

AMENDMENT E...UPDATE LOTS 1, 24 & 25

**PLAN OF RECONFIGURATION
LOTS 1 - 25 & 501
ROGHAN ROAD,
FITZGIBBON**

■ LICENSED SURVEYORS ■ TOWN PLANNERS
■ DEVELOPMENT CONSULTANTS

SUITE 2, LEVEL 2
 1 BREAKFAST CREEK RD
 NEWSTEAD
 P.O. Box 436
 NEW FARM
 QLD 4005

 (07) 36665200
F (07) 36665202

E  surveying@
 wolverconsulting.com.au

Reference Number: SB2689_02_E

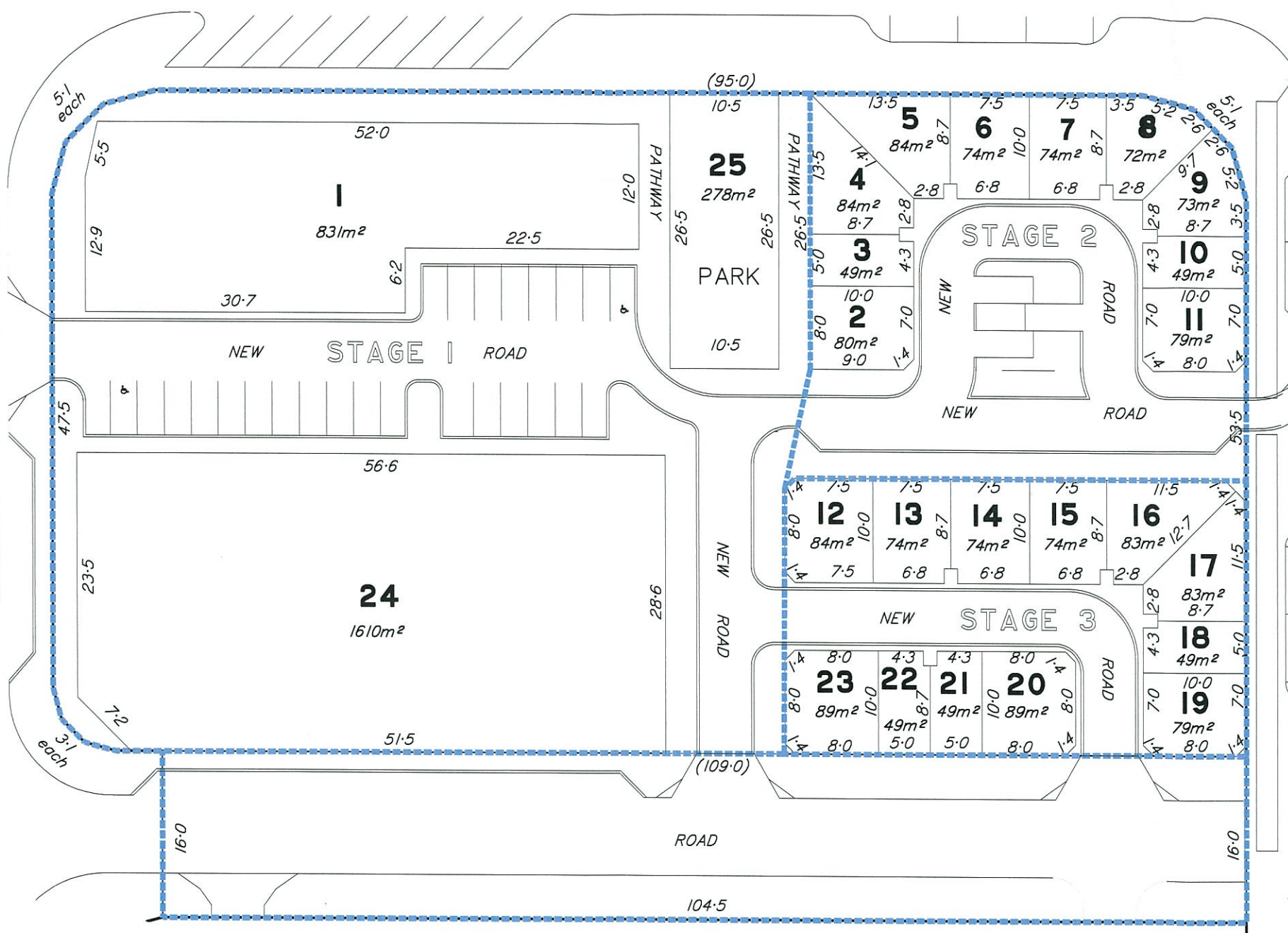
ROGHAN ROAD

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

5 NOV 2015

MEDQ

WARRUMBUNGE PARADE



CARVEL GROVE AVENUE

501 Bal.

SEE SHEET 1

SHEET 2 OF 2

Scale 1: 500 @ A3 - Lengths are in Metres.



NOTES

1. ANY LICENCE, EXPRESS OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT BETWEEN WOLTER CONSULTING GROUP AND THE INSTRUCTING PARTY.
2. DESIGN SUBJECT TO LOCAL AUTHORITY APPROVAL & DETAILED ENGINEERING REQUIREMENTS, AREAS AND DIMENSIONS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY.

Client :

URBAN LAND DEVELOPMENT AUTHORITY

R.P. Description

LOT 4001
ON SP242308

Parish

NUNDAH

County

STANLEY

Date Drawn

13-07-2012

PLAN OF RECONFIGURATION
LOTS 1 - 25 & 501

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FITZGIBBON



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QLD 4005 E surveying@wolterconsulting.com.au

Reference Number: SB2689_02_E

General:

1. All development is to be undertaken in accordance with the Development Approval.
2. Building height is a maximum of 3 storeys, but base on merit where not shown as three stories in the POD Street Elevations.
3. Dimensions have been rounded to the nearest 0.1m.
4. Refer to landscape plans for locations and extent of paved footpaths.
5. Areas have been rounded to the nearest 5m².
6. This Plan of Development (POD) is subject to relevant consultant input and review, including, but not limited to; landscape, traffic, engineering, stormwater, hydraulics, geotechnics, environment, survey and acoustics.

Building Siting:

7. No Minimum setbacks are required to any boundaries, with the exception of setbacks necessary to provide an articulated built form to all frontages, generally in accordance with this POD.
8. No minimum setback is required to laneway garages or carports other than those required to achieve compliance with ULDA Practice note no. 12 issued December 2011 or as updated (alternate solutions will be considered based on the provision of a compliant vehicle swept path diagram supporting the proposed setback).
9. The location of mandatory built-to-boundary walls are indicated on this POD.
10. Built-to-boundary walls are to extend to a minimum of 50% of the boundary for which they have been nominated and shall have maximum height of 9m.
11. In sections where built-to-boundary walls are not adopted, side boundary setbacks shall be on 0.9m minimum (with the exception of setbacks from service pillar cut-out site boundaries where no setback is required).
12. Boundary setbacks are measured to the wall of the structure, excluding minor items such as pilasters, columns, mouldings, window hoods, etc.

Parking:

13. Minimum off-street parking requirements:

- Studio: 1 space per dwelling
- 1 and 2 Bedroom: 1 space per dwelling
- 3 + Bedrooms: 2 spaces per dwelling (which may be in tandem)
- At least one space per dwelling shall be covered

14. Allotments adjoining a laneway must locate garages and carports off the laneway. Garages and carports served off a laneway shall comply with ULDA Practice note no. 12 Issued; December 2011 or as updated.
15. Double garages shall generally not be permitted for dwellings on lots with a vehicle access frontage of less than 12.5m

Site Cover and Private Open Space:

17. There is no maximum site coverage.
18. Private amenity space accessible from a living area shall be located on first floor balconies and not be less than 4m² with a minimum dimension of 1.2m for Studio and 1 Bedroom dwellings and 6m² for the other dwellings.
19. Private amenity space for dwellings with living areas located above ground shall be located directly adjacent to and accessible from the main living area.

Fencing:

20. Fencing on all Primary Frontages shall be 1.5m high maximum and 50% transparent (including sections of solid vs, transparent), or 1.2m and solid.
21. A limited extent of 1.8m high solid fencing is permitted to a laneway.

Special Requirements for Laneway Lots:

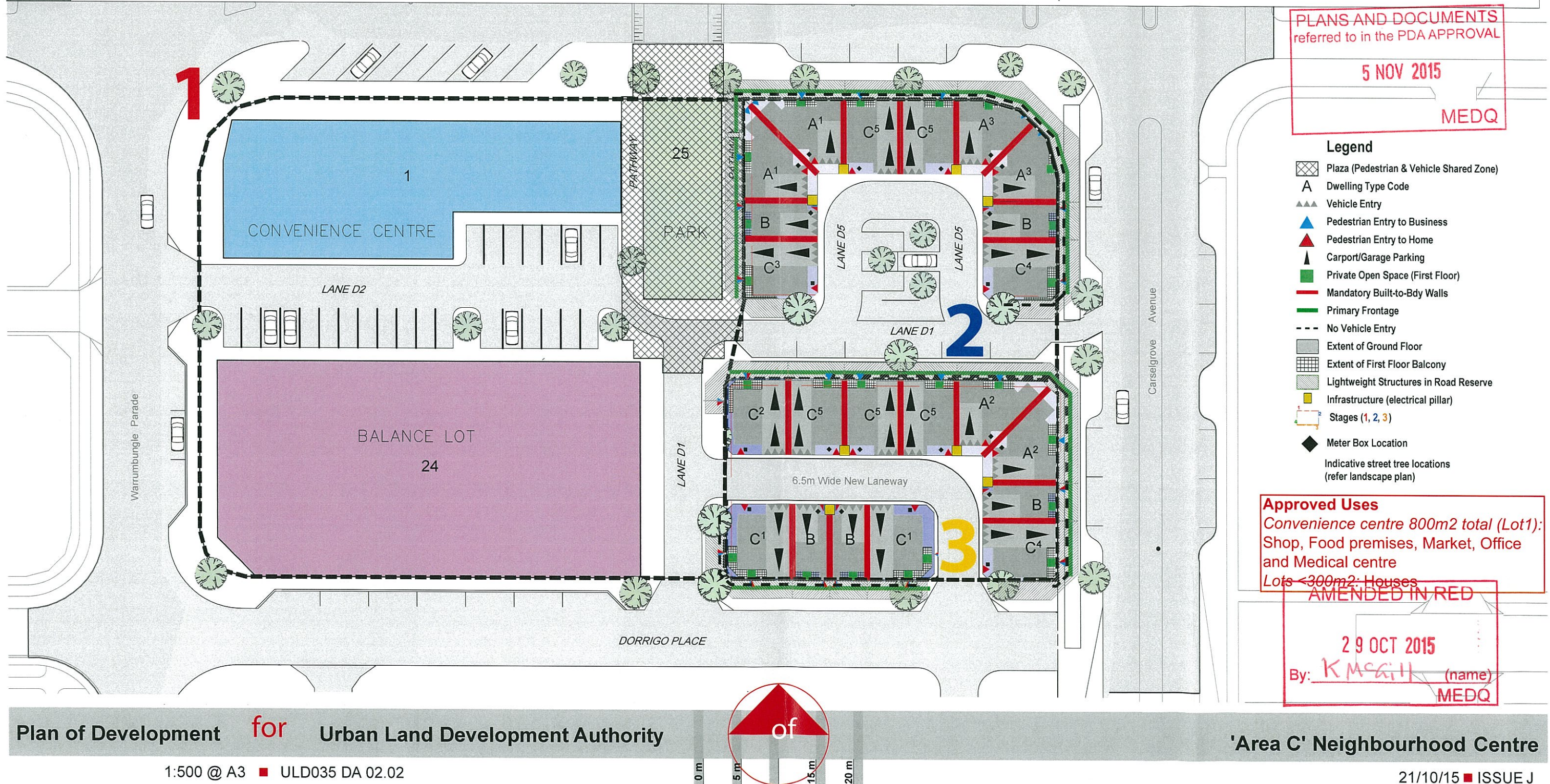
22. For any laneway lots with a cut-out of the site making provision for the installation of a power supply pillar, the following conditions shall be met:
 - Unrestricted access shall be provided to the front and two sides of each and every service pillar site (1.3m x 1.4m typical).
 - Balustrades or fences shall be permitted to the sides of the pillar sites if they are constructed entirely outside of the pillar site (including foundations), are of light-weight construction and are easily removable.
 - The surface of the pillar site shall be finished entirely with turf or gravel avoiding the use of pavers or paves or other finishes.

Awnings, Balconies and Verandahs:

23. Open balconies, porches awnings and roof eaves cantilevered from the building etc, may project to the street or laneway and shall have a minimum height of 3m from the finished ground level.
24. Separate arbour, verandahs, gatehouse and balcony structure may be constructed in road reserves or in the park (subject to restrictions where conflicts with pedestrian movement, vehicle manoeuvring and/or services exist) where indicated on the POD.
25. Echo developments are required to provide awnings that extends a minimum of 2m into the public verge to a minimum of 50% of the Primary Frontage.

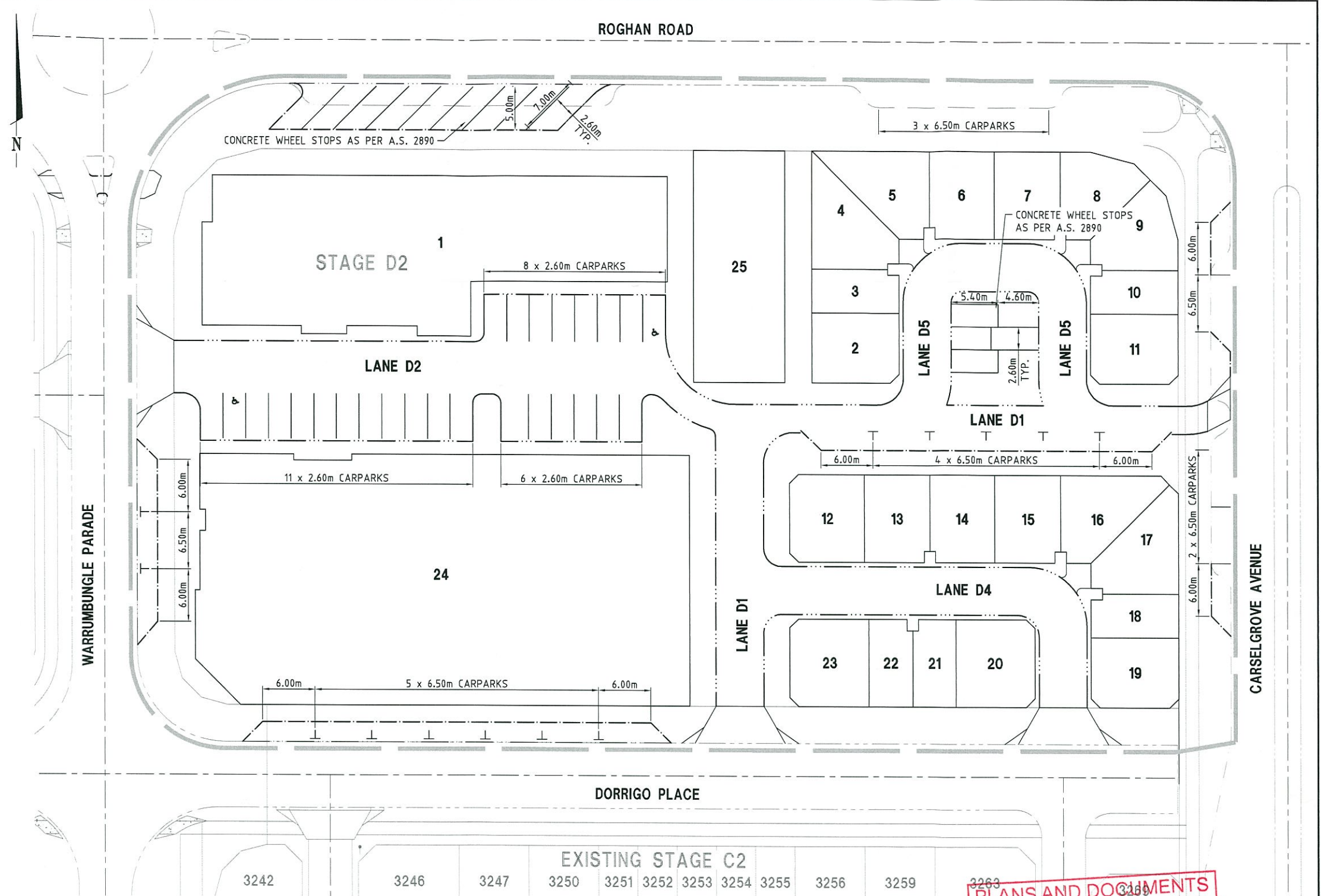
Definitions:

Laneway: A narrow public road (6.5m – 7.5m) that primarily provides vehicle access and services to dwellings.
 Frontage Boundary: A boundary to a road, lane or other public place.
 Echo: A combination of an Economic generator (i.e. a business or shop) and a Home.



BASEMENT CAR PARKING SPACES IN LOT 1 = 16
SURROUNDING CAR PARKING SPACES = 27
INTERNAL CAR PARKING SPACES = 34

TOTAL CAR PARKING SPACES = 77



3263 PLANS AND DOCUMENTS 3269
referred to in the PDA APPROVAL

5 NOV 2015

MEDQ

CONCEPT PLAN ONLY
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CONSTRUCTION PURPOSES

FILE: B13179-121.dwg DATE: 08-10-2014 TIME: 13:25
Xref's: X_B13179_BASE X_B13179_TITLE X_B12127_BASE_ETS USR: Ryan Bulmer

FIRST ISSUE			
AMENDMENT	CALCS	DRAWN	DATE
	NT	NT	27.07.15
A			
B			
C			
D			
E			
F			

	DESIGN CHECK
	DRAWN CHECK

SCALE (METRES)

1:250 5 0 5 10 A1
1:500 A3

MICROFILM No.

PROJECT No.

B13179

SURVEYOR: LAND PARTNERS LIMITED
Level 3, 40 McDougall Street, Milton QLD 4064
Ph (07) 3842 1007 Fax (07) 3842 1001

APPROVED

MATTHEW HILL RPEQ 11578

FOR & ON BEHALF OF CALIBRE CONSULTING (QLD) PTY LTD

CLIENT	DSDIP - ECONOMIC DEVELOPMENT QLD
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PROJECT
FITZGIBBON CHASE
STAGE D2
ROGHAN ROAD, FITZGIBBON



Calibre Consulting (QLD) Pty Ltd
Ground Floor, 545 Queen Street, Brisbane, QLD Australia 4000
Telephone 07 3895 3444 Facsimile 07 3895 3400
Brisbane Canberra Melbourne Sydney Singapore Sunshine Coast



	DRAWING TITLE
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CARPARKING LAYOUT PLAN

DRAWING NUMBER

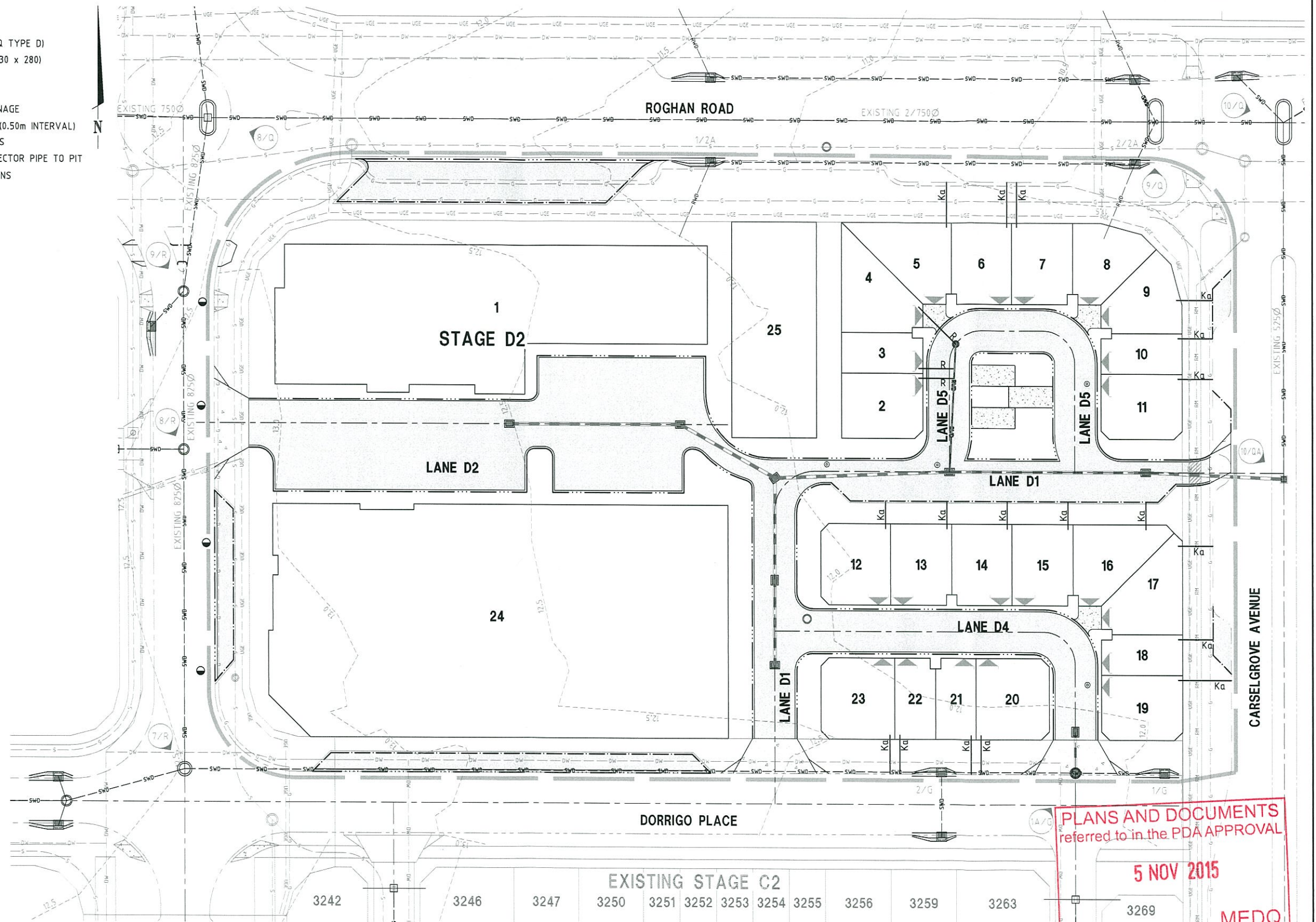
B13179-SK100

ISSUE

LEGEND

- PROPOSED STAGE BOUNDARY
- PROPOSED KERB ONLY (IPWEAQ TYPE D)
- PROPOSED EDGE RESTRAINT (230 x 280)
- PROPOSED CONCRETE INVERT
- EXISTING KERB AND CHANNEL
- PROPOSED STORMWATER DRAINAGE
- EXISTING SURFACE CONTOURS (0.50m INTERVAL)
- KERB ADAPTOR - REFER NOTES
- 150Ø UPVC ROOFWATER CONNECTOR PIPE TO PIT
- INDICATIVE DRIVEWAY LOCATIONS

K
R



PLANS AND DOCUMENTS
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5 NOV 2015

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C				
D				
E				
F				

DESIGN CHECK	DRAWN CHECK

SCALE (METRES)
1:250 5 0 5 10 A1
1:500 5 0 5 10 A3

MICROFILM No.
PROJECT No.
B13179

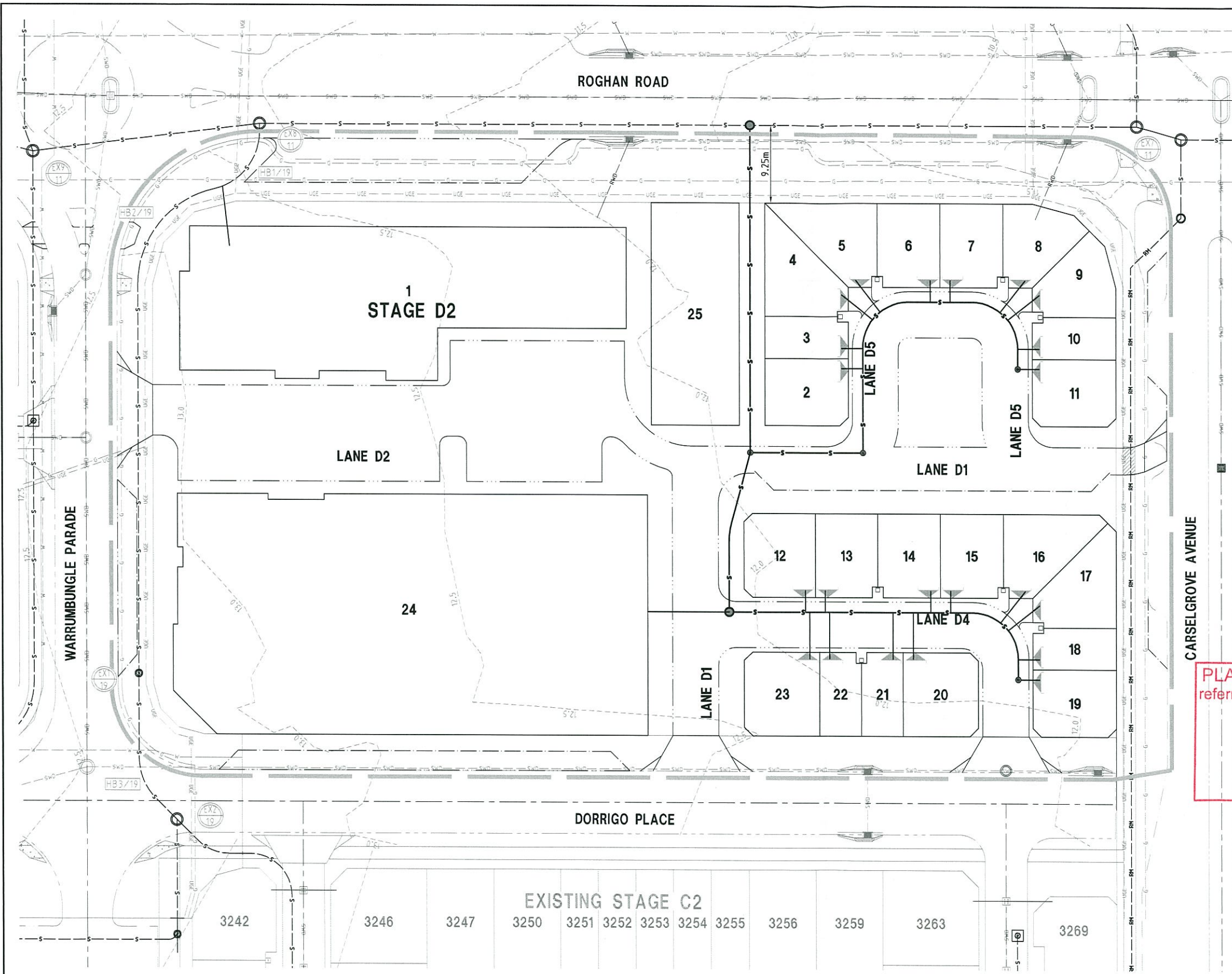
SURVEYOR: LAND PARTNERS LIMITED
Level 3, 40 McDougall Street, Milton QLD 4064
Ph (07) 3842 1007 Fax (07) 3842 1001
APPROVED
MATTHEW HILL RPEQ 11578
FOR & ON BEHALF OF CALIBRE CONSULTING (QLD) PTY LTD

CLIENT
DSDIP - ECONOMIC DEVELOPMENT QLD
PROJECT
FITZGIBBON CHASE STAGE D2 ROGHAN ROAD, FITZGIBBON

calibre CONSULTING

CONSULT AUSTRALIA
Calibre Consulting (QLD) Pty Ltd Ground Floor, 545 Queen Street, Brisbane, QLD Australia 4000 Telephone 07 3895 3444 Facsimile 07 3895 3400 Brisbane Cairns Melbourne Sydney Singapore Sunshine Coast

DRAWING TITLE
ROADWORKS AND DRAINAGE LAYOUT PLAN
DRAWING NUMBER
B13179-SK101
ISSUE



- LEGEND**
- PROPOSED STAGE BOUNDARY
 - PROPOSED SEWERAGE RETICULATION
 - EXISTING SEWERAGE RETICULATION
 - EXISTING SURFACE CONTOURS (0.5m INTERVAL)
 - DESIGN SURFACE CONTOURS (0.1m INTERVAL)
 - PROPOSED STORMWATER DRAINAGE
 - EXISTING STORMWATER DRAINAGE
 - PROPOSED DRINKING WATER RETICULATION
 - PROPOSED NON-DRINKING WATER RETICULATION
 - EXISTING DRINKING WATER RETICULATION
 - EXISTING NON-DRINKING WATER RETICULATION
 - EXISTING GAS LINE
 - EXISTING ENERGEX LINE UNDERGROUND
 - ALLOTMENT CONTROL POINT
 - FINISHED SURFACE LEVEL
 - INDICATIVE DRIVEWAY LOCATIONS
- X 12.400

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

5 NOV 2015

MEDQ

CONCEPT PLAN ONLY
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FILE: B13179-203.dwg DATE: 08-10-2014 TIME: 13:29
Xref's: X_B13179_BASE X_B13179_TITLE X_B13179_BASE_ETS X_B13179_CONTS USR: Ryan Bulmer

FIRST	CALCS	DRAWN	DATE	AMENDMENT DETAILS
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DESIGN CHECK

DRAWN CHECK

SCALE (METRES)

1:250 5 0 5 10 A1

1:500 A3

MICROFILM No.

PROJECT No.

B13179

SURVEYOR: LAND PARTNERS LIMITED
Level 3, 40 McDougall Street, Milton QLD 4064
Ph (07) 3842 1007 Fax (07) 3842 1001

APPROVED

MATTHEW HILL RPEQ 11578

FOR & ON BEHALF OF CALIBRE CONSULTING (QLD) PTY LTD

CLIENT

DSDIP - ECONOMIC DEVELOPMENT QLD

PROJECT

**FITZGIBBON CHASE
STAGE D2
ROGHAN ROAD, FITZGIBBON**

calibre
CONSULTING

CONSULT AUSTRALIA

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Ground Floor, 545 Queen Street, Brisbane, QLD Australia 4000
Telephone: 07 3895 3444 Facsimile: 07 3895 3400
Brisbane Canberra Melbourne Sydney Singapore Sunshine Coast

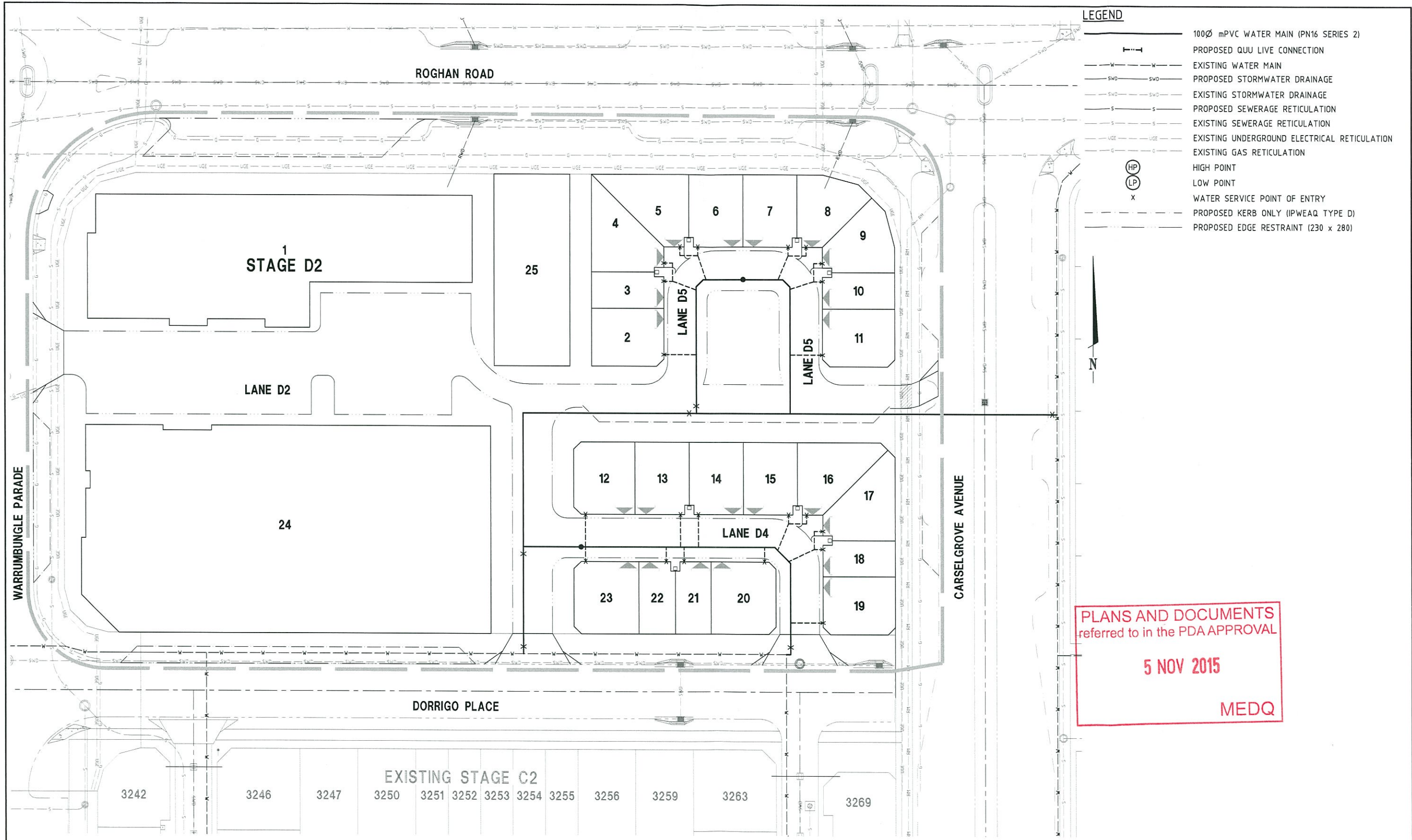
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**SEWER RETICULATION
LAYOUT PLAN**

DRAWING NUMBER

B13179-203

ISSUE



FILE: B13179-SK103.dwg DATE: 30-07-2015 TIME: 15:58
Xref's: X_B13179_BASE X_B13179_TITLE X_B13179_BASE_ETS USR: Nathan Taylor

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B										1:500				FOR & ON BEHALF OF CALIBRE CONSULTING (QLD) PTY LTD		PROJECT							
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APPROVED

MATTHEW HILL RPEQ 11578

FOR & ON BEHALF OF CALIBRE CONSULTING (QLD) PTY LTD

calibre CONSULTING

CONSULT AUSTRALIA

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Telephone: 07 3895 3444 Facsimile: 07 3895 3400
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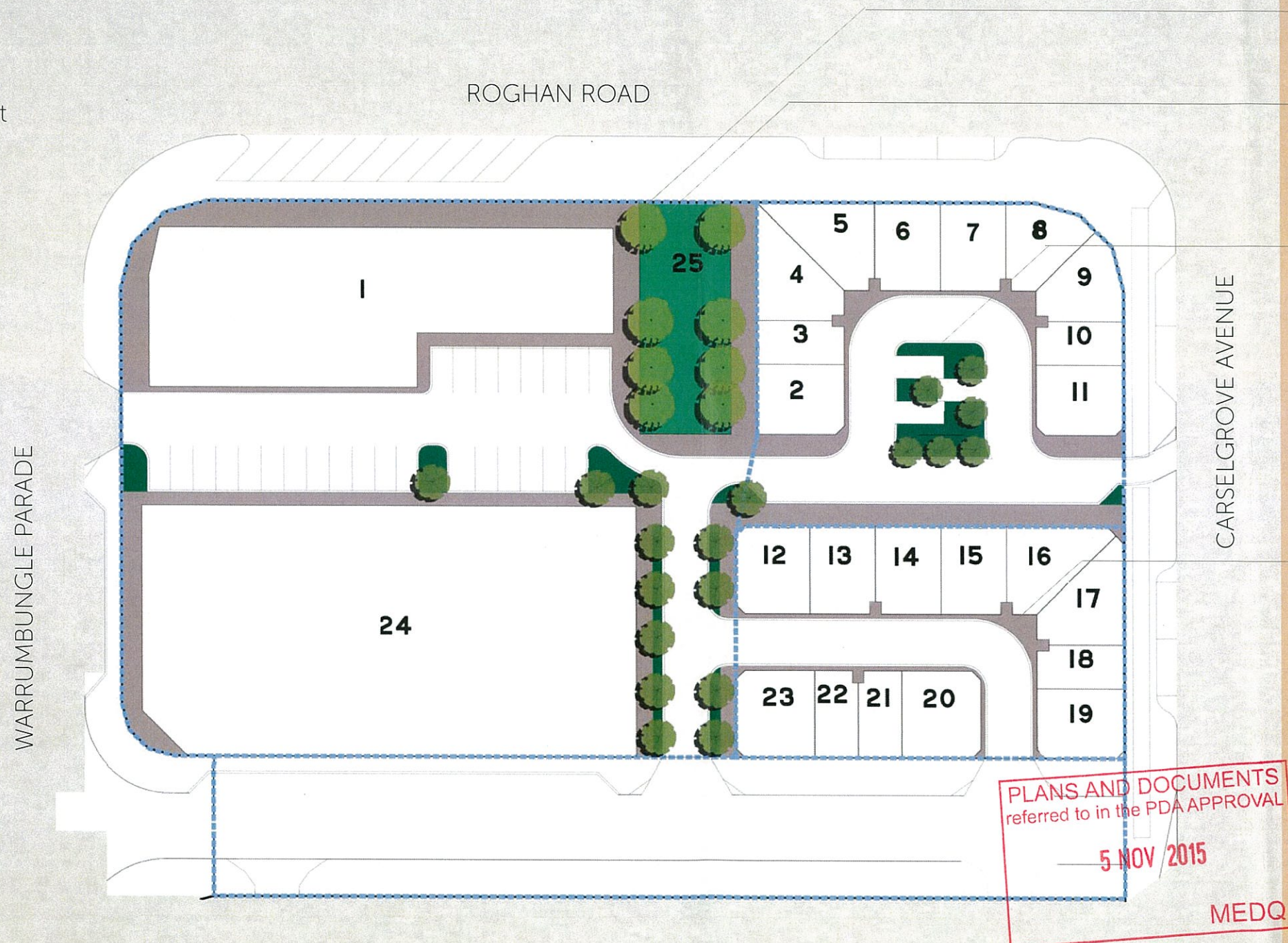
QUALITY SYSTEM

Quality Endorsed Company
ISO 9001
LIC 40284

Site Plan/ Concept

LEGEND

-  Decorative Pavement
-  Park Area
-  Planting



Outdoor eating area/ Space for 'pop up' shops or coffee stands

Pocket Park
Formal park space containing urban artwork and seating. Subject to further design development. (Opportunity for 'pop up' shops)

Planting and small trees to parking islands, subject to final service locations.

Decorative pavement treatments designed to assist with readability and wayfinding.

Planting Palette

Typical Plant Schedule

Botanical name

Common name

Park Trees

Brachychiton acerifolius

Illawarra Flame Tree

Cupaniopsis anacardioides

Tuckeroo

Elaeocarpus eumundii

Smooth-leaved Quandong

Elaeocarpus obovatus

Hard Quandong

Flindersia australis

Crows Ash

Lophostemon confertus

Swamp Brush Box

Waterhousia floribunda

Weeping Lilly Pilly

Laneway Trees

Backhousia citrodora

Lemon Scented Myrtle

Grevillea baileyana

White Oak

Hymenosporum flavum

Native Frangipani

Syzygium Pinnacle

Narrow Lilly Pilly

Xanthostemon chrysanthus

Golden Penda

Groundcovers

Cordyline fruticosa

Red Ti Plant

Dietes bicolor

African Iris

Dietes grandiflora

Wild Iris

Gossia dulcis (austromyrtus)

Midyim Berry

Hymenocallis littoralis

Spider Lily

Liriope Evergreen Giant

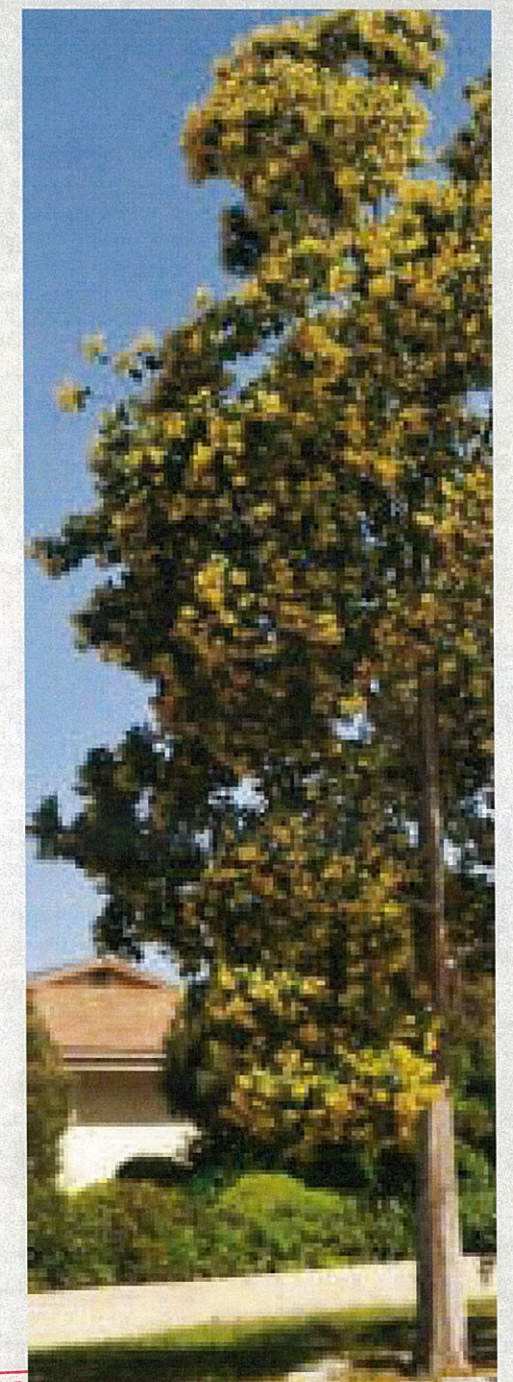
Lily Turf

Philodendron Xanadu

Xanadu

Myoporum parvifolium

Coastal Myoporum



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5 NOV 2015

MEDQ