



Note
All dimensions and areas are approximate only, and are subject to survey and appropriate approvals.
Dimensions have been rounded to the nearest 0.1 metres.
The boundaries shown on this plan should not be used for final detailed engineers design.

AMENDMENTS

CLIENT
URBAN LAND DEVELOPMENT AUTHORITY

PROJECT
PROPOSED DEVELOPMENT

SITE DEVELOPMENT
PLAN - STAGE 1
FITZGIBBON

Level Datum	
Origin	
Date	9 APR 2009
Surveyed	
Comp By.	KCH
DWG Name.	22743-71-PROP
Local Authority	URBAN LAND DEVELOPMENT AUTHORITY
Job Reference	22743
Scale	1:1000@A2
Plan Reference	22743-73A



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- NOTES -**
General:
1. All development inclusive of single and multi-family allotments is to be undertaken in accordance with the Development Approval.
2. Maximum Building Location Envelopes shown are subject to future proposed assessments and/or underground services or trees identified for retention.
3. Forze Flats are permissible over garages on Laneway Allotments.
4. The maximum height of buildings shall not exceed 3 storeys.
Orientation:
5. Entries - Front doors of dwellings are to address the Primary Street Frontage identified on the Site Development Plan.
6. Where Multi Family Allotments encompass more than one frontage they are to be designed to address (entries) each street frontages.
7. Forze Flat entries may be located off the adjoining Laneway.
8. Letter boxes should be located in close relationship to the front entry.
Setbacks:
9. Setbacks are as per the Site Development Table unless otherwise specified.
10. Built to boundary walls are mandatory where rear frontage widths are less than 15 metres. Built to boundary walls are optional for lots with rear frontage widths equal or in excess of 15 metres, where this option is not adopted side boundary setbacks shall be in accordance with the Site Setback Table.
11. Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
12. Boundary setbacks are measured to the walls of the structure.
13. Eaves should not encroach (other than where buildings are built to a zero lot line) closer than 300mm to the lot boundary.
14. Second floor on single and multi-family allotments must be built to meet the minimum first floor setbacks.
Parking:
15. Minimum off-street parking requirements
Studio & 1 bed dwellings - 1 space per dwelling
2+ spaces per dwelling, which may be tandem spaces.
Other - 2 spaces per dwelling, which may be in the form of a garage.
It is a requirement that at least one space per dwelling be in the form of a garage.
16. Conventional allotments (not Laneway allotments) with a frontage of less than 12.5 metres are to have tandem parking with a setback from the property boundary to the garage of 5.5 metres. Double width garages are not permitted.
17. Garages served of a Laneway must be built to meet the minimum 1.0 metre Rear Setback.
Site Cover and Amenities:
18. Site cover for each lot is not to exceed 70% of the lot.
19. Private amenity space accessible from the ground floor dwellings must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments/units (including Forze Flats) above ground level must not be less than 5sqm which may be in the form of a balcony with a minimum dimension of 1.5m.
Multi Family Dwellings
20. Multi Family Dwelling allotments are not permitted to be developed with only one single family dwelling.
21. Type 1 (T1) 450m² - 530m² - maximum 3 dwellings
Type 2 (T2) 600m² - 740m² - maximum 4 dwellings
Type 3 (T3) 750m² - - maximum 5 dwellings
Type 4 (T4) 1000m² - minimum 8 dwellings, maximum 10 dwellings
Fencing
22. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2m in height.
23. Fencing on all Primary Park Frontages to be either 50% transparent or not to exceed 1.2m in height.
24. Fencing on rear boundary of Lots 1-11 to be 50% transparent and not exceed 1.5m in height.
Energy
25. All dwellings to have a minimum energy rating of 6 stars under NABERS.
Definitions:
Forze Flat - A secondary dwelling built above a garage with its own entrance door at ground level.
Studio Dwelling - Dwelling (usually apartment) in which the living area and bedroom are combined within a single space.

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 23/04/09



LEGEND	
	Site Boundary - Precinct 1
	Stage Boundary
	Existing Open Space
	Proposed Open Space
	Building Location Envelope
	Building to Boundary Wall
	No Vehicle Access
	Primary Frontage
	Indicative Common Access

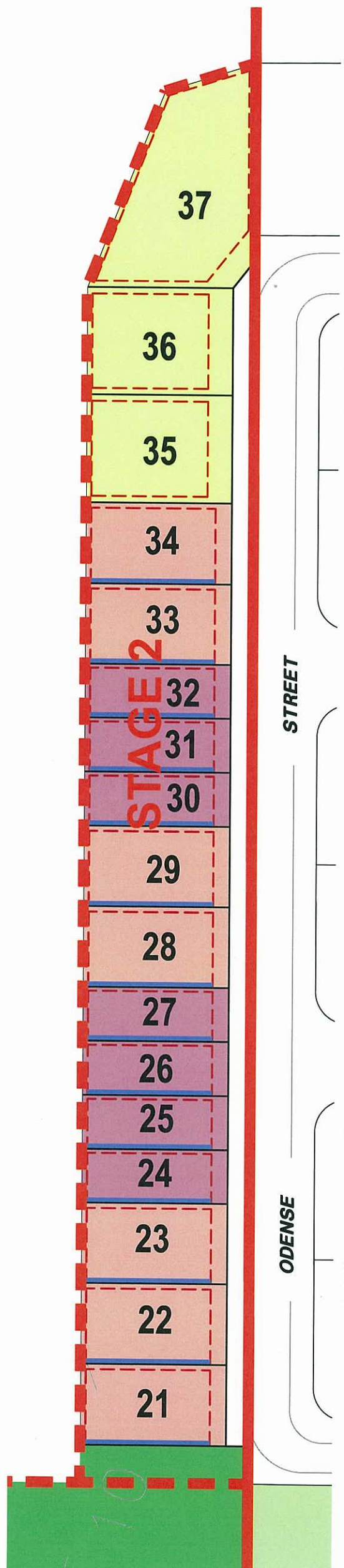
SITE SETBACK TABLE		Villa Allotments 10m Frontage	Villa Allotments 12.5m Frontage	Courtyard Allotments 15m Frontage	Traditional Allotments 20m+ Frontage	Multi-Family Dwellings	
		Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Side - General Lots							
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	n/a	n/a
Non Built to Boundary	0.75m	0.5m	1.0m	1.0m	1.5m	1.2m	2.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	2.0m	2.0m	3.0m	3.0m
Laneway Lots							
Rear of Lot (from laneway boundary)	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m
						1.0m	1.0m



PRELIMINARY



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 23/4 /09



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LEGEND

—	Site Boundary - Precinct 1
- - -	Stage Boundary
- - - -	Building Location Envelope
—	Building to Boundary Wall
—	No Vehicle Access
—	Primary Frontage

- NOTES -**
General:
- All development inclusive of single and multi-family allotments is to be undertaken in accordance with the Development Approval.
 - Maximum Building Location Envelopes shown are subject to future proposed easements and/or underground services or trees identified for retention.
 - Fonzie Flats* are permissible over garages on Laneway Allotments.
 - The maximum height of buildings shall not exceed 3 storeys.
- Orientation:**
- Entries - Front doors of dwellings are to address the Primary Street Frontage identified on the Site Development Plan.
 - Where Multi Family Allotments encompass more than one frontage they are to be designed to address (entries) each street frontages.
 - Fonzie Flat entries may be located off the adjoining Laneway.
 - Letter boxes should be located in close relationship to the front entry.
- Setbacks:**
- Setbacks are as per the Site Development Table unless otherwise specified.
 - Built to boundary walls are mandatory where road frontage widths are less than 15 metres. Built to boundary walls are optional for lots with road frontage widths equal or in excess of 15 metres, where this option is not adopted side boundary setbacks shall be in accordance with the Site Setback Table.
 - Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
 - Boundary setbacks are measured to the walls of the structure.
 - Eaves should not encroach (other than where buildings are built to a zero lot line) closer than 300mm to the lot boundary.
 - Second floor on single and multi-family allotments must be built to meet the minimum first floor setbacks.
- Parking:**
- Minimum off-street parking requirements
Studio & 1 bed dwellings - 1 space per dwelling
Other - 2 spaces per dwelling, which may be tandem spaces.
It is a requirement that at least one space per dwelling be in the form of a garage.
 - Conventional allotments (not Laneway allotments) with a frontage of less than 12.5 metres are to have tandem parking with a setback from the property boundary to the garage of 5.5 metres. Double width garages are not permitted.
 - Garages served of a Laneway must be built to meet the minimum 1.0 metre Rear Setback.
- Site Cover and Amenity:**
- Site cover for each lot is not to exceed 70% of the lot.
 - Private amenity space accessible from the ground floor dwellings must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments/units (including Fonzie flats) above ground level must not be less than 9sqm which may be in the form of a balcony with a minimum dimension of 1.8m.
- Multi Family Dwellings**
- Multi Family Dwelling allotments are not permitted to be developed with only one single family dwelling.
 - Type 1 (T1) 450m² - 599m² - maximum 3 dwellings
Type 2 (T2) 600m² - 749m² - maximum 4 dwellings
Type 3 (T3) 750m² + - maximum 5 dwellings
- Fencing**
- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2m in height.
 - Fencing on all Primary Park Frontages to be either 50% transparent or not to exceed 1.2m in height.
- Energy**
- All dwellings to have a minimum energy rating of 6 stars under NatHERS.
- Definitions:**
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Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m	1.0m	2.0m
Side - General Lots										
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	n/a	n/a	n/a	n/a
Non Built to Boundary	0.75m	0.9m	1.0m	1.0m	1.0m	1.5m	1.2m	2.0m	1.0m	1.0m
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Laneway Lots										
Rear of Lot (from laneway boundary)	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.0m	1.0m



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Scale	Local Authority	URBAN LAND DEVELOPMENT AUTHORITY
1:600@A2	Job Reference	22743

CLIENT
URBAN LAND DEVELOPMENT AUTHORITY

**SITE DEVELOPMENT
PLAN - STAGE 2
FITZGIBBON**

PROJECT
**PROPOSED
DEVELOPMENT**

Plan Reference
22743-74A

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