisable City Centre within the Maroochydore City Centre PDA, defined by the intensity, appearance, height, scale and mass of the built form.

3.3.1. Density

Achieve medium and high density residential uses, capitalising on the amenity and character of the southern parklands.

Development yields:

- i. Maximum retail uses – up to 100m²
- ii. Approximately 200 residential dwellings

3.3.2. Building Height

Achieve a building form that graduates in height from the south to the north.

Development outcomes:

- i. Minimum 30 metre setback from the property to that of the existing residential development;
- ii. Maximum building height of 2 storeys in the south of the precinct as indicated in Figure 6 - Building Height Plan; and,
- iii. Building up to a maximum 8 storeys for the remainder of the precinct as indicated in Figure 6 –Building Height Plan.

3.3.3. Building Setbacks

Development provides for buildings which create an attractive street front address and coherent streetscape alignment with other buildings.

Development outcomes:

- i. Development is setback 1.5m from the street frontage to a maximum 2 storey podium with a 6m setback to tower elements above 4 storey, as indicated in Figure 5.
- ii. Otherwise setbacks are as identified in PDA Guideline No.8 – Medium and high rise buildings (March 2014)

3.3.4. Building Design

Development provides for buildings that are responsive to the Sunshine Coast's sub-tropical climate.

Development outcomes:

- i. Development is to be generally consistent with PDA Guideline No.8 – Medium and high rise buildings (March 2014) with respect to climatic response, privacy, articulation of built form elements, balconies, clothes drying, ground floor detail, roof form, fences and landscape & recreation space.

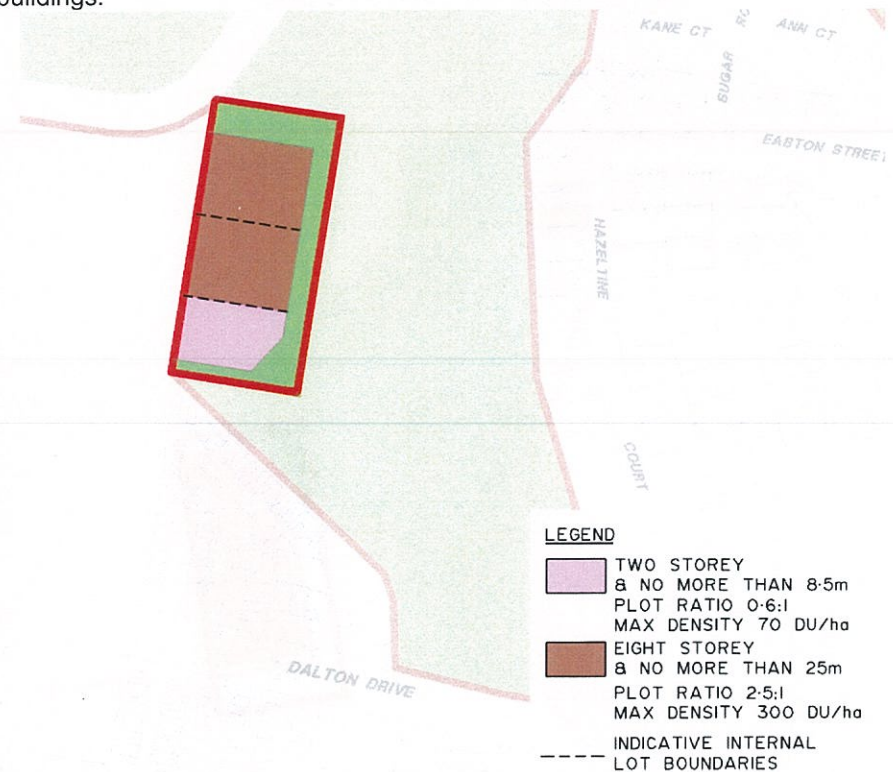


Figure 6 –Building Height Plan

3.3.5. Communal & Private Open Space

Development provides for adequate communal and private open space.

Development outcomes:

- i. For development involving 10 or more dwellings, at least 10% of the area of the site is provided as communal open space, exclusive of required landscape strips and clothes drying areas. This may be provided at ground, podium or roof level.
- ii. Each ground floor dwelling or rooming unit has a courtyard or similar private open space area directly accessible from the main living area which is not less than 20m² in area with a minimum dimension of 3.5m.
- iii. Each dwelling or rooming unit above ground level has a balcony or similar private open space area directly accessible from the main living area which is not less than 12m² in area with a minimum dimension of 3.0m.

3.4. Element 4 - Open Space and Public Realm

Development creates high quality, safe and enjoyable public open space, waterways, parklands and open space linkages that surrounding land uses and buildings are oriented around and connect to.

3.4.1. Open Space

Development outcomes:

- i. Provide a pedestrian friendly environment with an emphasis on safety, security and universal access.
- ii. Built form integrates with and achieves active edges to public open spaces along the northern and eastern boundaries of the precinct.
- iii. Built form overlooks, is oriented towards and casually surveys adjacent parklands.

3.4.2. Public Realm

Development outcomes:

- i. Provide a pedestrian friendly environment with an emphasis on crime prevention through environmental design.
- ii. Provide street tree plantings that provide a positive visual and amenity contribution to the public realm.
- iii. Provide co-ordinated signage, lighting and street furniture throughout the Precinct.



Figure 8 – Open Space Plan

3.5. Element 5 - Infrastructure

Infrastructure is provided in an efficient, effective and timely manner that supports the development of the Maroochydore City Centre PDA.

Development outcomes:

- i. Pay a financial contribution for infrastructure in accordance with the Infrastructure Funding Framework or an infrastructure agreement.
- ii. Make a works contribution for trunk infrastructure in accordance with an infrastructure agreement. Trunk infrastructure delivered as part of the development may be credited against the financial contributions that would otherwise apply.

