

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 8/4/10

REVISION
E: Renumber lots & add new pavements, pathways
car parks & parkland -stage 1.
F: Update Contours
G: Add Approved Road Names
H: Add 1 Lot to Stage 4/Change Roundabout to
T Intersection
I: Amend Stage Boundary of Stages 3 & 4

Note
All dimensions and areas are
approximate only, and are subject to
survey and appropriate approvals.
Dimensions have been rounded to
the nearest 0.1 metres.
The boundaries shown on this plan
should not be used for final detailed
engineers design.
Yields indicated for multi family
dwellings are preliminary only and
subject to detailed built form design.
6.5m wide new lanes indicate two
way movement.
Contours have been derived from
This plan was for subdivision
approval only. Operational works
drawings completed by the engineer
and landscape architect will have
more finalised details in regard to
pathways, pavement and parking
detail as well as landscape intent.

CLIENT
**URBAN LAND
DEVELOPMENT AUTHORITY**

PROJECT
**PROPOSED
SUBDIVISION**

ALLOTMENT LAYOUT
APPLICATION 1
253 TELEGRAPH ROAD
FITZGIBBON
LOT 10 ON SP 223412

Level Datum
Origin

Date 22 MARCH 2010
Comp By: WNW/KCH/GC
DWG Name: 22743-71-PROP
Local Authority URBAN LAND
DEVELOPMENT AUTHORITY
Locality FITZGIBBON
Job Reference 22743
Scale 1:2000 Sheet A1
Plan Ref 22743 - 71 Rev I



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LEGEND
Site Boundary - Precinct 1
Stage Boundary
Indicative Pedestrian Pathway Alignment
Existing Open Space

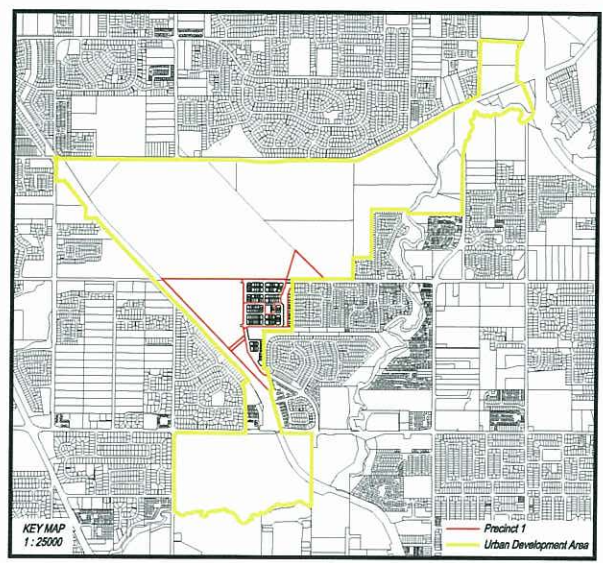
DEVELOPMENT STATISTICS			
Allotment Type	Allotments	Min. Dwellings	Max. Dwellings
Villa Allotment Type 1 (10x25m)	48	48	71
Villa Allotment Type 2 (10x32m)	29	29	39
Villa Allotment Type 3 (12.5x32m)	10	10	15
Courtyard Allotment Type 1 (15x25m)	26	26	33
Courtyard Allotment Type 2 (15x32m)	12	12	17
Traditional Allotment	4	4	4
Sub Total	129	129	179
Multi-Family Dwellings			
Allotments	Min. Dwellings	Max. Dwellings	
Type 1 Allotment 450sqm-599sqm	9	18	27
Type 2 Allotment 600sqm-749sqm	12	24	48
Type 3 Allotment 750sqm+	3	6	15
Type 4 Allotment 1200sqm+	1	8	10
Sub Total	25	56	100
Total	154	185	279

LAND USE BUDGET	AREA	PERCENTAGE
Precinct 1		
Stage 1	4.4 ha	12.4%
Stage 2	0.781 ha	2.2%
Stage 3	7.892 ha	22.3%
Stage 4	4.916 ha	13.9%
Sub-Total - Application 1	17.989 ha	50.8%
Total Balance Allotments	17.420 ha	49.2%
TOTAL PRECINCT 1	35.409 ha	100%

Application 1 Area		100%
Total Area of New Road	5.712 ha	31.8%
Total Open Space	5.763 ha	32%
Total Area of Allotments	6.514 ha	38.2%

ROAD TYPE	LENGTH
Total Length of New Road	3355m
6.5m Wide Lane - 5.5m Pavement	585m
14m Wide Road - 7.5m Pavement	290m
16m Wide Road - 7.5m Pavement	1480m
25m Wide Road	1000m

Note:
1. Minimum dwellings indicated is based on the following variables:
- development of one dwelling on each single family laneway allotment,
- development of two dwellings on T1, T2 & T3 multi family allotments, and
- development of eight dwellings of T4 multi family allotments.
2. Maximum dwellings indicated is based on the following variables:
- development of an additional secondary dwelling (for use as a flat) on each laneway allotment
(excluding multi family dwellings)
- development of the maximum number of dwellings permitted on T1, T2, T3 & T4
multi family allotments.
3. Pathways alignments are indicative and subject to detailed landscape and engineering design



20 0 20 40 60 80 100 120 140 160 180 200 220 240 260 280m

SITE SETBACK TABLE	Villa Allotments 10m Frontage		Villa Allotments 12.5m Frontage		Courtyard Allotments 15m Frontage		Traditional Allotments 20m + Frontage		Multi-Family Dwellings	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	3.0m	3.0m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m	1.0m	2.0m
Side - General Lots										
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	n/a	n/a	n/a	n/a
Non Built to Boundary	0.75m	0.9m	1.0m	1.0m	1.0m	1.5m	1.2m	2.0m	1.0m	1.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	3.0m	3.0m	3.0m	3.0m
Laneway Lots										
Rear of Lot (from laneway boundary)	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.0m	1.0m

NOTES -

General:

1. All development inclusive of single and multi-family allotments is to be undertaken in accordance with the Development Approval.

2. Maximum Building Location Envelopes shown are subject to future proposed easements and/or underground services or trees identified for retention.

3. Fonzie Flats* are permissible over garages on Laneway Allotments.

4. The maximum height of buildings shall not exceed 3 storeys.

Orientation:

5. Entries - Front doors of dwellings are to address the Primary Street Frontage identified on the Site Development Plan.

6. Where Multi Family Allotments encompass more than one frontage they are to be designed to address (entries) each street frontages.

7. Fonzie Flat entries may be located off the adjoining Laneway.

8. Letter boxes should be located in close relationship to the front entry.

Setbacks:

9. Setbacks are as per the Site Development Table unless otherwise specified.

10. Built to boundary walls are recommended where road frontage widths are less than 15 metres. Built to boundary walls are optional for lots with road frontage widths equal or in excess of 15 metres, where Built to Boundary walls are not adopted side setbacks shall be in accordance with the Site Setback Table.

11. Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.

12. Boundary setbacks are measured to the walls of the structure.

13. Eaves should not encroach (other than where buildings are built to a zero lot line) closer than 300mm to the lot boundary.

14. Second floor on single and multi-family allotments must be built to meet the minimum first floor setbacks.

Parking:

15. Minimum off-street parking requirements

Studio & 1 bed dwellings - 1 space per dwelling

Other - 2 spaces per dwelling, which may be tandem spaces.

It is a requirement that at least one space per dwelling be in the form of a garage.

16. Conventional allotments (not Laneway allotments) with a frontage of less than 12.5 metres are to have tandem parking with a setback from the property boundary to the garage of 5.5 metres. Double width garages are not permitted.

17. Parking spaces on driveways do not have to comply with gradients in AS2890.

18. Garages served off a Laneway must be built to meet the minimum 1.0 metre Rear Setback.

Site Cover and Amenity:

19. Site cover for each lot is not to exceed 70% of the lot.

20. Private amenity space accessible from the ground floor dwellings must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments/units (including Fonzie flats) above ground level must not be less than 9sqm which may be in the form of a balcony with a minimum dimension of 1.8m.

Multi Family Dwellings

21. Multi Family Dwelling allotments are not permitted to be developed with only one single family dwelling.

22. Type 1 (T1) 450m² - 599m² - maximum 3 dwellings

Type 2 (T2) 600m² - 749m² - maximum 4 dwellings

Type 3 (T3) 750m² + - maximum 5 dwellings

Fencing

23. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2m in height.

24. Fencing on all Primary Park Frontages to be either 50% transparent or not to exceed 1.2m in height.

Energy

25. All dwellings to have a minimum energy rating of 6 stars under NatHERS.

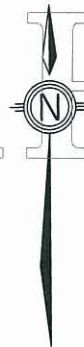
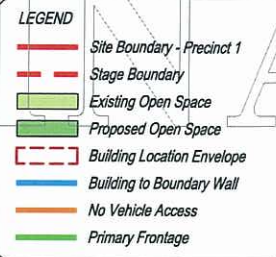
Definitions:

Fonzie Flat - A secondary dwelling built above a garage with its own entrance door at ground level.

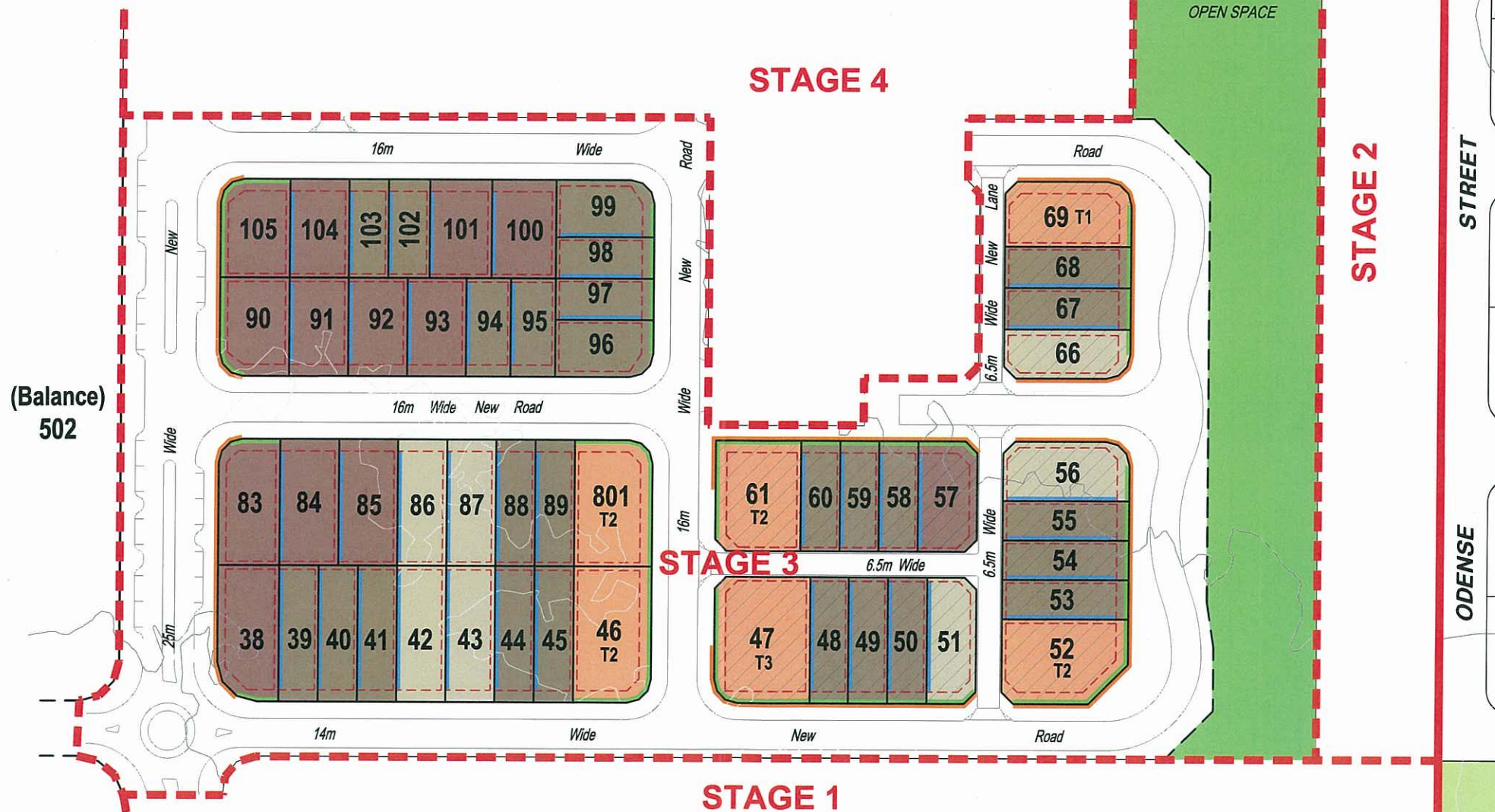
Studio Dwelling - Dwelling (usually apartment) in which the living area and bedroom are combined within a single space.

Note

This plan was for subdivision approval only. Operational works drawings completed by the engineer and landscape architect will have more finalised details in regard to pathways, pavement and parking detail as well as landscape intent.



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 8/4/10



Note

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

The boundaries shown on this plan should not be used for final detailed engineers design.

REVISION

D: Renumber lots & add new pavements, pathways car parks.

E: Update Contours

F: Amend stage boundary of stages 3 & 4 and Reconfigure lots

CLIENT **URBAN LAND
DEVELOPMENT AUTHORITY**

PROJECT
**PROPOSED
DEVELOPMENT**

**SITE DEVELOPMENT
PLAN - STAGE 3
FITZGIBBON**

Level Datum

Origin

Date 23 MARCH 2010

Comp By. KCH / WW

DWG Name. 22743-71-PROP

Local Authority URBAN LAND
DEVELOPMENT AUTHORITY

Locality FITZGIBBON

Job Reference 22743

Scale 1:1000

Sheet A2

Plan Ref
22743 - 75

Rev
F



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PRELIMINARY



(Balance)
502

STAGE 3

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 8/4/10

- NOTES -**
General:
1. All development inclusive of single and multi-family allotments is to be undertaken in accordance with the Development Approval.
 2. Maximum Building Location Envelopes shown are subject to future proposed easements and/or underground services or trees identified for retention.
 3. Fonzie Flats* are permissible over garages on Laneway Allotments.
 4. The maximum height of buildings shall not exceed 3 storeys.
- Orientation:**
5. Entries - Front doors of dwellings are to address the Primary Street Frontage identified on the Site Development Plan.
 6. Where Multi Family Allotments encompass more than one frontage they are to be designed to address (entries) each street frontages.
 7. Fonzie Flat entries may be located off the adjoining Laneway.
 8. Letter boxes should be located in close relationship to the front entry.
- Setbacks:**
9. Setbacks are as per the Site Development Table unless otherwise specified.
 10. Built to boundary walls are recommended where road frontage widths are less than 15 metres. Built to boundary walls are optional for lots with road frontage widths equal or in excess of 15 metres, where Built to Boundary walls are not adopted side setbacks shall be in accordance with the Site Setback Table..
 11. Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
 12. Boundary setbacks are measured to the walls of the structure.
 13. Eaves should not encroach (other than where buildings are built to a zero lot line) closer than 300mm to the lot boundary.
 14. Second floor on single and multi-family allotments must be built to meet the minimum first floor setbacks.
- Parking:**
15. Minimum off-street parking requirements
Studio & 1 bed dwellings - 1 space per dwelling
Other - 2 spaces per dwelling, which may be tandem spaces.
It is a requirement that at least one space per dwelling be in the form of a garage.
 16. Conventional allotments (not Laneway allotments) with a frontage of less than 12.5 metres are to have tandem parking with a setback from the property boundary to the garage of 5.5 metres. Double width garages are not permitted.
 17. Parking spaces on driveways do not have to comply with gradients in AS2890.
 18. Garages served off a Laneway must be built to meet the minimum 1.0 metre Rear Setback.
- Site Cover and Amenity:**
19. Site cover for each lot is not to exceed 70% of the lot.
 20. Private amenity space accessible from the ground floor dwellings must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments/units (including Fonzie flats) above ground level must not be less than 9sqm which may be in the form of a balcony with a minimum dimension of 1.8m.
- Multi Family Dwellings**
21. Multi Family Dwelling allotments are not permitted to be developed with only one single family dwelling.
 22. Type 1 (T1) 450m² - 599m² - maximum 3 dwellings
Type 2 (T2) 600m² - 749m² - maximum 4 dwellings
Type 3 (T3) 750m² + - maximum 5 dwellings
- Fencing**
23. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2m in height.
 24. Fencing on all Primary Park Frontages to be either 50% transparent or not to exceed 1.2m in height.
- Energy**
25. All dwellings to have a minimum energy rating of 6 stars under NatHERS.
- Definitions:**
- Fonzie Flat - A secondary dwelling built above a garage with its own entrance door at ground level.
- Studio Dwelling - Dwelling (usually apartment) in which the living area and bedroom are combined within a single space.

Note
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Dimensions have been rounded to the nearest 0.1 metres.

The boundaries shown on this plan should not be used for final detailed engineers design.

REVISION

D: Renumber lots & add new pavements,pathways
car parks.

E: Update Contours

F: Add 1 Lot to Stage 4/ Change Roundabout to
T intersection

G: Amend stage boundary of stages 3 & 4

CLIENT **URBAN LAND
DEVELOPMENT AUTHORITY**

PROJECT

***PROPOSED
DEVELOPMENT***

**SITE DEVELOPMENT
PLAN - STAGE 4
FITZGIBBON**

Level Datum
Origin

Date	23 MARCH 2010
Comp By.	KCH / WW
DWG Name.	22743-71-PROP
Local Authority	URBAN LAND DEVELOPMENT AUTHORITY

Locality	FITZGIBBON
Job Reference	22743

Scale <i>1 : 1000</i>	Sheet <i>A2</i>
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Plan Ref 22743 - 72	Rev G
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LEGEND

-  Site Boundary - Precinct 1
-  Stage Boundary
-  Proposed Open Space
-  Building Location Envelope
-  Building to Boundary Wall
-  No Vehicle Access
-  Primary Frontage

Note
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SITE SETBACK TABLE	Villa Allotments 10m Frontage		Villa Allotments 12.5m Frontage		Courtyard Allotments 15m Frontage		Traditional Allotments 20m + Frontage		Multi-Family Dwellings	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	3.0m	3.0m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m	1.0m	2.0m
Side - General Lots										
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	n/a	n/a	n/a	n/a
Non Built to Boundary	0.75m	0.9m	1.0m	1.0m	1.0m	1.5m	1.2m	2.0m	1.0m	1.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	3.0m	3.0m	3.0m	3.0m
Laneway Lots										
Rear of Lot (from laneway boundary)	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.0m	1.0m