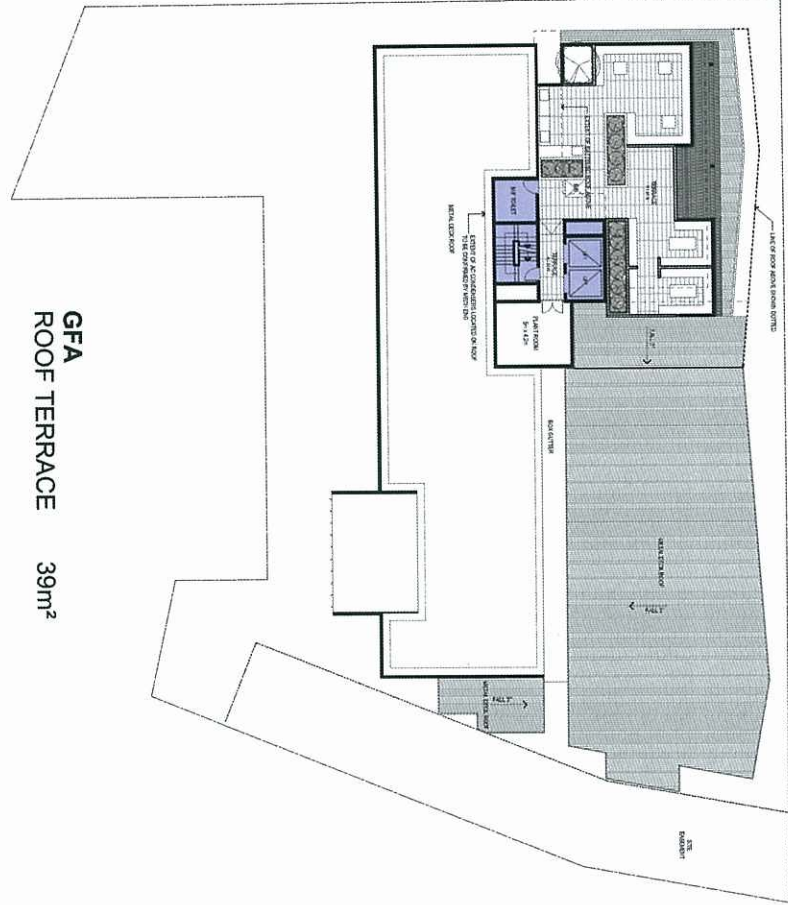


PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 22/19/169

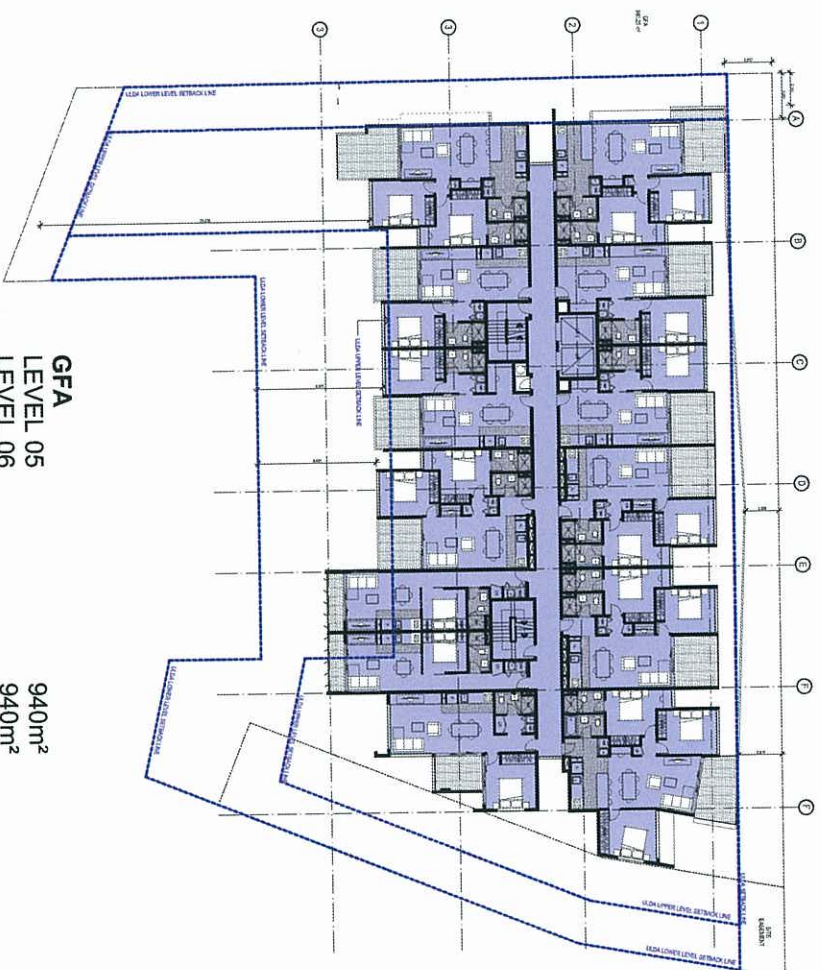
- General Notes**
1. Confirm details of setbacks, levels, setbacks and critical dimensions on site prior to start during the works. Notify architect of any discrepancies discovered before proceeding.
 2. All construction to comply with the building code of Australia and applicable Australian standards.
 3. Do not scale from this drawing - use figured dimensions.
 4. A signed original of the drawing is retained in CPA Offices for verification purposes.
 5. These drawings are the copyright of Collier Parker Architects Pty Ltd and may not be used, related or copied without written authority.

Additional Notes



1 GFA ROOF TERRACE
SCALE @ A1 1:250

GFA
ROOF TERRACE 39m²



1 GFA LEVEL 05-09
SCALE @ A1 1:250

GFA
LEVEL 05 940m²
LEVEL 06 940m²
LEVEL 07 940m²
LEVEL 08 940m²
LEVEL 09 940m²

GFA SUMMARY

BASEMENT 02	37m²
BASEMENT 01	49m²
GROUND	952m²
LEVEL 01	951m²
LEVEL 02	951m²
LEVEL 03	951m²
LEVEL 04	951m²
LEVEL 05	940m²
LEVEL 06	940m²
LEVEL 07	940m²
LEVEL 08	940m²
LEVEL 09	940m²
ROOF TERRACE	39m²

TOTAL 9581m²

CPA

Collier Parker Architects Pty Ltd
ABN 77 010 524 108
Brisbane Office
201 Riverside Drive
Windsor QLD 4030
T 617 3946 7422
F 617 3946 7433
W collierparker.com.au

Client

CHROME PROPERTIES

Project

CODE BOWEN HILLS

Location

10 JEAN'S ST BOWEN HILLS

Drawing Title

GFA DIAGRAMS

Scale

As Shown

Date

28/04/09

Job no.

3760

Drawn

JC

Checked

AP

Approved

AP

Drawing no.

SD 2802

Issue

01

- LEGEND
- (A) ADJUSTABLE SLIDING ALUMINIUM SCREEN
 - (B) CONCRETE SLAB PROTECTION
 - (C) RENDERED MASONRY
 - (D) VERTICAL ALUMINIUM FEATURE GLAZE
 - (E) ALUMINIUM BALUSTRADE GLASS
 - (F) METAL DECK ROOF
 - (G) ALUMINIUM GLAZING
 - (H) VERTICAL ALUMINIUM FRAME GLAZE

- General Notes
1. Confirm details of windows, levels, setbacks and critical dimensions on site prior to and during the works. Notify architect of any discrepancies discovered before proceeding.
 2. All construction to comply with the building code of Australia and applicable Australian standards.
 3. Do not scale from this drawing - use figured dimensions.
 4. A signed original of this drawing is retained in CPA Offices for verification purposes.
 5. These drawings are the copyright of Colina Parker Architects Pty Ltd and are not to be copied, reproduced or used without written authority.

Additional Notes

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 23/9 109



1 WESTERN ELEVATION - JEAYS STREET

SCALE @ A1 1:100

0 1 2 3 4 5 6 7 8 9 10
metres
SCALE 1:100 @ A1
SCALE 1:200 @ A3

Drawing no.	SD 3001	Issue	01
Scale	As Shown	Job no.	3760
Drawn	JC	Checked	AP
Issue	JC	Approved	AP

Client	CHROME PROPERTIES
Project	CODE BOWEN HILLS
Location	10 JEAYS ST BOWEN HILLS
Drawing Title	ELEVATION 01

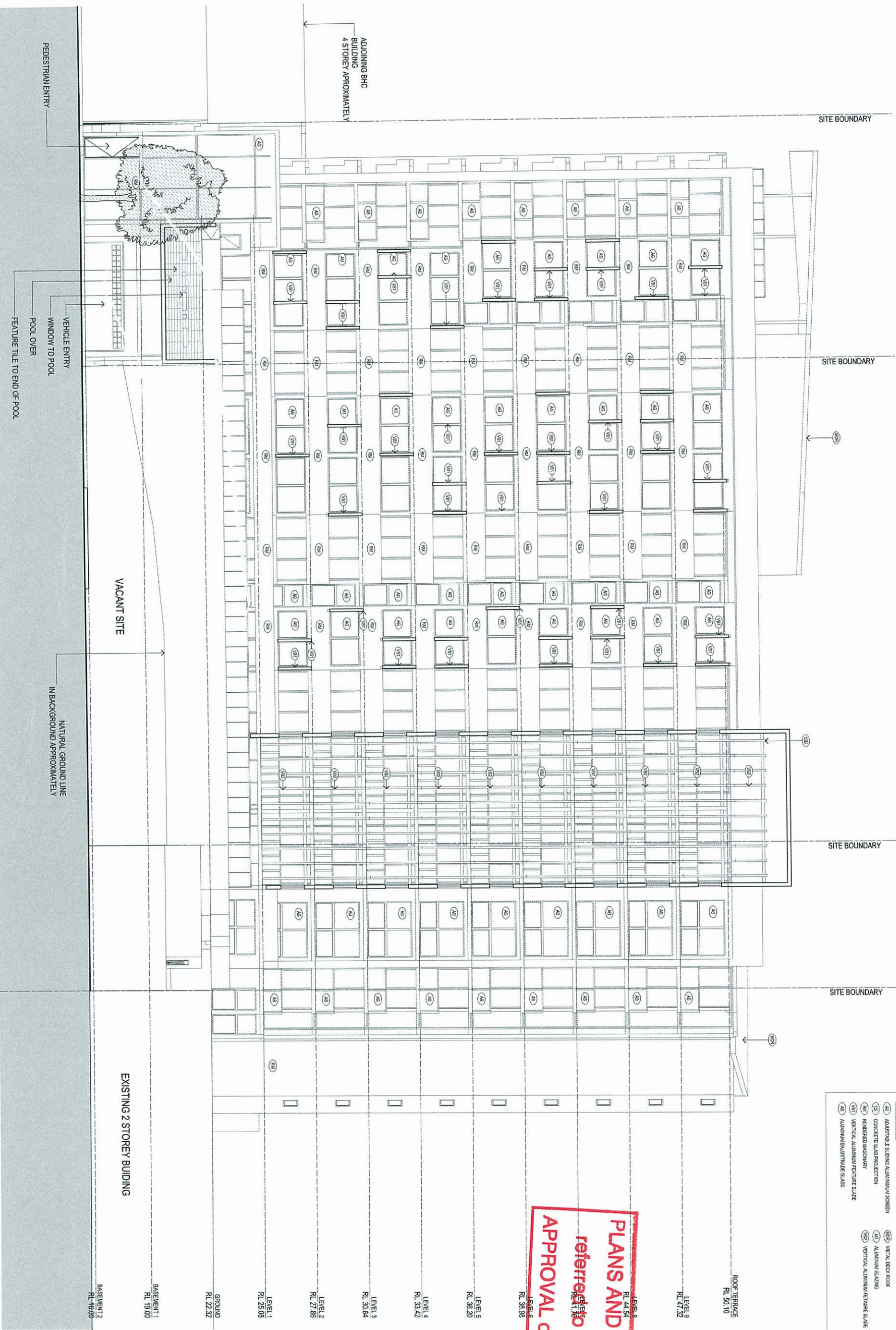
CPA
Colina Parker Architects Pty Ltd
ABN 77 010 824 166
Brisbane Office
201 Montague Road
West End QLD 4101
T 617 3846 7422
F 617 3846 7423
W colinaparker.com.au

01	ULDA DA ISSUE	28/07/09	JC
00	DRAFT ULDA DA ISSUE	07/05/09	JC
Issue/Revision		Date	In.

1. Confirmed details of status, level, aethetics and critical dimensions on site prior to and during the works. Notify architect of any discrepancies discovered before proceeding;
2. All construction to comply with the building code of Australia and applicable Australian standards;
3. Do not scittle from this drawing - use figured dimensions;
4. A signed original of this drawing is retained in CRF Offices for verification purposes.
5. These drawings are the copyright of Colten Park Architects Pty Ltd and may not be used, replicated copied without written authority.

Additional Notes:

LEVEL 8
RL 44.54
APPROVAL dated 22/9/09
reference in the ULDA
LEVEL 8
PLANS AND DOCUMENTS



1 EASTERN ELEVATION - Hurworth Street
SCALE @ A1 1:100

Scale	Date	Job no.
As Shown	28/04/09	3760
Drawn	Checked	Approved
JC	AP	AP
Drawing no. SD 3002		Issue 01

01	ULDA DA ISSUE	2007/09	JC
00	DRAFT ULDA DA ISSUE	07/05/09	JC
Issue	Revision	Date	Initials
Amendments			

Cottles Partner Architects Pty Ltd
ABN 77 010 824 106

Brisbane Office
2011 Montague Road
West End QLD 4101

T 617 3646 7422
F 617 3646 7433
W cottlespartner.com.au

Client	CHROME PROPERTIES
Project	CODE BOWEN HILLS
Location	10 JEAVS ST BOWEN HILLS
Drawing Title	ELEVATION 02

1. Critical details in the title, level, attributes and critical dimensions on the prior to and during the work. Notify architect of any discrepancies discovered before proceeding.
2. All construction to comply with the building code of Australia and applicable Australian standards.
3. Do not scale from this drawing - use figured dimensions.
4. A signed original of this drawing is retained in CPD Offices for verification purposes.
5. These drawings are the copyright of Celia Park Architects Pty Ltd and may not be used, retained, copied without written authority.

Additional Notes

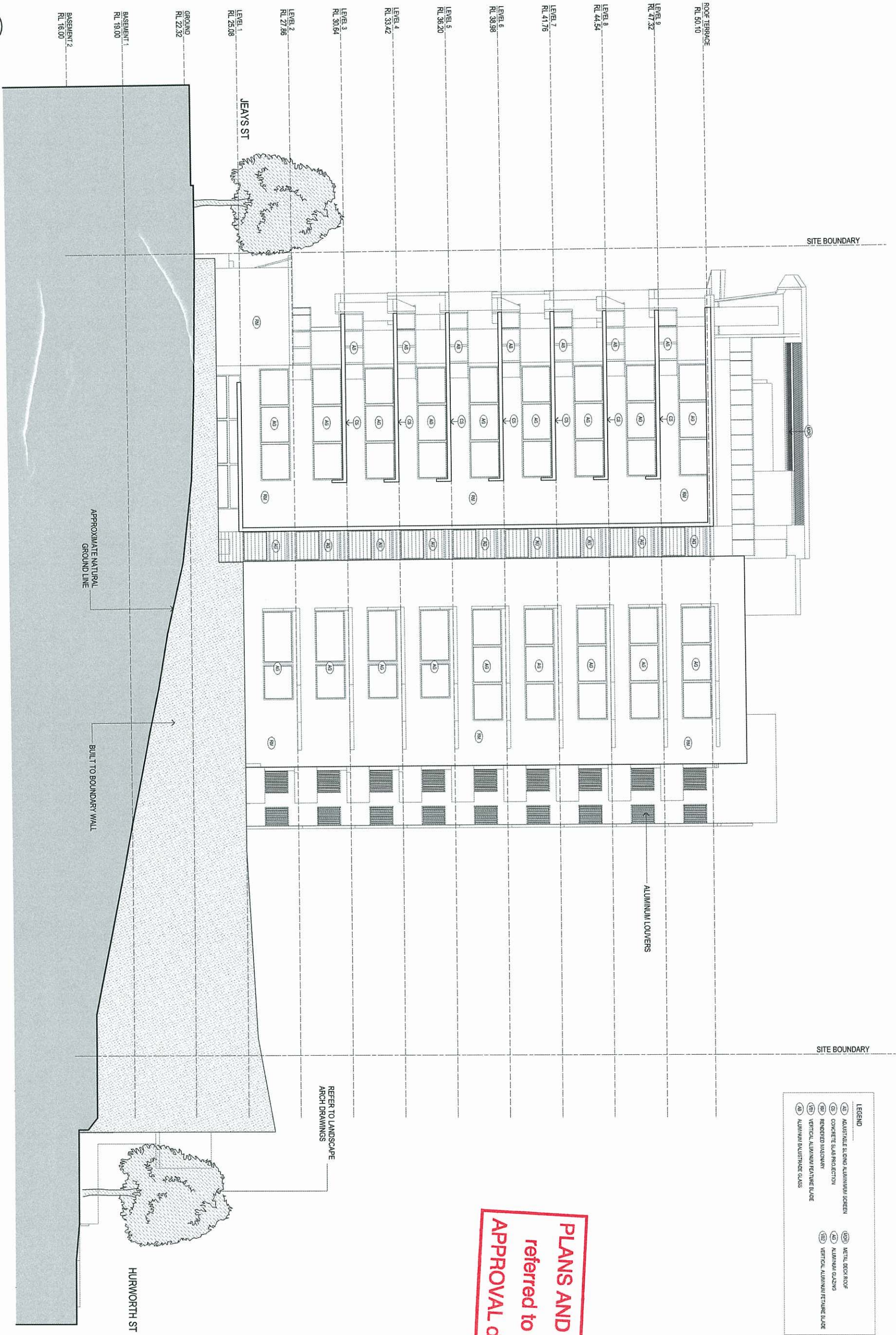
PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 23/9/09

01	ULDA DA ISSUE	2007/09	JC
00	DRAFT ULDA DA ISSUE	07/05/09	JC
Issue Revision		Date	In.
Amendments			

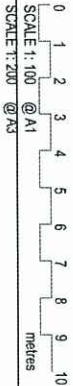
	Calvin P. Davis Architects Pty Ltd ABN 77 010 050 106 Brisbane Office 201 Montague Road West End QLD 4101 T 617 8446 7422 F 617 8446 7423 W calvinp.com.au	
	Client CHROME PROPERTIES	
	Project CODE BOWEN HILLS	
	Location 10 JEAYS ST BOWEN HILLS	
Drawing Title ELEVATION 04		Job no. 3760
Scale As Shown	Date 28/04/09	Job no. 3760
Drawn JC	Checked AP	Approved AP
Drawing no. SD 3004		Issue 01

LEGEND

(2)	ADJUSTABLE SLIDING ALUMINUM SCREEN	(10)	METAL DECK ROOF
(3)	CONCRETE SLAB PROJECTION	(11)	ALUMINUM GLAZING
(4)	RIBBED ASPHALT	(12)	VERTICAL ALUMINUM FEATURE SLAB
(5)	VERTICAL ALUMINUM FEATURE SLAB		
(6)	ALUMINUM BALUSTRADE GLASS		



1 NORTHERN ELEVATION
SCALE @ A1 1:100



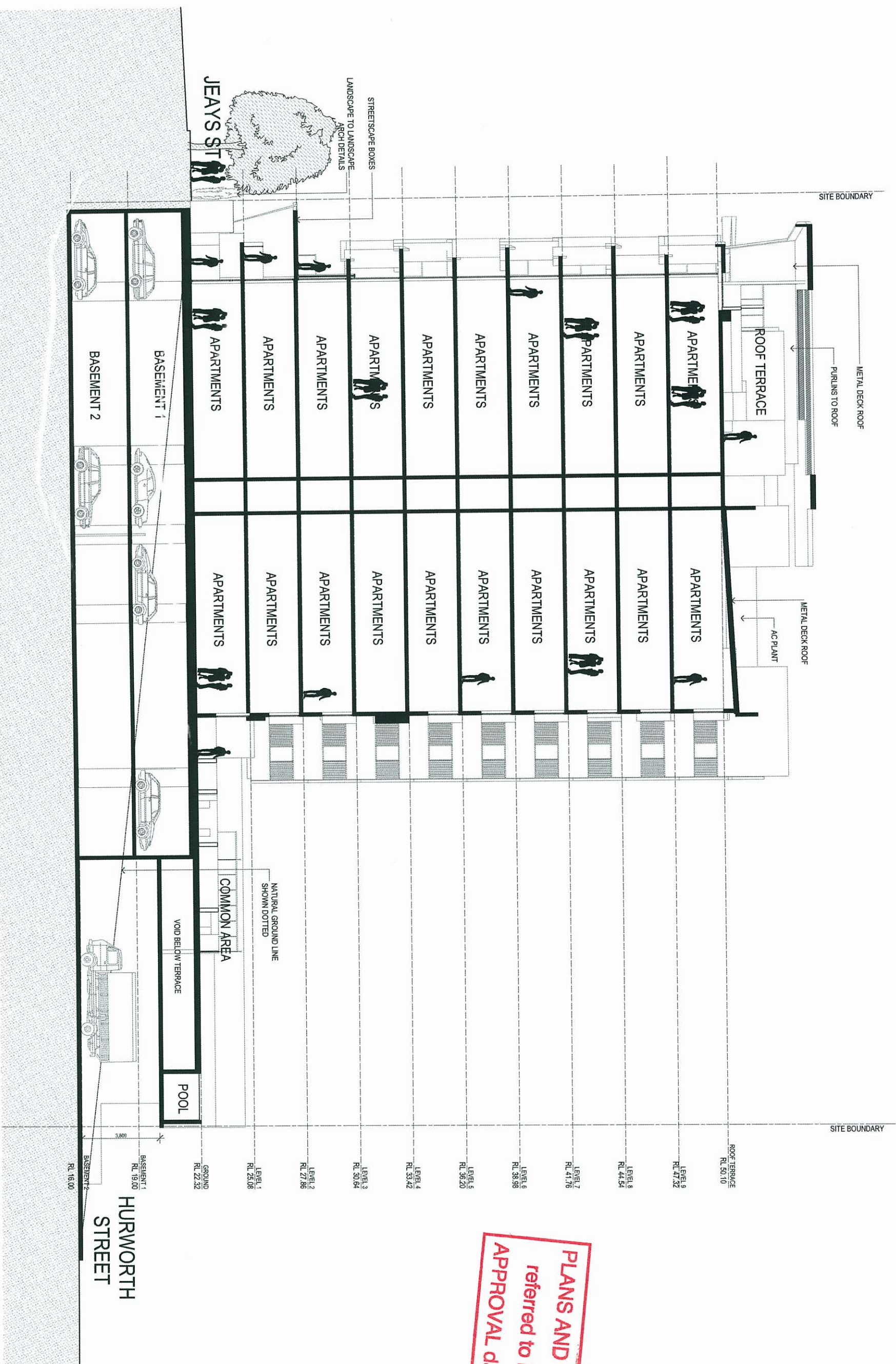
1. Critical details of sexual, mental, substance and criminal dimensions on file prior to and during the work. Many articles of first discrepancies discovered before proceeding.
2. All consultation to comply with the building code of Australia and applicable Australian standards.
3. Do not scale from the drawing - use figured dimensions.
4. A signed original of this drawing is retained in CPA Offices for verification purposes.
5. These drawings are the copyright of Collins Partner Architects Pty Ltd and may not be used, related or copied without written authority.

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 22/9/09

00	DRAFT ULDA DA ISSUE	07/06/09	JC
Issue Revision			
Amendments			



Client	CHROME PROPERTIES		
Project	CODE BOWEN HILLS		
Location	10 JEAN'S ST BOWEN HILLS		
Drawing Title	SECTION A-A		
Scale	Date	Job no.	
10 As Shown	28/04/09	3760	
Drawn	Checked	Approved	
JC	AP	AP	
Drawing no.	Issue		
SD 3101	00		



1 SECTION A-A
SCALE @ A1 1:100

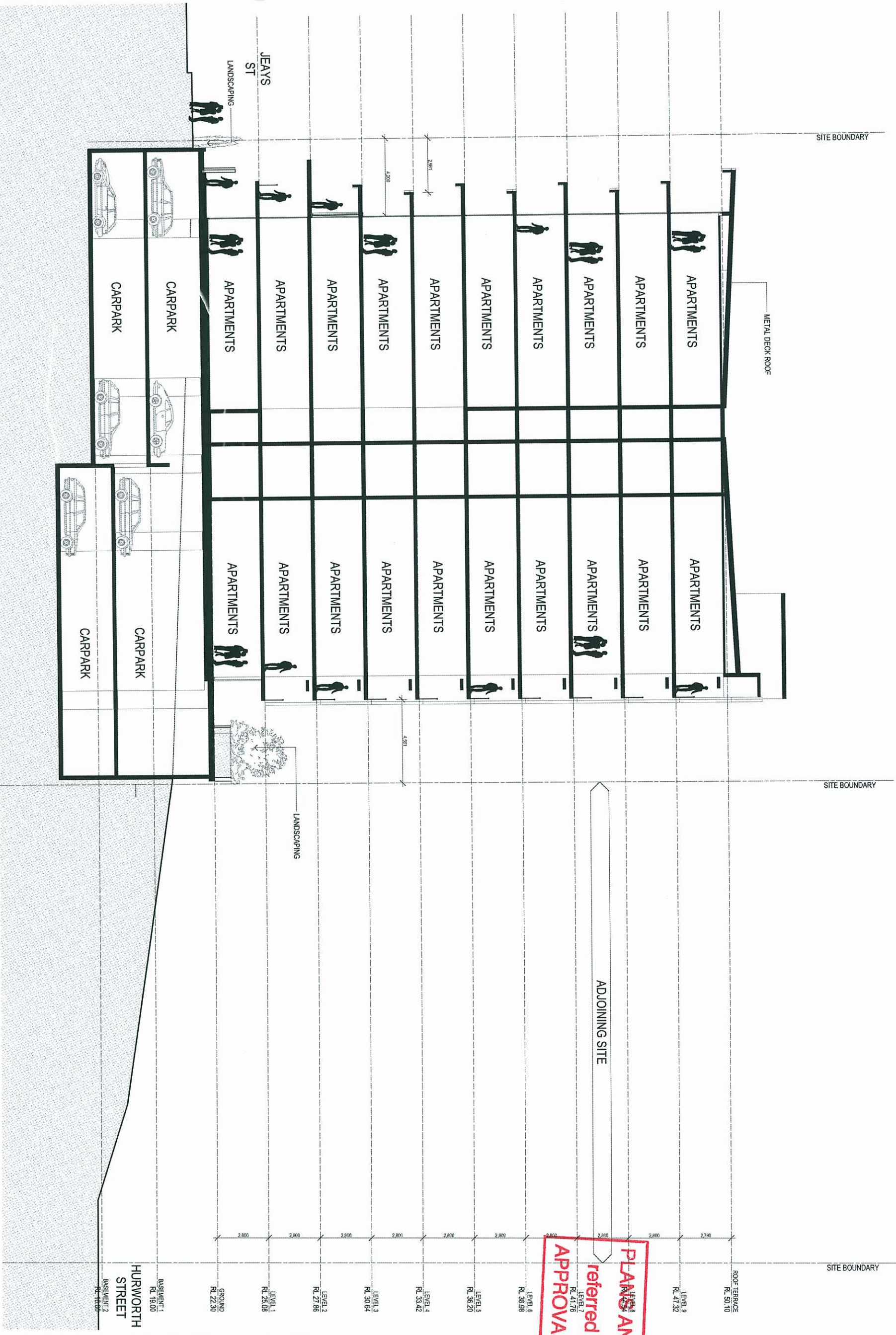
K:\WORK\2003\760 Property Direct, JUNE 21 PENDING, BOWEN HILL\ARCHCAD\Master\3760_Master_Option 2.ppt_20-07-2009_3-11 PM

1. Contal details of setbacks, levels, setbacks and critical dimensions on site prior to and during the works. Noddy archival of any discrepancies discovered before proceeding.
2. All construction to comply with the building code of Australia and applicable Australian standards.
3. Do not scale from this drawing - use figured dimensions.
4. A signed original of this drawing is retained in CPA Offices for verification purposes.
5. These drawings are the copyright of Colton Paxinos Architects Pty Ltd and may not be used, retained or copied without written authority.

Additional Notes

referred to in the ULDA
LEVEL 7

APPROVAL dated 22/9/09



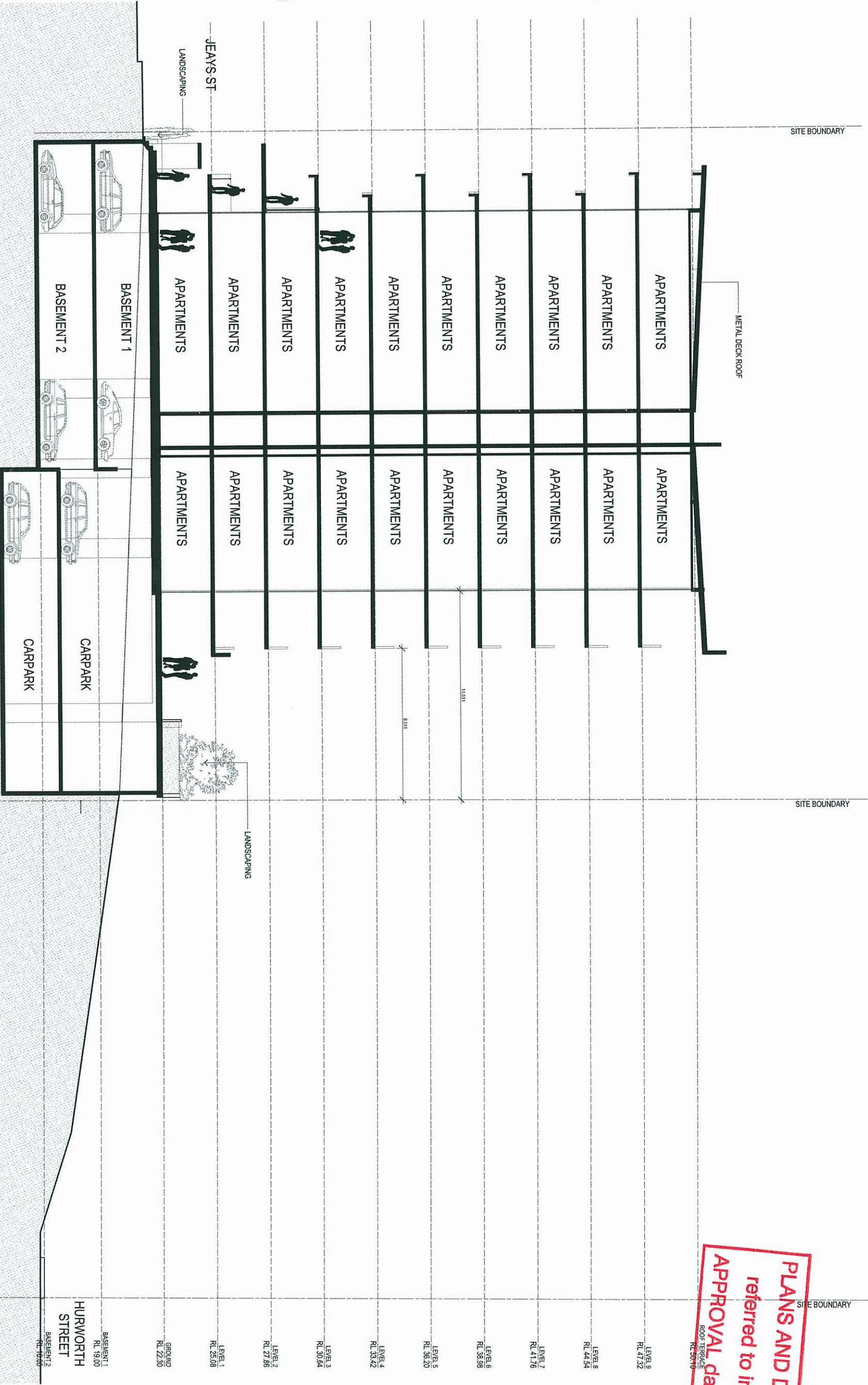
1 SECTION B-B
SCALE @ A1 1:100

Scale	Date	Job no.
As Shown	28/04/09	3760
Drawn	Checked	Approved
JC	AP	AP
Drawing no.		Issue
SD 3102		00

- General Notes**
1. Confirm details of setbacks, levels, setbacks and works. Verify setbacks of any discrepancies discovered before proceeding.
 2. All construction to comply with the building code of Australia and applicable Australian standards.
 3. Do not scale from this drawing - use figured dimensions.
 4. A signed original of this drawing is retained in CPA Offices for verification purposes.
 5. These drawings are the copyright of Collier Parker Architects Pty Ltd and may not be used, retained or copied without written authority.

Additional Notes

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 22/19/109



00	DRAFT ULDA DA ISSUE	07/09/09	JC
Issue/Revision		Date	In.
Amendments			

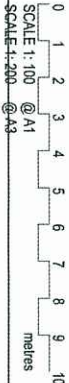
CPA

Collier Parker Architects Pty Ltd
A/Sec 77 010 024 100
Brisbane Office
Level 10, 100 Queen Street
West End QLD 4101
T 617 3846 7422
F 617 3846 7433
W collierparker.com.au

Client	CHROME PROPERTIES
Project	CODE BOWEN HILLS
Location	10 JEAYS ST BOWEN HILLS
Drawing Title	SECTION C-C

Scale	Date	Job no.
As Shown	28/04/09	3760
Drawn	Checked	Approved
JC	AP	AP
Drawing no.		Issue
SD 3103		00

1 SECTION C-C
SCALE @ A1 1:100



1. Confirm details of school, levels, subjects and official endorsement on site prior to and during the work. Notify architect of any discrepancies discovered before proceeding.
2. All construction to comply with the building code of Australia and applicable Australian standards.
3. Do not scale from this drawing - use figured dimensions.
4. A signed original of this drawing is retained in CPA. Offices for verification purposes.
5. These drawings are the copyright of Colne Parker Architects Pty Ltd and may not be used, altered or copied without written authority.

Additional Notes



1 FLOOR PLAN - BASEMENT 02(LEVEL A)
- SCALE @ A1 1:0.40

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 22/9/09

00	REVISED HURWORTH STREET ENTRY	07/05/09	JC
Issue	Revision	Date	In.
Amendments			

Cottier Parker Architects Pty Ltd
ABN 77 010 924 106
Brisbane Office
201 Montague Road
West End QLD 4101
T 617 3846 7422
F 617 3846 7433
w cottierparker.com.au

Client	CHROME PROPERTIES
Project	CODE BOWEN HILLS
Location	10 JEAYS ST BOWEN HILLS
Drawing Title	HURWORTH STREET ENTRY VIEW

Scale	Date	Job no.
As Shown	28/04/09	3760
Drawn	Checked	Approved
JC	AP	AP
Drawing no.	Issue	
SD 0405	00	