

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12/06/09

Note
All dimensions and areas are approximate only, and are subject to survey and appropriate approvals.
Dimensions have been rounded to the nearest 0.1 metres.
The boundaries shown on this plan should not be used for final detailed engineers design.
Yields indicated for multi family dwellings are preliminary only and subject to detailed built form design.
6.5m wide new lanes indicate two way movement.

AMENDMENTS
E: Renumber lots and add new pavements, pathways car parks & parkland -stage 1.

CLIENT Urban Land Development Authority
PROJECT PROPOSED SUBDIVISION

ALLOTMENT LAYOUT - APPLICATION 1
253 TELEGRAPH ROAD, FITZGIBBON
LOT 10 ON SP223412

Level Datum
Origin
Date 4 JUNE 2009
Surveyed
Comp By: WNW/KCH/GC
DWG Name: 22743-71-PROP
Local Authority: URBAN LAND DEVELOPMENT AUTHORITY
Job Reference: 22743
Scale: 1:2000 @ A1
Plan Reference: 22743-71E

CONICS
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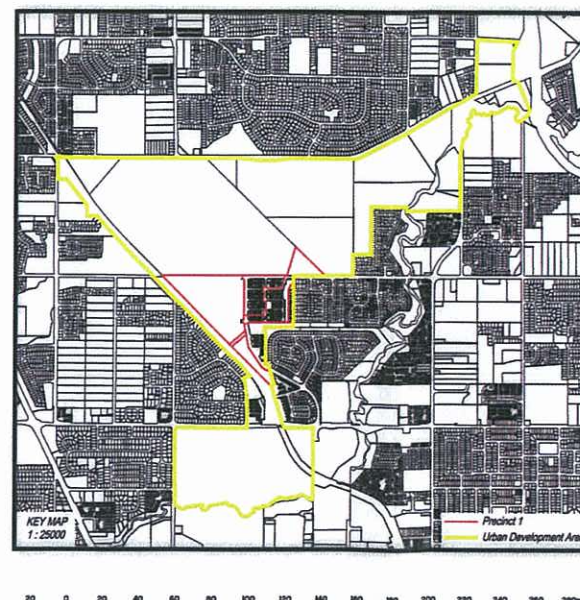
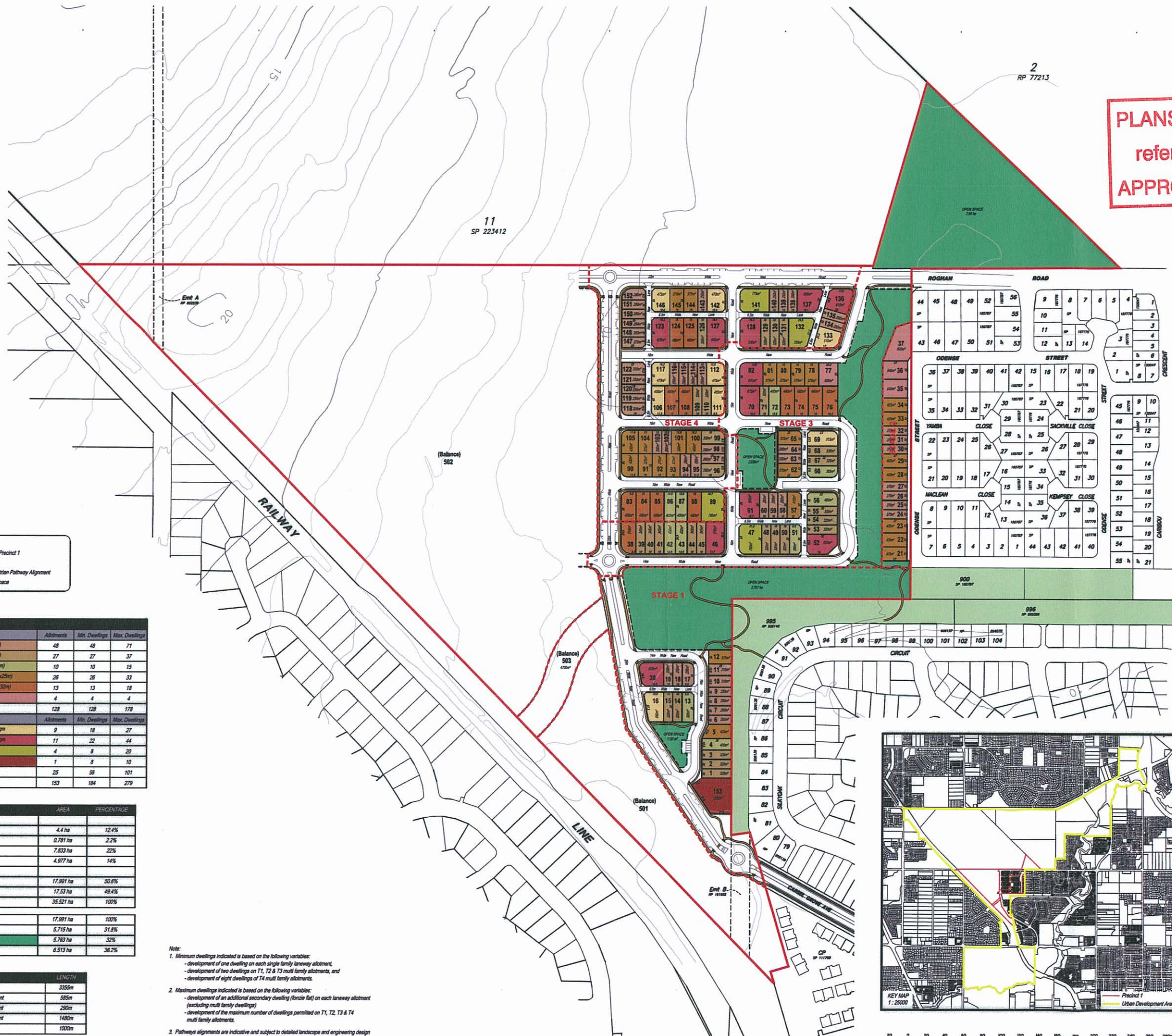
LEGEND
Site Boundary - Precinct 1
Stage Boundary
Indicative Pedestrian Pathway Alignment
Existing Open Space

Development Type	Alotments	Min. Dwellings	Max. Dwellings
Villa Allotment Type 1 (10x25m)	48	48	71
Villa Allotment Type 2 (10x30m)	27	27	37
Villa Allotment Type 3 (12.5x30m)	10	10	15
Courtyard Allotment Type 1 (15x25m)	28	28	33
Courtyard Allotment Type 2 (15x30m)	13	13	18
Traditional Allotment	4	4	4
Sub Total	128	128	178
Multi-Family Dwellings	Alotments	Min. Dwellings	Max. Dwellings
Type 1 Allotment 450sqm-599sqm	9	18	27
Type 2 Allotment 600sqm-749sqm	11	22	44
Type 3 Allotment 750sqm+	4	8	20
Type 4 Allotment 1000sqm+	1	8	10
Sub Total	25	56	101
Total	153	184	279

LAND USE BUDGET	AREA	PERCENTAGE
Precinct 1		
Stage 1	4.4 ha	12.4%
Stage 2	0.781 ha	2.2%
Stage 3	7.833 ha	22%
Stage 4	4.977 ha	14%
Sub-Total - Application 1	17.991 ha	50.6%
Total Balance Allotments	17.53 ha	49.4%
TOTAL PRECINCT 1	35.521 ha	100%
Application 1 Area	17.991 ha	100%
Total Area of New Road	5.715 ha	31.8%
Total Open Space	5.763 ha	32%
Total Area of Allotments	6.513 ha	38.2%

ROAD TYPE	LENGTH
Total Length of New Road	3355m
6.5m Wide Lane - 5.5m Pavement	585m
14m Wide Road - 7.5m Pavement	260m
18m Wide Road - 7.5m Pavement	1480m
25m Wide Road	1000m

- Note:**
- Minimum dwellings indicated is based on the following variables:
- development of one dwelling on each single family laneway allotment,
- development of two dwellings on T1, T2 & T3 multi family allotments, and
- development of eight dwellings of T4 multi family allotments.
 - Maximum dwellings indicated is based on the following variables:
- development of an additional secondary dwelling (forzie flat) on each laneway allotment (excluding multi family dwellings)
- development of the maximum number of dwellings permitted on T1, T2, T3 & T4 multi family allotments.
 - Pathways alignments are indicative and subject to detailed landscape and engineering design





LEGEND	
---	Site Boundary - Precinct 1
---	Stage Boundary
---	Existing Open Space
---	Proposed Open Space
---	Building Location Envelope
---	Building to Boundary Wall
---	No Vehicle Access
---	Primary Frontage
---	Indicative Common Access

SITE SETBACK TABLE	Villa Allotments 10m Frontage		Villa Allotments 12.5m Frontage		Courtyard Allotments 15m Frontage		Traditional Allotments 20m + Frontage		Multi-Family Dwellings	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	3.0m	3.0m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m	1.0m	2.0m
Side - General Lots										
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	n/a	n/a	n/a	n/a
Non Built to Boundary	0.75m	0.9m	1.0m	1.0m	1.0m	1.5m	1.2m	2.0m	1.0m	1.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	3.0m	3.0m	3.0m	3.0m
Lane/way Lots										
Rear of Lot (from lane/way boundary)	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.0m	1.0m

NOTES -

General:

- All development inclusive of single and multi-family allotments is to be undertaken in accordance with the Development Approval.
 - Maximum Building Location Envelopes shown are subject to future proposed easements and/or underground services or trees identified for retention.
 - Fonzie Flats* are permissible over garages on Laneway Allotments.
 - The maximum height of buildings shall not exceed 3 storeys.
- Orientation:**
- Entries - Front doors of dwellings are to address the Primary Street Frontage identified on the Site Development Plan.
 - Where Multi Family Allotments encompass more than one frontage they are to be designed to address (entries) each street frontages.
 - Fonzie Flat entries may be located off the adjoining Laneway.
 - Letter boxes should be located in close relationship to the front entry.

Setbacks:

- Setbacks are as per the Site Development Table unless otherwise specified.

- Built to boundary walls are recommended where road frontage widths are less than 15 metres. Built to boundary walls are optional for lots with road frontage widths equal or in excess of 15 metres, where Built to Boundary walls are not adopted side setbacks shall be in accordance with the Site Setback Table.

- Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.

- Boundary setbacks are measured to the walls of the structure.

- Eaves should not encroach (other than where buildings are built to a zero lot line) closer than 300mm to the lot boundary.

- Second floor on single and multi-family allotments must be built to meet the minimum first floor setbacks.

Parking:

- Minimum off-street parking requirements
 - Studio & 1 bed dwellings - 1 space per dwelling
 - Other - 2 spaces per dwelling, which may be tandem spaces.
 It is a requirement that at least one space per dwelling be in the form of a garage.

- Conventional allotments (not Laneway allotments) with a frontage of less than 12.5 metres are to have tandem parking with a setback from the property boundary to the garage of 5.5 metres. Double width garages are not permitted.

- Parking spaces on driveways do not have to comply with gradients in AS2890.

- Garages served of a Laneway must be built to meet the minimum 1.0 metre Rear Setback.

Site Cover and Amenity:

- Site cover for each lot is not to exceed 70% of the lot.

- Private amenity space accessible from the ground floor dwellings must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments/units (including Fonzie flats) above ground level must not be less than 9sqm which may be in the form of a balcony with a minimum dimension of 1.8m.

Multi Family Dwellings

- Multi Family Dwelling allotments are not permitted to be developed with only one single family dwelling.

- Type 1 (T1) 450m² - 599m² - maximum 3 dwellings
- Type 2 (T2) 600m² - 749m² - maximum 4 dwellings
- Type 3 (T3) 750m² - maximum 5 dwellings

Fencing

- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2m in height.

- Fencing on all Primary Park Frontages to be either 50% transparent or not to exceed 1.2m in height.

Energy

- All dwellings to have a minimum energy rating of 6 stars under NatHERS.

Definitions:

- Fonzie Flat - A secondary dwelling built above a garage with its own entrance door at ground level.
- Studio Dwelling - Dwelling (usually apartment) in which the living area and bedroom are combined within a single space.

Note
All dimensions and areas are approximate only, and are subject to survey and appropriate approvals.

Dimensions have been rounded to the nearest 0.1 metres.

The boundaries shown on this plan should not be used for final detailed engineers design.

AMENDMENTS

D: Renumber lots & add new pavements, pathways car parks & parkland - stage 1.

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12/06/09

CLIENT **URBAN LAND DEVELOPMENT AUTHORITY**

PROJECT

PROPOSED DEVELOPMENT

SITE DEVELOPMENT PLAN - STAGE 1 FITZGIBBON

Level Datum

Origin

Date 4 JUNE 2009

Surveyed

Comp By. KCH

DWG Name. 22743-71-PROP

Local Authority URBAN LAND DEVELOPMENT AUTHORITY

Job Reference 22743

Scale

1:1000@A2

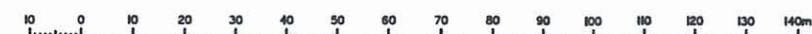
Plan Reference

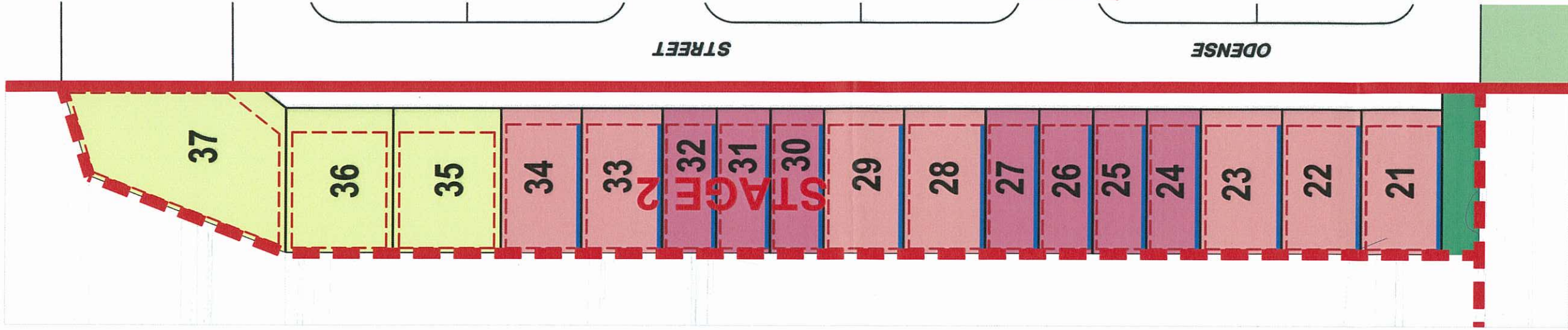
22743-73D

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LEGEND	
---	Site Boundary - Precinct 1
---	Stage Boundary
---	Building Location Envelope
---	Building to Boundary Wall
---	No Vehicle Access
---	Primary Frontage

Note
All dimensions and areas are approximate only, and are subject to survey and appropriate approvals.
Dimensions have been rounded to the nearest 0.1 metres.
The boundaries shown on this plan should not be used for final detailed engineers design.

- NOTES - General:**
- All development inclusive of single and multi-family allotments is to be undertaken in accordance with the Development Approval.
 - Maximum Building Location Envelopes shown are subject to future proposed easements and/or underground services or trees identified for retention.
 - Forcible Flats* are permissible over garages on Laneway Allotments.
 - The maximum height of buildings shall not exceed 3 storeys.
- Orientation:**
- Entries - Front doors of dwellings are to address the Primary Street Frontage Identified on the Site Development Plan.
 - Where Multi Family Allotments encompass more than one frontage they are to be designed to address (entries) each street frontages.
 - Forcible Flat entries may be located off the adjoining Laneway.
 - Letter boxes should be located in close relationship to the front entry.

- Setbacks:**
- Setbacks are as per the Site Development Table unless otherwise specified.
 - Built to boundary walls are recommended where road frontage widths are less than 15 metres. Built to boundary walls are optional for lots with road frontage widths equal or in excess of 15 metres, where Built to Boundary walls are not adopted side setbacks shall be in accordance with the Site Setback Table.
 - Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
 - Boundary setbacks are measured to the walls of the structure.
 - Eaves should not encroach (other than where buildings are built to a zero lot line) closer than 300mm to the lot boundary.
 - Second floor on single and multi-family allotments must be built to meet the minimum first floor setbacks.
- Parking:**
- Minimum off-street parking requirements
Studio & 1 bed dwellings - 1 space per dwelling
Other - 2 spaces per dwelling, which may be tandem spaces.
It is a requirement that at least one space per dwelling be in the form of a garage.
 - Conventional allotments (not Laneway allotments) with a frontage of less than 12.5 metres are to have tandem parking with a setback from the property boundary to the garage of 5.5 metres. Double width garages are not permitted.
 - Parking spaces on driveways do not have to comply with gradients in AS2880.
 - Garages served of a Laneway must be built to meet the minimum 1.0 metre Rear Setback.

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12 / 06 / 09

- Site Cover and Amenities:**
- Site cover for each lot is not to exceed 70% of the lot.
 - Private amenity space accessible from the ground floor dwellings must not be less than 150mm with a minimum dimension of 3.0m. Private amenity space for apartments/units (including Forcible flats) above ground level must not be less than 30mm which may be in the form of a balcony with a minimum dimension of 1.8m.
- Multi Family Dwellings**
- Multi Family Dwelling allotments are not permitted to be developed with only one single family dwelling.
 - Type 1 (11) 450m² - 595m² - maximum 3 dwellings
Type 2 (12) 600m² - 745m² - maximum 4 dwellings
Type 3 (13) 750m² - maximum 5 dwellings
- Fencing**
- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2m in height.
 - Fencing on all Primary Park Frontages to be either 50% transparent or not to exceed 1.2m in height.
- Energy**
- All dwellings to have a minimum energy rating of 6 stars under NABERS.

Definitions:
Forcible Flat - A secondary dwelling built above a garage with its own entrance door at ground level.
Studio Dwelling - Dwelling (usually apartment) in which the living area and bedroom are combined within a single space.

SITE SETBACK TABLE	Villa Allotments 10m Frontage		Villa Allotments 12.5m Frontage		Courtyard Allotments 15m Frontage		Traditional Allotments 20m + Frontage		Multi-Family Dwellings	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor		
Front/Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	3.0m	3.0m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m	1.0m	2.0m
Side - General Lots										
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	n/a	n/a	n/a	n/a
Non Built to Boundary	0.75m	0.9m	1.0m	1.0m	1.0m	1.5m	1.2m	2.0m	1.0m	1.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	3.0m	3.0m	3.0m	3.0m
Laneway Lots										
Rear of Lot (from laneway boundary)	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.0m	1.0m

Level Datum
Origin

Date
4 JUNE 2009

Surveyed
KCH

Comp By.
KCH

DWG Name.
22743-71-PROP

Local Authority
URBAN LAND DEVELOPMENT AUTHORITY

Job Reference
22743

Scale
1:600@A2

CLIENT
URBAN LAND DEVELOPMENT AUTHORITY

SITE DEVELOPMENT
PLAN - STAGE 2
FITZGIBBON

PROJECT
**PROPOSED
DEVELOPMENT**

Plan Reference
22743-74D

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CONICS

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SITE SETBACK TABLE	Villa Allotments 10m Frontage		Villa Allotments 12.5m Frontage		Courtyard Allotments 15m Frontage		Traditional Allotments 20m + Frontage		Multi-Family Dwellings	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	3.0m	3.0m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m	1.0m	2.0m
Side - General Lots										
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	n/a	n/a	n/a	n/a
Non Built to Boundary	0.75m	0.9m	1.0m	1.0m	1.0m	1.5m	1.2m	2.0m	1.0m	1.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	3.0m	3.0m	3.0m	3.0m
Laneway Lots										
Rear of Lot (from laneway boundary)	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.0m	1.0m

NOTES -

General:

1. All development inclusive of single and multi-family allotments is to be undertaken in accordance with the Development Approval.

2. Maximum Building Location Envelopes shown are subject to future proposed easements and/or underground services or trees identified for retention.

3. Fonzie Flats* are permissible over garages on Laneway Allotments.

4. The maximum height of buildings shall not exceed 3 storeys.

Orientation:

5. Entries - Front doors of dwellings are to address the Primary Street Frontage identified on the Site Development Plan.

6. Where Multi Family Allotments encompass more than one frontage they are to be designed to address (entries) each street frontages.

7. Fonzie Flat entries may be located off the adjoining Laneway.

8. Letter boxes should be located in close relationship to the front entry.

Setbacks:

9. Setbacks are as per the Site Development Table unless otherwise specified.

10. Built to boundary walls are recommended where road frontage widths are less than 15 metres. Built to boundary walls are optional for lots with road frontage widths equal or in excess of 15 metres, where Built to Boundary walls are not adopted side setbacks shall be in accordance with the Site Setback Table.

11. Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.

12. Boundary setbacks are measured to the walls of the structure.

13. Eaves should not encroach (other than where buildings are built to a zero lot line) closer than 300mm to the lot boundary.

14. Second floor on single and multi-family allotments must be built to meet the minimum first floor setbacks.

Parking:

15. Minimum off-street parking requirements

Studio & 1 bed dwellings - 1 space per dwelling

Other - 2 spaces per dwelling, which may be tandem spaces.

It is a requirement that at least one space per dwelling be in the form of a garage.

16. Conventional allotments (not Laneway allotments) with a frontage of less than 12.5 metres are to have tandem parking with a setback from the property boundary to the garage of 5.5 metres. Double width garages are not permitted.

17. Parking spaces on driveways do not have to comply with gradients in AS2890.

18. Garages served of a Laneway must be built to meet the minimum 1.0 metre Rear Setback.

Site Cover and Amenity:

19. Site cover for each lot is not to exceed 70% of the lot.

20. Private amenity space accessible from the ground floor dwellings must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments/units (including Fonzie flats) above ground level must not be less than 9sqm which may be in the form of a balcony with a minimum dimension of 1.8m.

Multi Family Dwellings

21. Multi Family Dwelling allotments are not permitted to be developed with only one single family dwelling.

22. Type 1 (T1) 450m² - 599m² - maximum 3 dwellings

Type 2 (T2) 600m² - 749m² - maximum 4 dwellings

Type 3 (T3) 750m² + - maximum 5 dwellings

Fencing

23. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2m in height.

24. Fencing on all Primary Park Frontages to be either 50% transparent or not to exceed 1.2m in height.

Energy

25. All dwellings to have a minimum energy rating of 6 stars under NatHERS.

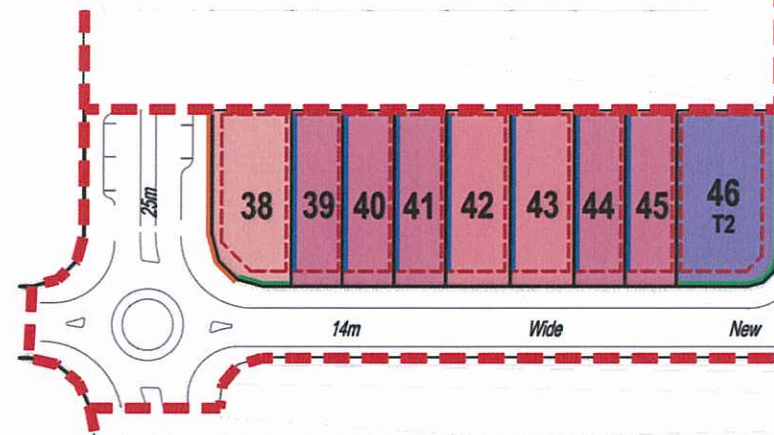
Definitions:

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LEGEND

- Site Boundary - Precinct 1
- Stage Boundary
- Existing Open Space
- Proposed Open Space
- Building Location Envelope
- Building to Boundary Wall
- No Vehicle Access
- Primary Frontage



Note

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AMENDMENTS

D: Renumber lots & add new pavements, pathways car parks.

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APPROVAL dated 12/06/09

CLIENT **URBAN LAND
DEVELOPMENT AUTHORITY**

PROJECT
**PROPOSED
DEVELOPMENT**

SITE DEVELOPMENT
PLAN - STAGE 3
FITZGIBBON

Level Datum

Origin

Date 4 JUNE 2009

Surveyed

Comp By. KCH/GC

DWG Name. 22743-71-PROP

Local Authority URBAN LAND DEVELOPMENT AUTHORITY

Job Reference 22743

Scale

1:1000@A2

Plan Reference

22743-75D

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NOTES - General:

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Parking:

15. Minimum off-street parking requirements
Studio & 1 bed dwellings - 1 space per dwelling
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It is a requirement that at least one space per dwelling be in the form of a garage.

16. Conventional allotments (not Laneway allotments) with a frontage of less than 12.5 metres are to have tandem parking with a setback from the property boundary to the garage of 5.5 metres. Double width garages are not permitted.

17. Parking spaces on driveways do not have to comply with gradients in AS2890.

18. Garages served of a Laneway must be built to meet the minimum 1.0 metre Rear Setback.

Site Cover and Amenity:

19. Site cover for each lot is not to exceed 70% of the lot.

20. Private amenity space accessible from the ground floor dwellings must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments/units (including Fonzie flats) above ground level must not be less than 9sqm which may be in the form of a balcony with a minimum dimension of 1.8m.

Multi Family Dwellings

21. Multi Family Dwelling allotments are not permitted to be developed with only one single family dwelling.

22. Type 1 (T1) 450m² - 599m² - maximum 3 dwellings
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Type 3 (T3) 750m² - maximum 5 dwellings

Fencing

23. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2m in height.

24. Fencing on all Primary Park Frontages to be either 50% transparent or not to exceed 1.2m in height.

Energy

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Definitions:

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Studio Dwelling - Dwelling (usually apartment) in which the living area and bedroom are combined within a single space.

SITE SETBACK TABLE	Villa Allotments 10m Frontage		Villa Allotments 12.5m Frontage		Courtyard Allotments 15m Frontage		Traditional Allotments 20m + Frontage		Multi-Family Dwellings	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	3.0m	3.0m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m	1.0m	2.0m
Side - General Lots										
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	n/a	n/a	n/a	n/a
Non Built to Boundary	0.75m	0.9m	1.0m	1.0m	1.0m	1.5m	1.2m	2.0m	1.0m	1.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	3.0m	3.0m	3.0m	3.0m
Laneway Lots										
Rear of Lot (from laneway boundary)	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.0m	1.0m

Note
All dimensions and areas are approximate only, and are subject to survey and appropriate approvals.

Dimensions have been rounded to the nearest 0.1 metres.

The boundaries shown on this plan should not be used for final detailed engineers design.

AMENDMENTS

D: Renumber lots & add new pavements, pathways car parks.

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12/06/09

CLIENT **URBAN LAND
DEVELOPMENT AUTHORITY**

PROJECT

**PROPOSED
DEVELOPMENT**

**SITE DEVELOPMENT
PLAN - STAGE 4
FITZGIBBON**

Level Datum

Origin

Date 4 JUNE 2009

Surveyed

Comp By. KCH

DWG Name. 22743-71-PROP

Local Authority URBAN LAND DEVELOPMENT AUTHORITY

Job Reference 22743

Scale

1:1000@A2

Plan Reference

22743-72D

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