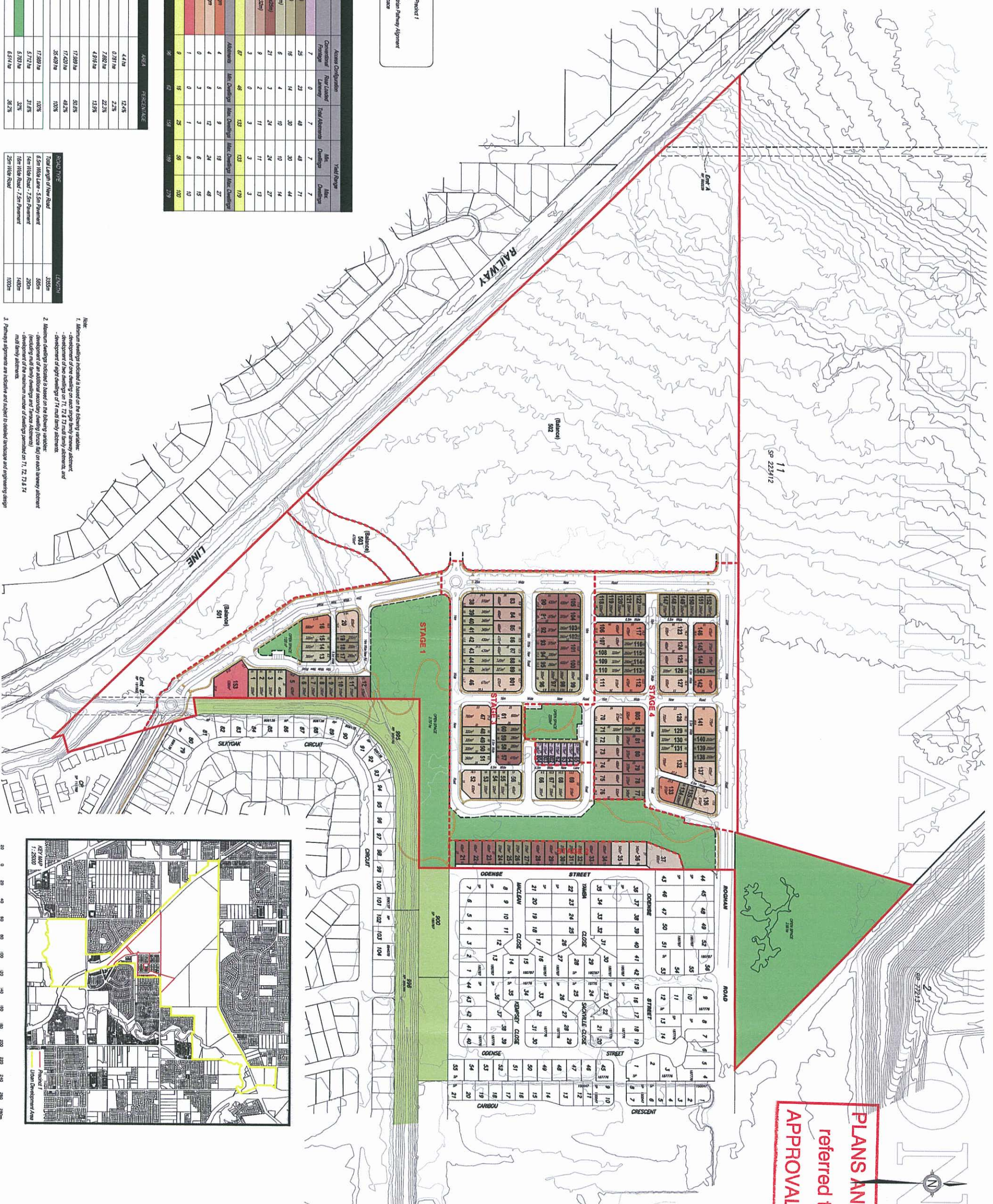




2017 ELECTION STATISTICS									
Candidate	Admitted Type	Account Configuration	Contractual Fees/Type	Raw Loaded Latency	Total Admissions	Total Range			
						Min. Discharge	Max. Discharge		
Signal Family Discharge			7	0	7	7	7		
Trained Admitted (12500)			25	23	48	48	71		
Non Admitted Type 1 (10000)			16	14	30	30	44		
Non Admitted Type 2 (10000)			6	4	10	10	14		
Non Admitted Type 3 (125000)			21	2	24	24	27		
Contract Admitted Type 1 (10000)			9	2	11	11	13		
Trained Admitted			3	0	3	3	3		
Solo Total			67	46	113	113	179		
Multi-Family Discharge									
Type 1 Admitted 40000-50000			4	5	9	19	27		
Type 2 Admitted 80000-90000			0	3	3	6	15		
Type 3 Admitted 750000			1	0	1	8	10		
Type 4 Admitted 1000000			9	16	25	59	100		
Solo Total			16	25	41	96	178		

ANALYST SUBJECT	AGE	PERCENTAGE
Product 1		
Step 1	4.4%a	12.4%
Step 2	0.78%a	2.3%
Step 3	7.88%b	22.3%
Step 4	4.9%a	15.5%
Sub-Total - Application 1	17.88%a	52.5%
Total Balance - Application 1	17.40%a	48.2%
TOTAL PRESENTMENT	35.49%a	100%
Application 1 new	17.88%a	100%
Total view of New Product	5.71%a	31.8%
Total Open Sales	5.78%a	30%
Total view of Advertisements	5.51%a	30.5%

ROAD TYPE	LENGTH
Total Length of New Road	3355m
8.5m Wide Lane - 5.5m Pavement	555m
14m Wide Road - 7.5m Pavement	290m
16m Wide Road - 7.5m Pavement	1420m
25m Wide Road	1000m

1. Minimum *swings* indicated is based on the following variables:
 - development of one *swing* on each single family *swings* element;
 - development of two *swings* on T1, T2, T3 and family *swings* element;
 - development of eight *swings* of T4 and family *swings* element.
2. Maximum *swings* indicated is based on the following variables:
 - development of an additional *swings* *swings* (two *swings*) on each *swings* element (including full family *swings* and family *swings* element);
 - development of the maximum number of *swings* possible on T1, T2, T3, T4 and family *swings* element.
3. Pathways *swings* are indicative and subject to related *swings* and sequencing design.

REVISION

E: Remember to add new pavements, pathways car parks & parking - stage 1.

F: Update Contours

G: Add Approved Road Names

H: Add 1, 1a to Stage 4/Change Roundabout to T Intersection

I: Amend Stage Boundary of Stages 3 & 4

J: Amend Lots Stage 4

K: Amend Lots 106-111 (Stage 4)

L: Update stats and notes

PLANS AND DOCUMENTS referred to in the ULDA APPROVAL dated 7 / 6 / 19

Note
All dimensions and areas are approximate only, and are subject to survey and appropriate approvals.
Dimensions have been rounded to the nearest 0.1 metres.
The boundaries shown on this plan should not be used for final detailed engineers design.

Yields indicated for multi family dwellings are preliminary only and subject to detailed built form design.

This plan was for subdivision approval only. Operational works drawings completed by the engineer and landscape architect will have more finalised details in regard to pathways, pavement and parking detail as well as landscape intent.

CLIENT	URBAN LAND DEVELOPMENT AUTHORITY
PROJECT	PROPOSED SUBDIVISION

ALLOTMENT LAYOUT
APPLICATION 1
253 TELEGRAPH ROAD
FITZGIBBON
LOT 10 ON SP 223412

Level Datum	
Origin	
Date	23 APRIL 2010
Comp Sp.	WMMKCHGC
DWG Name	22143-71-PROP
Local Authority	URBAN LAND DEVELOPMENT AUTHORITY
Locality	FITZSABBON

Job Reference	22143	Sheet	A1
Scale	1:2000	Rev	1
Plan Ref	22743-71		



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info@orboda.com.au

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Drawing 1 of 7

Dated Received 21/5/10

lane1 Tamborine

TAMBORINE

LANE

AMENDED IN RED
2 JUN 2010
BY Neil Tan (name)
of the ULDA

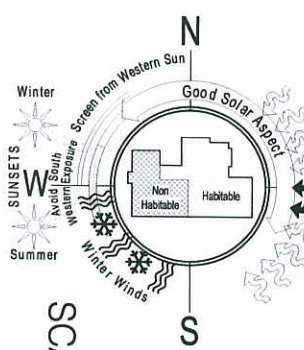
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MOORINYA PARKWAY

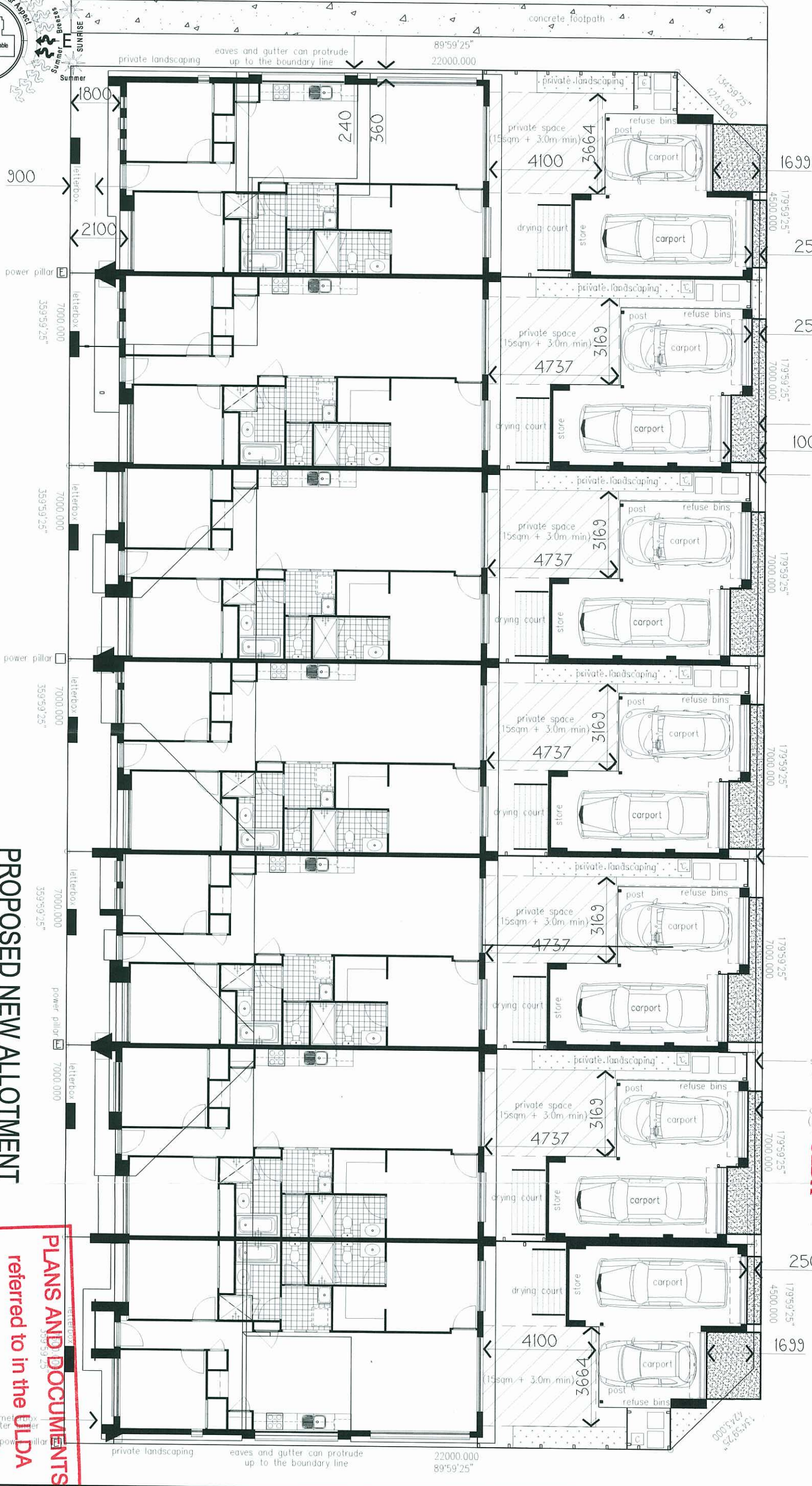
PROPOSED NEW ALLOTMENT
DWELLING CONFIGURATION

Lots 62 to 65 & 802 to 804 TAMBORINE LANE
Fitzgibbon Chase Stage 3 (C1311-10-0)

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 7/6/10



SCALE 1:100 @ A2



NOTES:

1. bathroom vanity to be hard against tiled hob & water-proofed; ensuite vanity to be hard against internal stud wall.
 2. laundry tub to be hard against internal stud wall.
 3. for additional dimensions refer dwg 8
 4. toilet pans to be positioned 465mm to centre, off stud wall.
 5. 1200x300 tiled shower to bathroom
 6. 1530x300 tiled shower to ensuite
 7. tiled island hob to u/side of bath lip (840w)
 8. 300Hx230Lx180D recess with mdf insert & 230D head over
 9. 2/75x150x4.0mm galv RHS columns from footing to u/side of truss tails & above
 10. 350x1010 engaged brick pier either side of dwelling that spans across the boundary with appropriate joint system
- denotes exhaust fan/light/heater (2off)
denotes exhaust fan/light (1 off) internal wc & 1' dry in accordance with BCA 3.8.5 Ventilation
denotes smoke detector (2off)
dp denotes 90mm PVC downpipes
dp# denotes downpipe to connect to rainwater tank
CJ denotes brick construction joint. position where shown and as designed by engineer

MAIN DWELLING
2530 CEILING HEIGHT
2310 JOINERY HEIGHT

AMENDED IN RED
2 JUN 2010

By: Mat Toes (name)
of the ULDA

ENERGY EFFICIENCY REQUIREMENTS	
11 R2.5 batts to ceiling	
21 Sarking to all external walls	
31 Sarking to entire roof	

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Client
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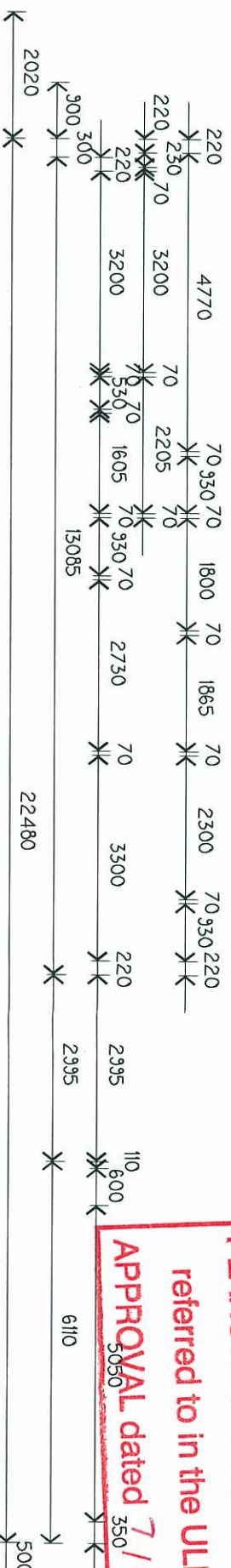
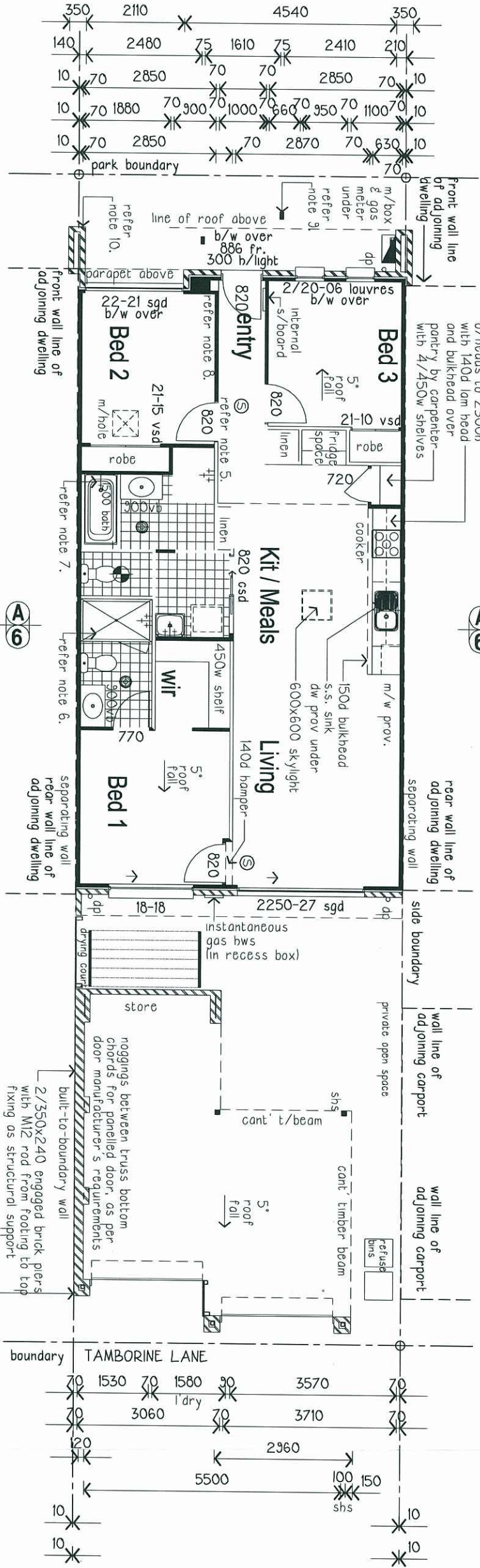
Job Address
Lots 62-65+802-804
Tamborine Lane
Fitzgibbon Chase St 3
Fitzgibbon 4018

Specification
Ambassador
n/a

Site Description
Lot No : Lots 62-65+802-804
RPD : C1311-10-0
Parish of : Nundah
County of : Stanley
Land Area: 1241sqm.

Local Authority
Brisbane City Council

Wind Category
W33N / N2
Scale
1 : 100
Drawn
mat 17-03-10
Ext.
0672



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 7/6/10

AREA CALCULATIONS	
Ground Floor Area	93.38sqm
Carport Area	30.33sqm
Parkside Extended Eave Area	1.27sqm
Allotment Area	175.00sqm
Total Area	124.98sqm
Site Cover as per ODC	71.42%

Job No.	Dwg No.
62-65+802-804tam_p	2 of 9

Initials	Date	Description

1. bathroom vanity to be hard against tiled hob & water-proofed; ensuite vanity to be hard against internal stud wall.
2. laundry tub to be hard against internal stud wall.
3. for additional dimensions refer dwg 8
4. toilet pans to be positioned 465mm to centre, off stud wall.
5. 1200x300 tiled shower to bathroom
6. 1530x300 tiled shower to ensuite

7. tiled island hob to u/side of bach lip (B40w)
8. 300h x 230L x 160D recess with mdf insert & 230D head over
9. 2175 x 150 x 4.0mm galv RHS columns from footing to u/side of truss tails & above
10. 350x100 engaged brick pier either side of dwelling that spans across the boundary with appropriate joint system

-  denotes exhaust fan/light/heater (20ft)
-  denotes exhaust fan/light (1 aft)
-  internal wc. & 1d'y in accordance with BCA 3.8.5 Ventilation
-  denotes smoke detector (20ft)
-  dp denotes 90mm PVC downpipes
-  dp# denotes downpipe to connect to rainwater tank
-  CJ denotes brick construction joint, position where shown and as designed by engineer

MAIN DWELLING 2530 CEILING HEIGHT 2310 JOINERY HEIGHT	CARPORT 2530 CEILING HEIGHT 2310 JOINERY HEIGHT
---	---

2 JUN 2010

By: Matt Teer (name)
of the ULDA

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300
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referred to in the ULDA

~~APPROVAL~~ dated 7/6/10

Client
Ausbuild P/L

Job Address

**Lots 62-65+802-804
Tamborine Lane
Fitzgibbon Chase St 3
Fitzgibbon 4018**

Specification

Ambassador

n/a

Site Description

Lot No : Lots 62-65+802-804
RPD : C1311-10-0
Parish of : Nundah
County of : Stanley
Land Area: 1241sqm.

Local Authority
Brisbane City Council

<u>Wind Category</u>	<u>Scale</u>
1	1
2	2
3	3
4	4
5	5
6	6
7	7
8	8
9	9
10	10
11	11
12	12

W33N / N2 1 : 100

<u>Drawn</u>	<u>Ext.</u>
mat 17-03-10	0672

AREA CALCULATIONS

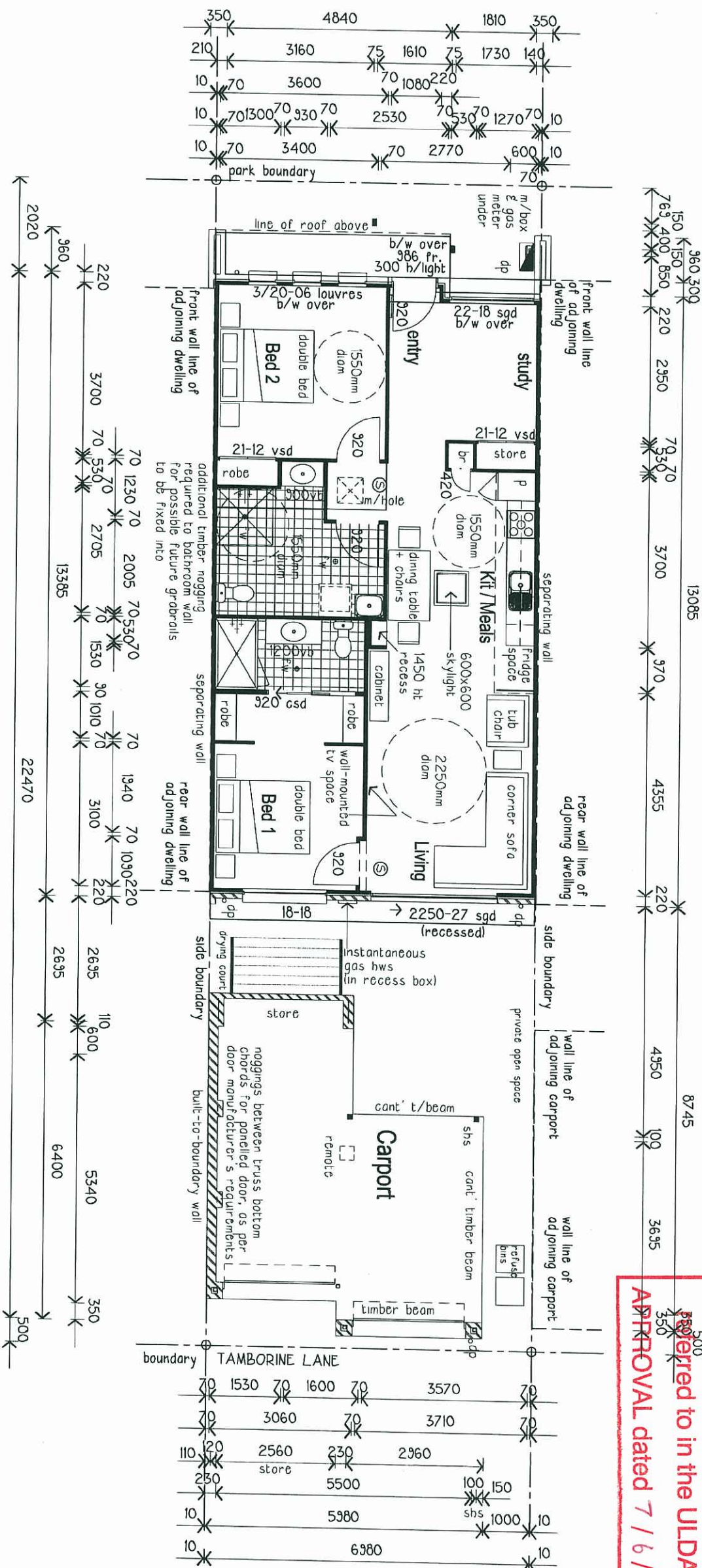
Ground Floor Area	93.47sqm
Carport Area	32.33sqm
Park-side Extended Eave Area	1.27sqm
Total Area	127.07sqm
Allotment Area	175.00sqm
Site Cover as per QDC	72.61%

ACCESSIBLE HOUSING DESIGN LAYOUT OPTION

INTERNAL LAYOUT OF BATHROOM/LAUNDRY/ENSUITE/WIR
TO BE REVISED AT A LATER DATE TO PROVIDE
ENHANCED ACCESSIBILITY

Floor Plan

TERRACE DWELLINGS



62-65+802-804tam_p

Drawing 3057 Date Received 2/5/10.

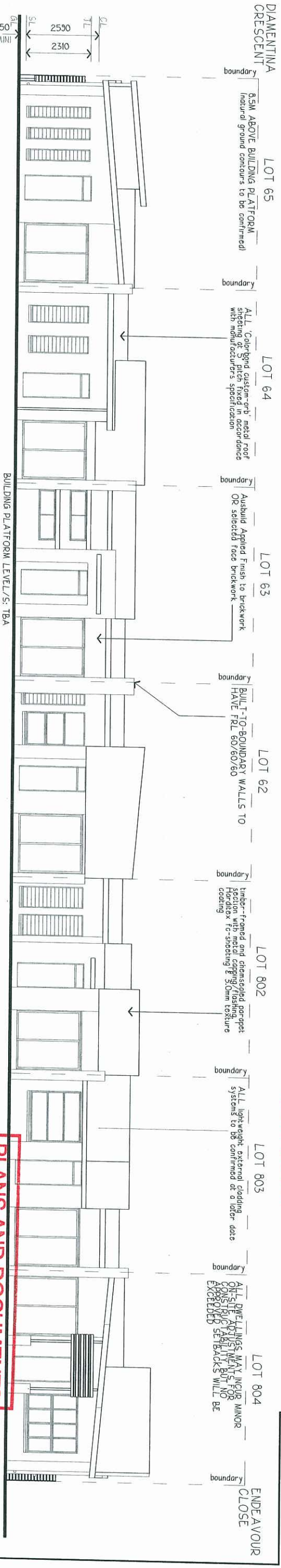
Drawing 4 of 7 Received 21/5/10

A MENDED IN RED
2 JUN 2010

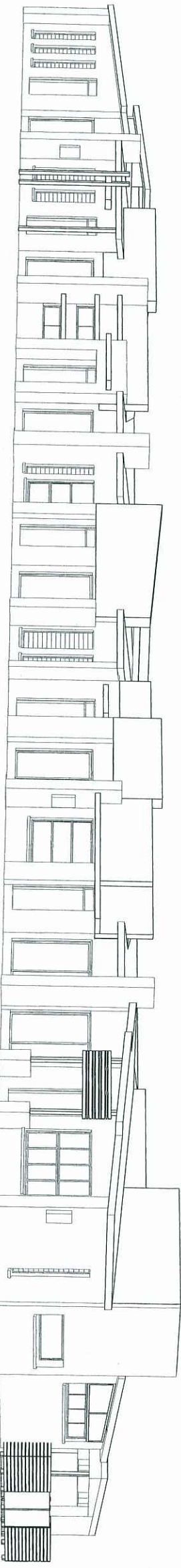
By: Mick Tegen (name)
of the ULDA

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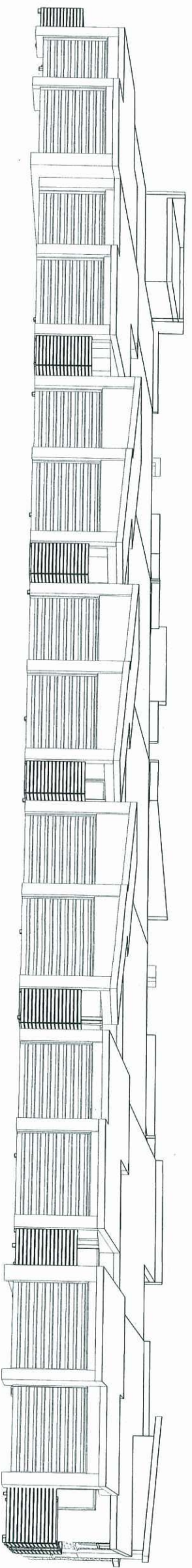
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PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 7 / 6 / 10



PERSPECTIVE VIEW FROM PARK



PERSPECTIVE VIEW FROM DIAMENTINA CRESCENT

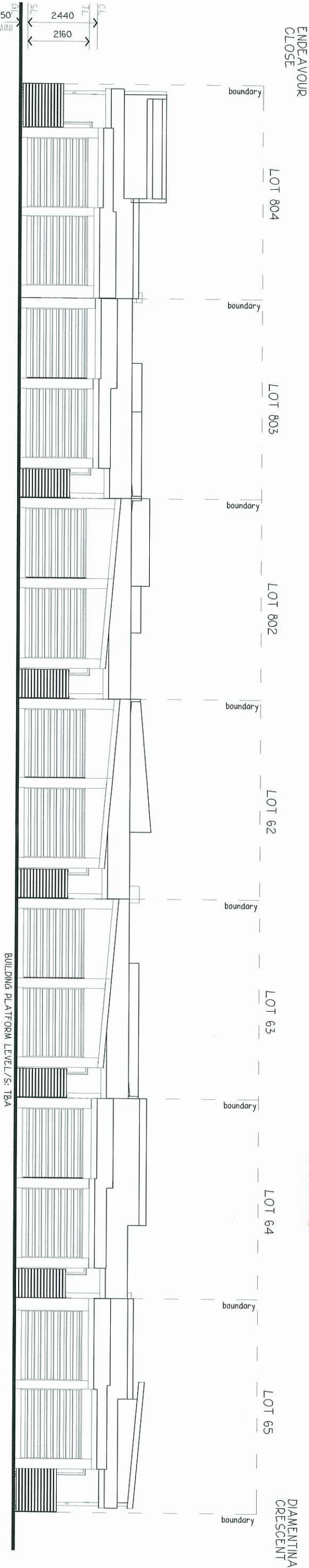
Client <i>Ausbuilt</i>		Job Address Lots 62-65+802-804 Tamborine Lane Fitzgibbon Chase St 3 Fitzgibbon 4018	
Specification Ambassador n/a		Site Description Lot No : Lots 62-65+802-804 RPD : C1311-10-0 Parish of : Parish of Nundah County of : County of Stanley Land Area: total 1241sqm	
Local Authority Brisbane City Council		Wind Category W33N / N2	
Drawn mat 20-04-10		Scale 1:100@A2	
Ext. 0672		TERRACE DWELLINGS	
Supplemental Elevations		Job No. Dwg No.	
A		31/5/10 View Titles Amended	
A mt Date		Description	

Drawing 5 of 7 Date 1/6/10
Received 1/6/10

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2 JUN 2010
By: Mark Tegen (name)
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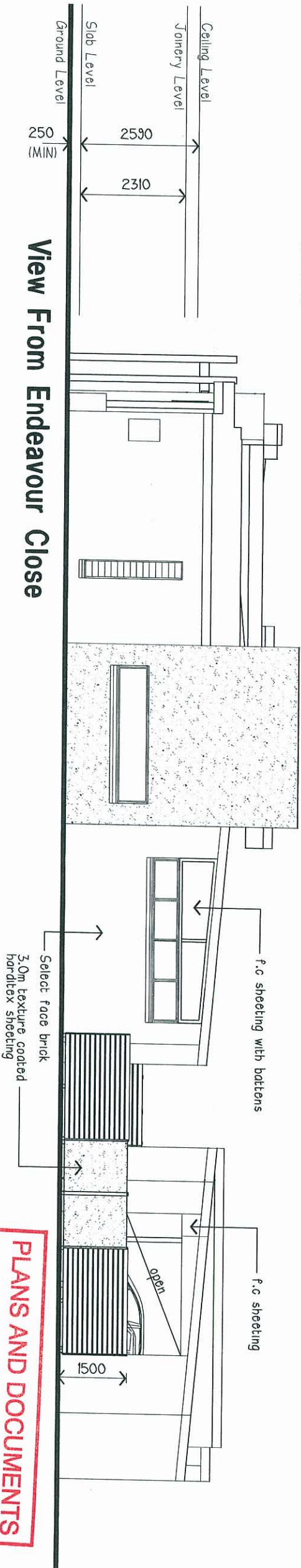
PLANS AND DOCUMENTS
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Local Authority Brisbane City Council		Wind Category W33N / N2	
Drawn mat 20-04-10		Ext. 0672	
Supplemental Elevations		TERRACE DWELLINGS	



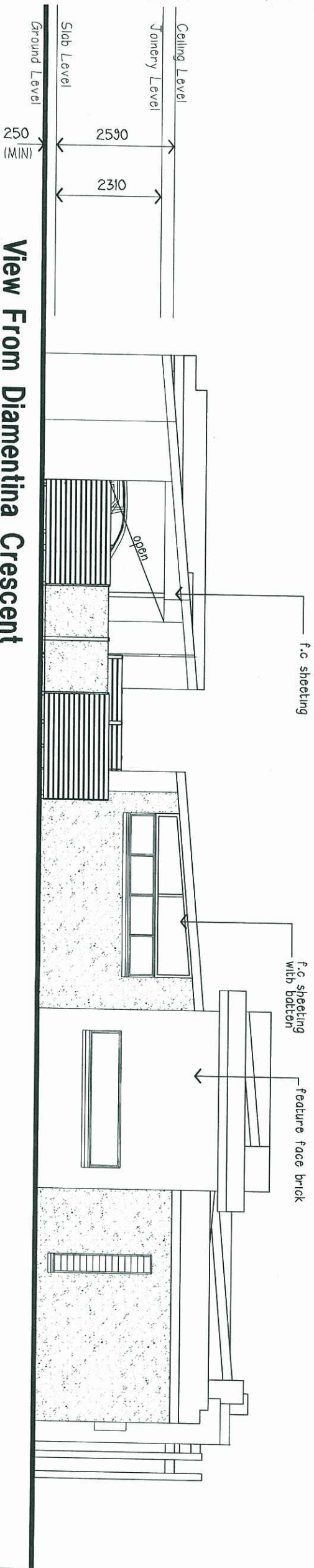
Denotes Ausbuild Applied
Finish to brickwork

View From Endeavour Close



PLANS AND DOCUMENTS
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View From Diamantina Crescent



Drawing 6 of 7
31/5/10
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Job Address
Lots 62-65+802-804
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Fitzgibbon Chase St 3
Fitzgibbon 4018

Specification
Ambassador
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Site Description
Lot No : Lots 62-65+802-804
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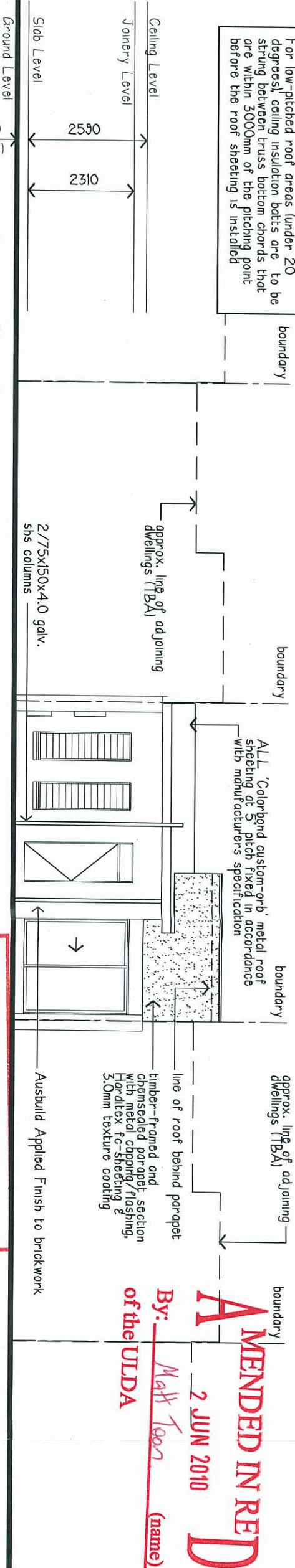
Local Authority
Brisbane City Council

Wind Category
W3N / N2
Scale
1 : 100

Drawn
mat 17-03-10
Ext.
0672

Alt Initials	Date	Description

For low-pitched roof areas (under 20 degrees), ceiling insulation batts are to be strung between truss bottom chords that are within 3000mm of the pitching point before the roof sheeting is installed



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 2 JUN 2010
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County of : Stanley
Land Area: 1241sqm.

Local Authority

Brisbane City Council

Wind Category Scale

W33N / N2 1 : 100

Drawn Ext.

mat 17-03-10 0672

[illegible]

Typical Elevations

TERRACE DWELLINGS

Front Elevation

Rear Elevation

Left Side Elevation

Right Side Elevation

PLANS AND DOCUMENTS

referred to in the ^{boundary}UDDA

APPROVAL dated 7/6/10