

14 AUG 2015

MEDQ

development summary

STAGE ONE (EAST TOWER)

LEVEL	1B	2B1BA	2B	TOTAL
B4	/	/	/	/
B3	/	/	/	/
B2	/	/	/	/
B1	/	/	/	/
G	/	/	/	/
1	12	1	0	13
2	11	1	0	12
3	5	1	5	11
4	5	1	5	11
5	5	1	5	11
6	5	1	5	11
7	5	1	5	11
8	5	1	5	11
9	5	1	5	11
10	3	1	2	6
11	3	1	2	6
12	5	1	5	11
13	5	1	5	11
14	5	1	5	11
15	5	1	5	11
16	5	1	5	11
17	5	1	5	11
18	5	1	5	11
19	5	1	5	11
20	5	1	5	11
21	5	1	5	11
22	5	1	5	11
23	5	1	5	11
24	5	1	5	11
25	5	1	4	11
26	6	1	4	11
27	6	1	4	11
28	6	1	4	11
29	6	1	4	11

SUB TOTAL 158 29 158 311
50.8% 9.3% 39.8%

STAGE TWO (WEST TOWER)

LEVEL	1B	2B1BA	2B	TOTAL
B4	/	/	/	/
B3	/	/	/	/
B2	/	/	/	/
B1	/	/	/	/
G	/	/	/	/
1	/	/	/	/
2	/	/	/	/
3	2	1	2	5
4	2	1	2	5
5	4	1	5	10
6	4	1	5	10
7	4	1	5	10
8	4	1	5	10
9	4	1	5	10
10	4	1	5	10
11	4	1	5	10
12	4	1	5	10
13	4	1	5	10
14	4	1	5	10
15	4	1	5	10
16	4	1	5	10
17	4	1	5	10
18	4	1	5	10
19	4	1	5	10
20	4	1	5	10
21	5	1	4	10
22	5	1	4	10
23	5	1	4	10
24	5	1	4	10

SUB TOTAL 88 22 100 210
41.9% 10.4% 47.62%

UNIT SIZES

SMALL UNITS (<60m2) 201 (38.58%)
MEDIUM UNITS (>60&<100m2) 320 (61.42%)

STAGE ONE AND TWO COMBINED

1 BED	246	47.22%
2 BED	224	42.99%
2BED/1BA	51	9.79%
TOTAL	521	100.00%

AREA SUMMARY

SITE AREA	7,005 sqm
GFA	
STAGE 1	24,496.9 sqm
STAGE 2	20,866.6 sqm
TOTAL	45,363.5 sqm
PLOT RATIO	6.48

BICYCLE PARKING

RESIDENTIAL	at 1/unit	522
RESIDENTIAL VISITORS	at 1/400sqm	115
COMMERCIAL	at 1/200sqm	12
COMMERCIAL VISITORS	at 1/400sqm	6
TOTAL		655

CAR PARKING

LEVEL	RESI.	VISITOR	COMM.	RETAIL	TOTAL
B1	19	27	25	13	84
B2	167	/	/	/	167
B3	167	/	/	/	167
B4	168	/	/	/	168
TOTAL	521	27	25	13	586

RESI. = 1 PARK/UNIT 1x521 = 521 proposed
VISITOR = 1 PARK/0.05 UNIT 521x0.05 = 27 proposed
COMM. = 1 PARK/100m2 2408/100 = 25 proposed
RETAIL = 1 PARK/50m2 617/50 = 13 proposed

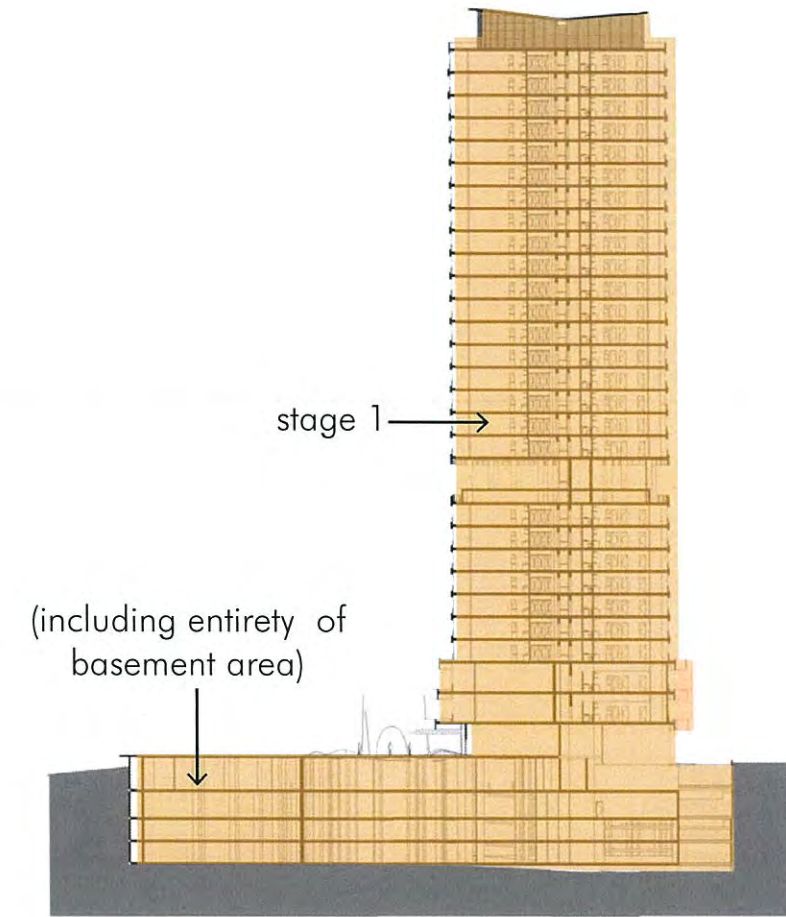
staging one

legend

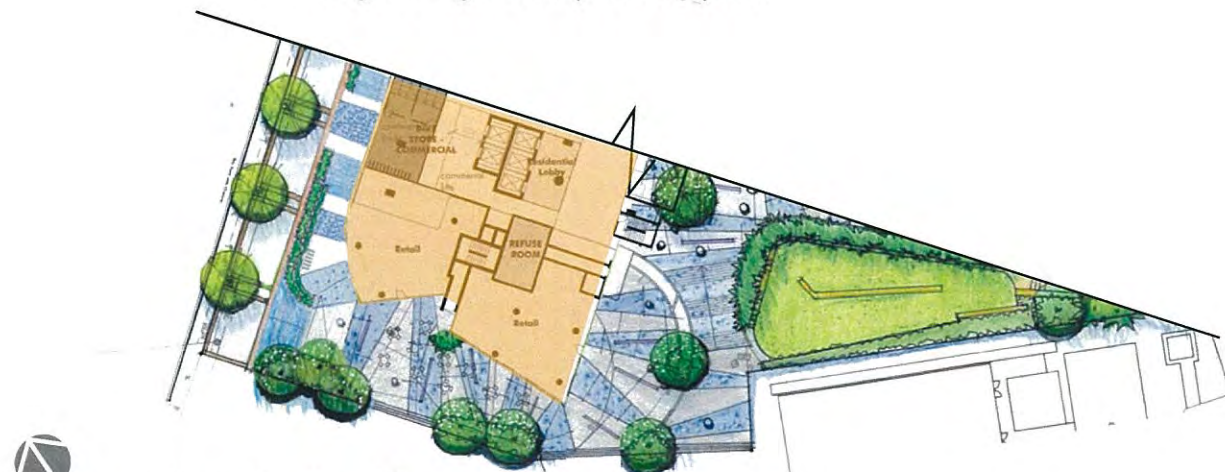
- stage 1
- landscape



stage 1 - ground podium plan



stage 1 - section



stage 1 - (part) basement 1 plan

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL
14 AUG 2015
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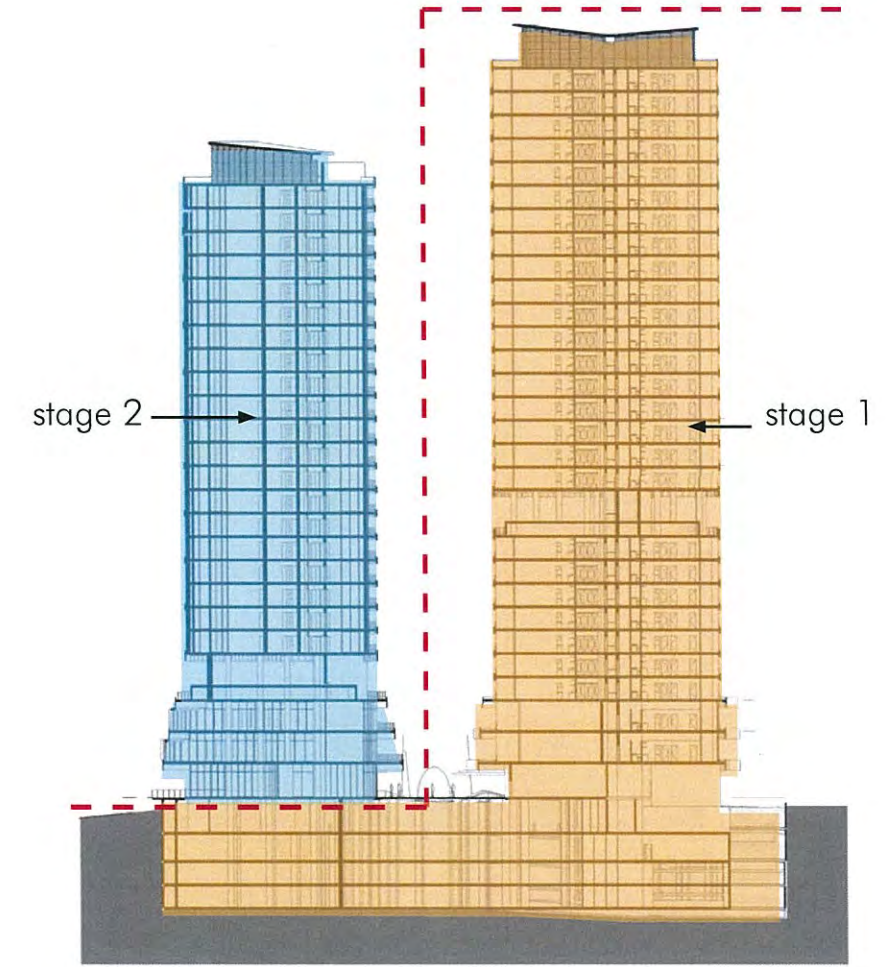
staging two

legend

- stage 1
- stage 2
- landscape



stage 2 - podium plan



stage 2 - section

PLANS AND DOCUMENTS
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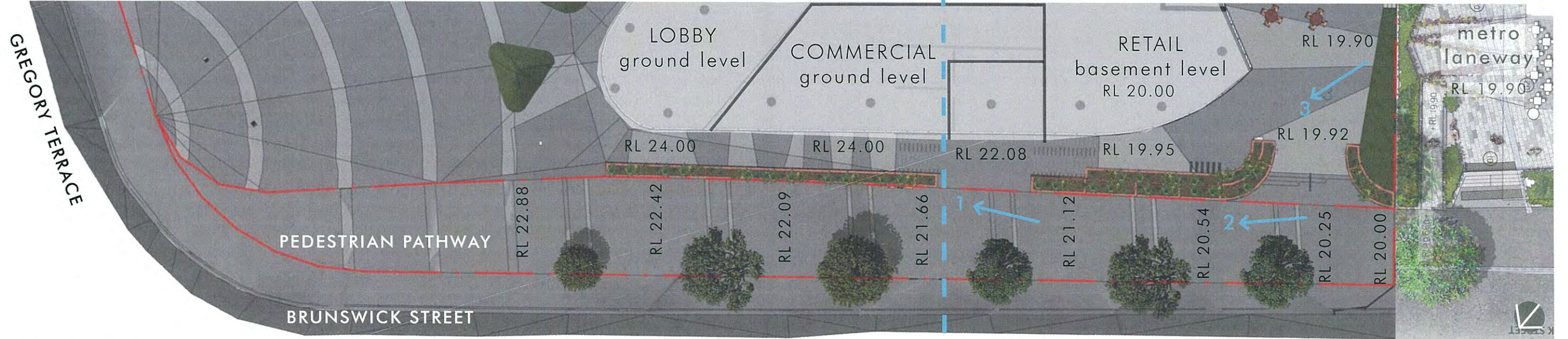
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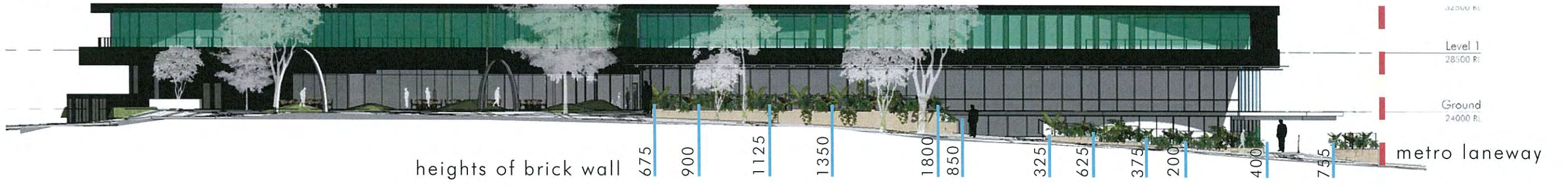
nettletontribe

brunswick street frontage

plan



elevation



perspective view 1



perspective view 2



perspective view 3

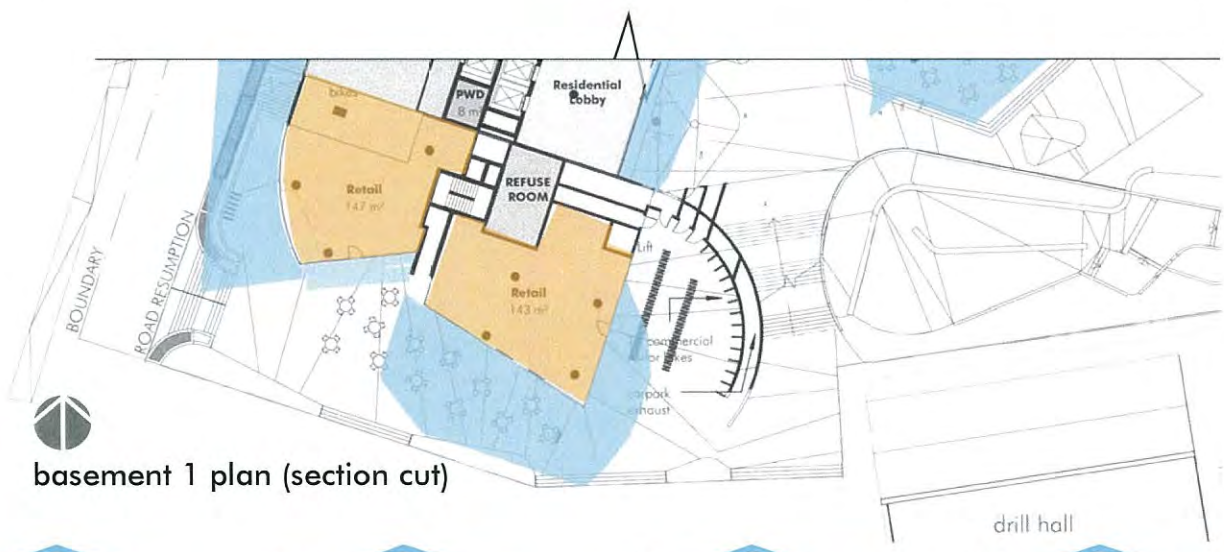


pedestrian covered walkway and covered retail areas

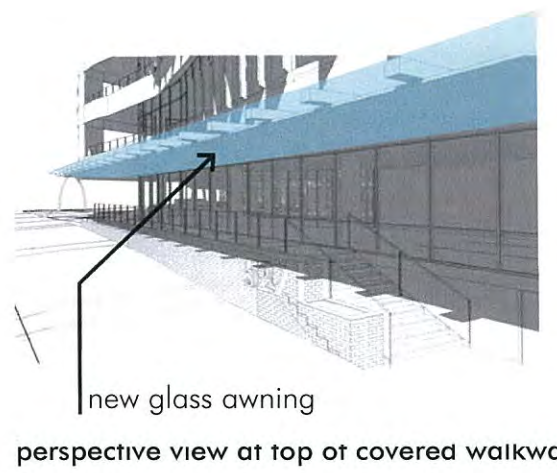
The pedestrian walkway alongside Brunswick Street is continuously covered by a new awning stretching out from the building and provides ample shade for passers by. Shade is additionally provided along the outer perimeter of both stage one and two buildings as well as at key points in front of retail and commercial zones. Furthermore ample planting of trees and shrubs provides spontaneous shading opportunities for respite.



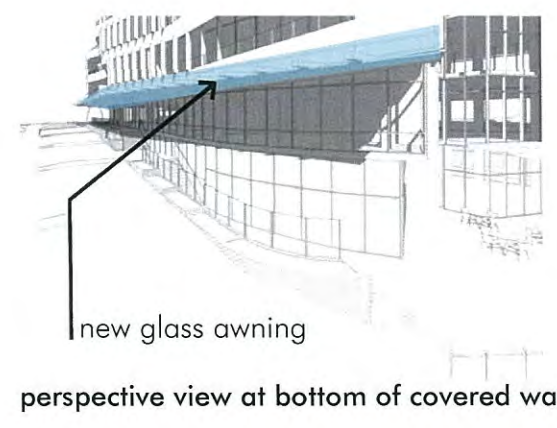
ground floor plan



basement 1 plan (section cut)



new glass awning
perspective view at top of covered walkway



new glass awning
perspective view at bottom of covered walkway



rendered view of shaded cafe and retail areas

legend

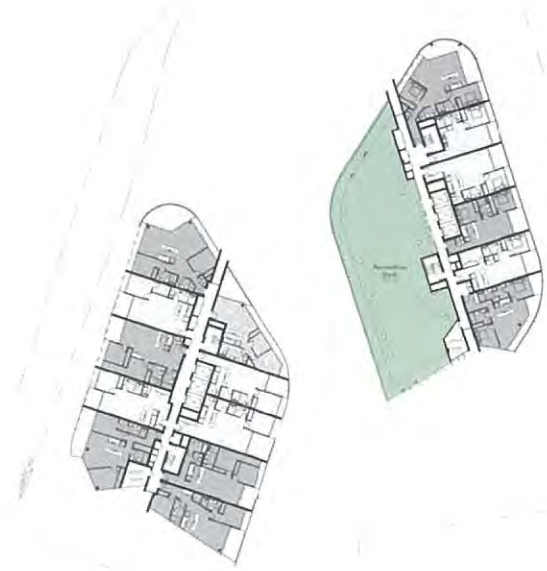
- shaded regions over ground
- commercial/ retail areas
- covered pedestrian access on Brunswick St

private resident amenity

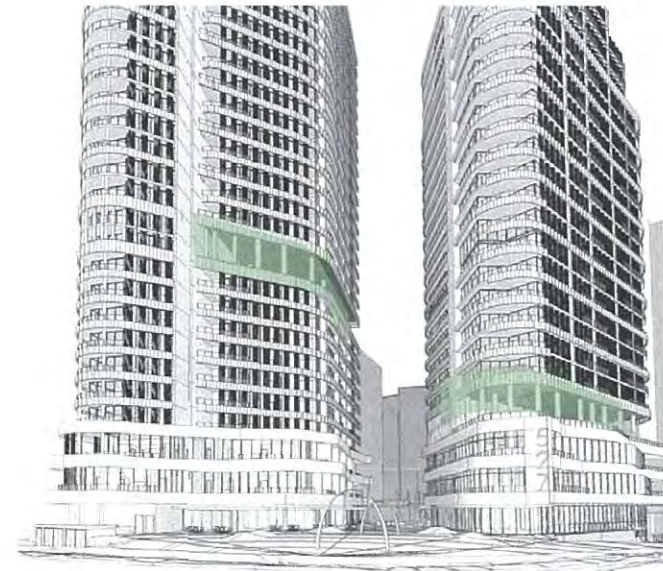
In addition to the public amenity offered at ground level, the development provides a recreational level on level 10 for stage 1 and level 3 on stage 2. The recreational levels provide a landscaped environment with swimming pool, spa rooms and private entertaining areas. There is also a high level 'club room' in stage 1 that offers high level views to the north.



recreation deck
plan level 3 (stage 2)



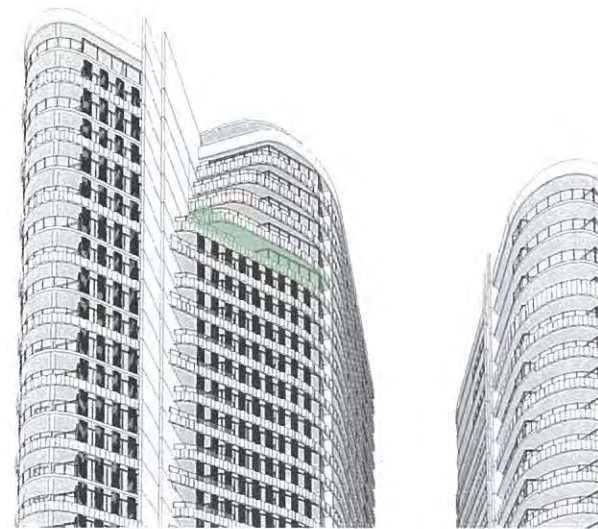
recreation deck
plan level 10 (stage 1)



recreation deck
perspective



club room
level 25 (stage 1)



club room
perspective

accessibility

527 Gregory Terrace has been designed to allow for equitable access to all facilities. Particular focus has been given to accessible areas on Ground and Podium levels as a design provision for the inclusion of all users.

On the corner of Gregory Terrace and Brunswick Street, unrestricted access has been provided via ramps at each end of the public thoroughfare and building entrance. The stairs located on ground level utilise a strong colour contrast to define the path of travel/destination for people with low vision. The Podium level includes zero alterations in floor levels, allowing for a flat neutral space with access to gardens and open air environment.

10% of the total units provided have been dedicated as accessible units. Both Studio and 2 Bed unit types have been catered for, which reflects the unit types available throughout the project.

527 Gregory Terrace will enhance social diversity, choice and accessibility. This design achieves a safe, secure, equitable and comfortable development, whilst promoting the integration of non-discriminatory design practices.

Typical unit plans additionally indicate compliant circulation zones.

Note: The number of accessible units meets the requirements of the development scheme. However, this is not put forward as a superior design option.

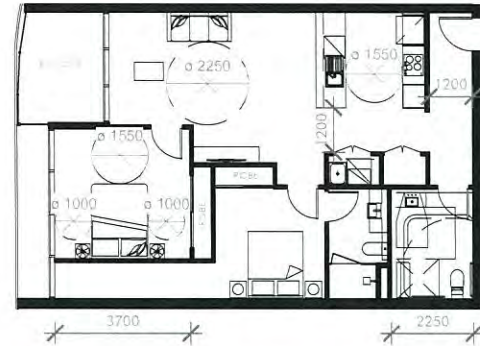
accessible units



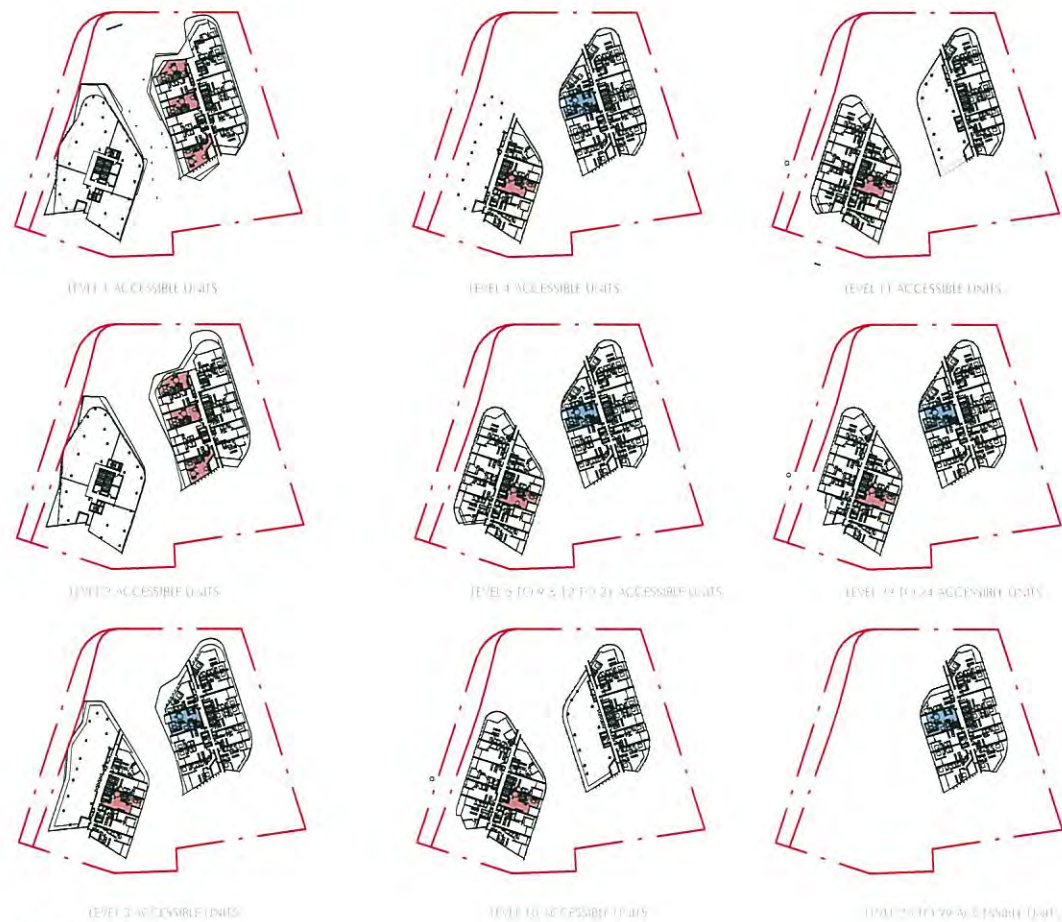
UNIT PLANS - 1:200



TYPICAL ACCESSIBLE UNIT A
PWD unit type A - 1 bed studio



TYPICAL ACCESSIBLE UNIT B
PWD unit type B - 2 bed



PWD UNIT SUMMARY

LEVEL 1 =	3 TYPE A
LEVEL 2 =	3 TYPE A
LEVEL 3 =	1 TYPE A 1 TYPE B
LEVEL 4 =	1 TYPE A 1 TYPE B
LEVEL 5-9 =	1 TYPE A (5 TOTAL) 1 TYPE B (5 TOTAL)
LEVEL 10 =	1 TYPE A
LEVEL 11 =	1 TYPE A
LEVEL 12-21 =	1 TYPE A (10 TOTAL) 1 TYPE B (10 TOTAL)
LEVEL 22-24 =	1 TYPE A (3 TOTAL) 1 TYPE B (3 TOTAL)
LEVEL 25-29 =	1 TYPE B (5 TOTAL)
SUBTOTAL	28 TYPE A UNITS 25 TYPE B UNITS
TOTAL	53 ACCESSIBLE UNITS = 10% OF ALL UNITS

bicycle parking

PUSH BIKE NUMBERS

RESIDENTIAL:

1 SPACE / DWELLING
521 UNITS x 1 BIKE SPACE
= 522 BIKES

RESIDENTIAL VISITORS:

1 SPACE / 400m²
45,363m² GFA / 400
= 115 BIKES

COMMERCIAL:

1 SPACE / 200m²
2408m² NLA / 200
= 12 BIKES

COMMERCIAL VISITORS:

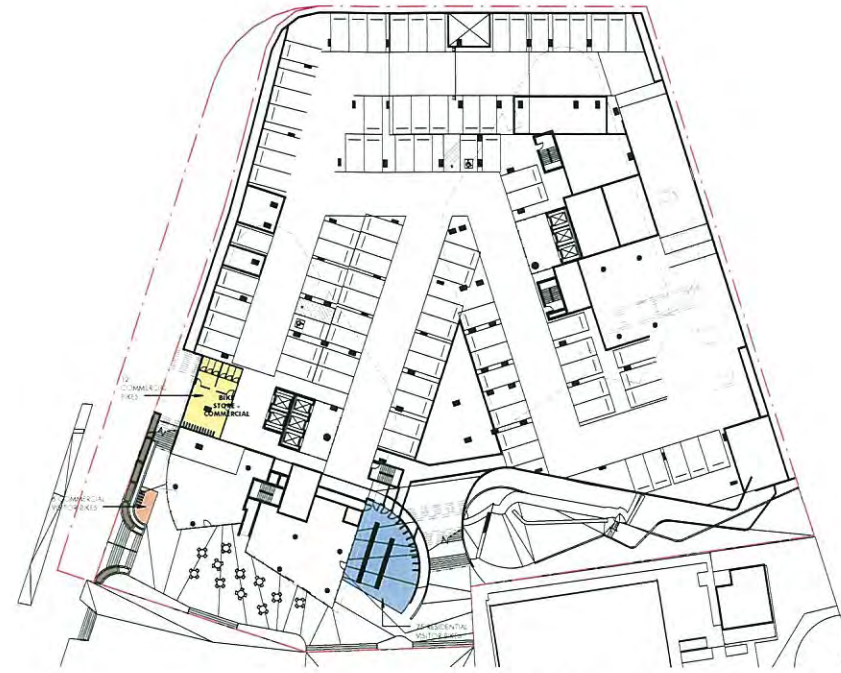
1 SPACE / 400m²
2408m² NLA / 400
= 6 BIKES

TOTAL BIKE STORAGE:

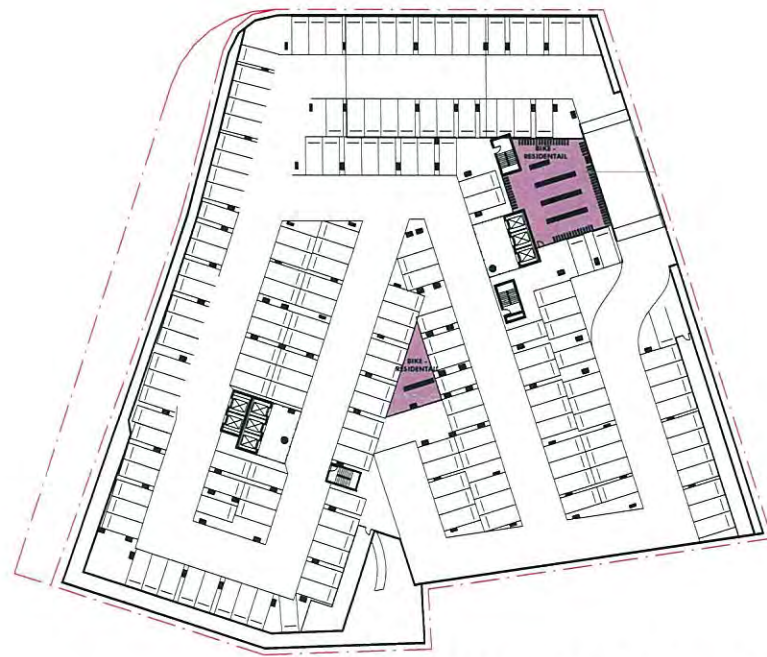
655 BIKE SPACES



GROUND FLOOR BIKE SPACES
40 residential visitors spaces



BASEMENT 1 BIKE SPACES
75 residential visitors spaces
12 commercial spaces
6 commercial visitors



BASEMENT 2,3 & 4 BIKE SPACES
174 residential spaces

bicycle storage



legend

- residential bicycle space
- residential visitor bicycle space
- commercial bicycle space
- commercial visitor bicycle space

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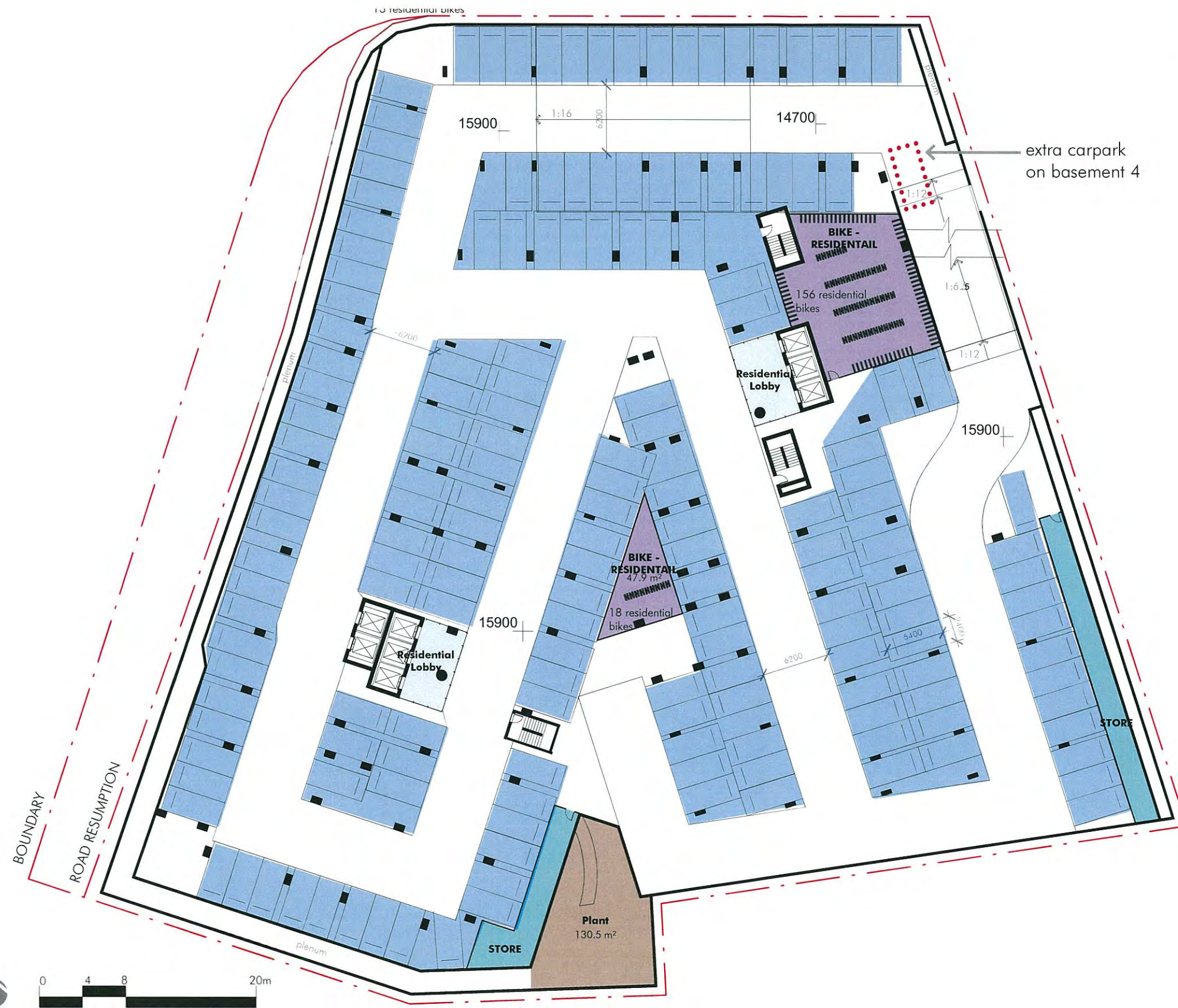
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nettleontribe

plans

basement 2, 3 and 4
1:400



CAR PARKING

LEVEL	RESI.	VISITOR	COMM.	RETAIL	TOTAL
B2	167	/	/	/	167
B3	167	/	/	/	167
B4	168	/	/	/	168

legend

— residential carpark



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plans

basement 1
1:400



CAR PARKING

LEVEL	RESI.	VISITOR	COMM.	RETAIL	TOTAL
B1	19	27	25	13	84

legend

- residential car park
- commercial/ retail visitor carpark



plans

ground
1:400

All publicly accessible public open space is subject to Compliance Assessment, as per the conditions of approval.

AMENDED IN RED

13 AUG 2015
By: Tom Barker (name)
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plans

level 2
1:400



balconies have an area of less than 9m² and have therefore been provided with full width stacking doors to allow for maximum liveable space.

note: one unit type (2 bed internal) also has stacking doors though its balcony size is larger than 9m².



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plans

level 3

1:400



STAGE 2
level 3
recreation deck

BOUNDARY
ROAD RESUMPTION



balconies have an area of less than 9m² and have therefore been provided with full width stacking doors to allow for maximum liveable space.

note: one unit type (2 bed internal) also has stacking doors though its balcony size is larger than 9m².



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plans

level 4

1:400



STAGE 2
void over
recreation deck

STAGE 1
(refer typical layout)

balconies have an area of less than 9m² and have therefore been provided with full width stacking doors to allow for maximum liveable space.

note: one unit type (2 bed internal) also has stacking doors though its balcony size is larger than 9m².



plans

typical level
(level 5 to 9 - level 12-20)
1:400



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note: one unit type (2 bed internal) also has stacking doors though its balcony size is larger than 9m².



PLANS AND DOCUMENTS
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plans

level 10
1:400



balconies have an area of less than 9m² and have therefore been provided with full width stacking doors to allow for maximum liveable space.

note: one unit type (2 bed internal) also has stacking doors though its balcony size is larger than 9m².



PLANS AND DOCUMENTS
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plans

level 11
1:400



balconies have an area of less than 9m² and have therefore been provided with full width stacking doors to allow for maximum liveable space.

note: one unit type (2 bed internal) also has stacking doors though its balcony size is larger than 9m².



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plans

level 21-24
1:400



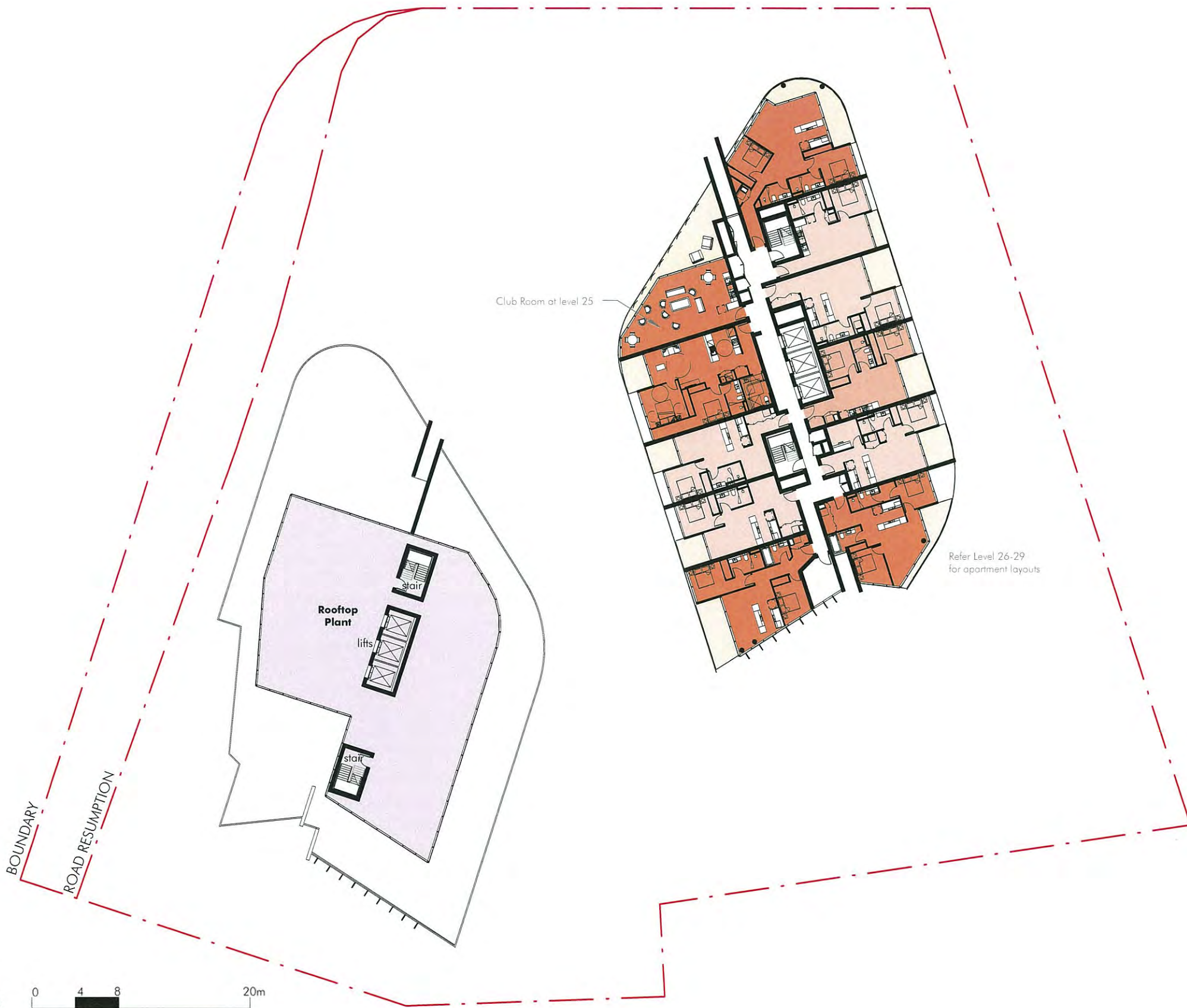
balconies have an area of less than 9m² and have therefore been provided with full width stacking doors to allow for maximum liveable space.

note: one unit type (2 bed internal) also has stacking doors though its balcony size is larger than 9m².

plans

level 25

1:400



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balconies have an area of less than 9m² and have therefore been provided with full width stacking doors to allow for maximum liveable space.

note: one unit type (2 bed internal) also has stacking doors though its balcony size is larger than 9m².



plans

level 26 - 29

1:400

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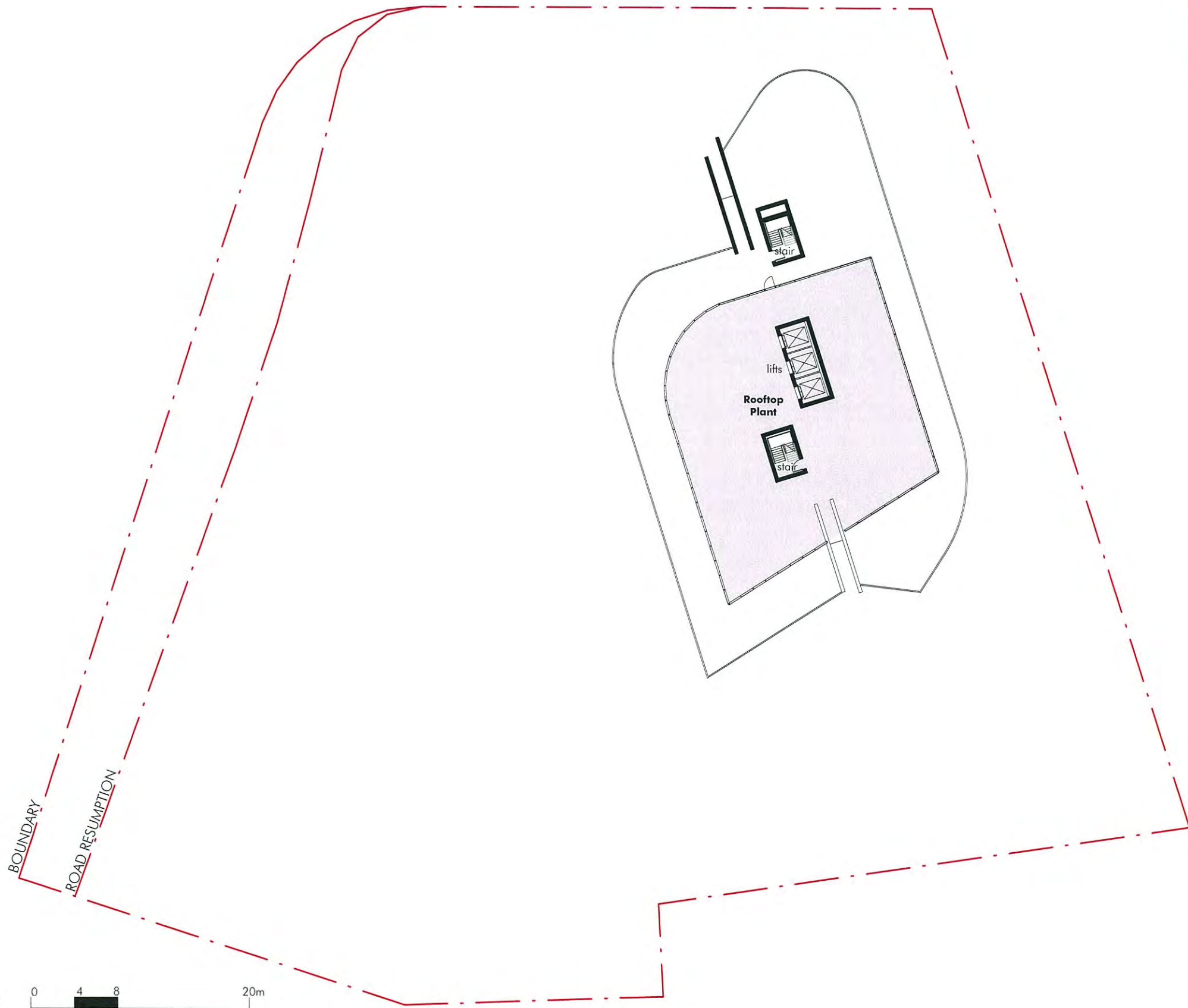
Level 26-29
Club Room at level 25
STAGE 1
level 26 -29
variation at level 25
(club room)

balconies have an area of less than 9m² and have therefore been provided with full width stacking doors to allow for maximum liveable space.

note: one unit type (2 bed internal) also has stacking doors though its balcony size is larger than 9m².

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plans
level 30
1:400



plans

roof
1:400

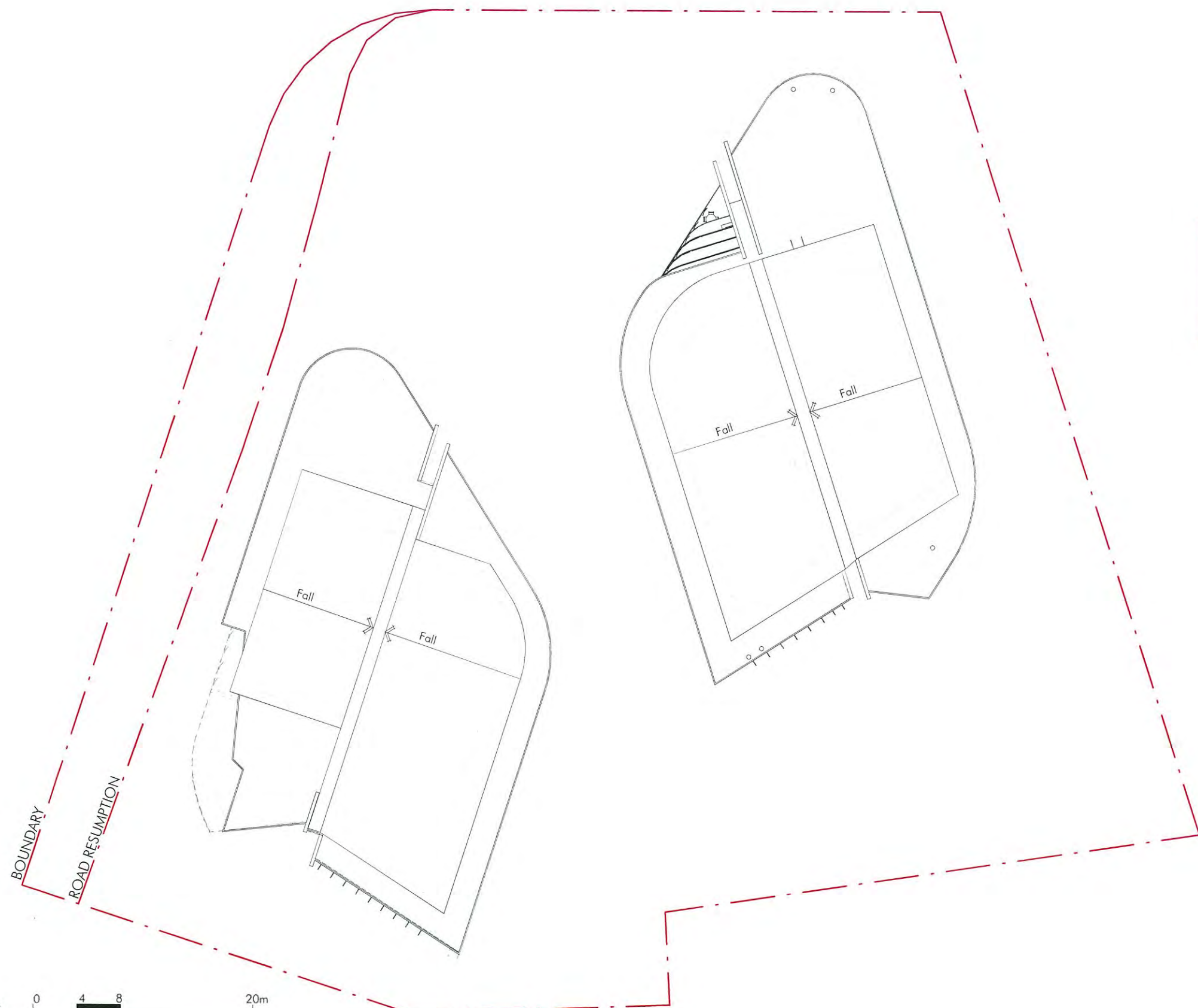
Detailed drawings of roof screening, as required for Compliance Assessment, are to illustrate lift overrun. Not currently illustrated.

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elevation one

north - gregory terrace 1:400



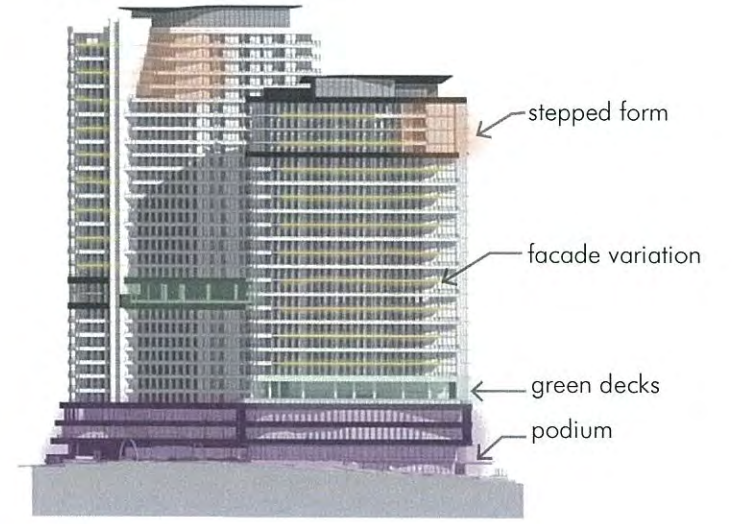
legend

- 1 metal roof sheeting
- 2 feature 'green' glazing
- 3 standard blue glazing with aluminium powdercoat finish
- 4 glass balustrade with powdercoat finish
- 5 concrete upstand, rendered and painted finish
- 6 patterned gold vertical sunshades
- 7 shopfront glazing
- 8 rendered and painted block wall
- 9 privacy screen
- 10 prefinished cladding
- 11 landscaping
- 12 dark silver sunshading devices
- 13 white sunshading devices

elevation two

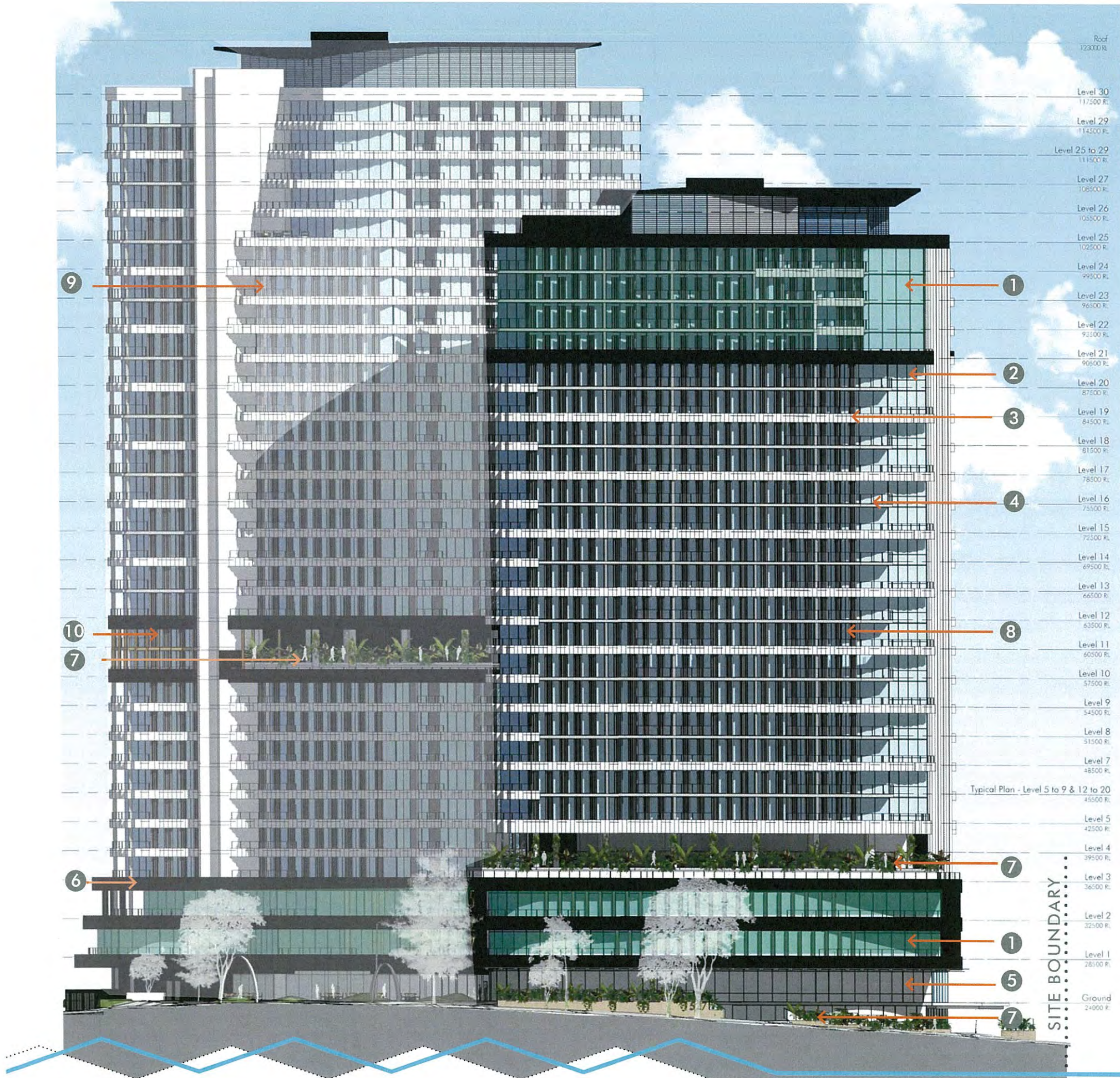
west - brunswick street 1:400

facade variations



legend

- ① feature 'green' glazing
- ② standard blue glazing with aluminium powdercoat finish
- ③ glass balustrade with powdercoat finish
- ④ concrete upstand, rendered and painted finish
- ⑤ shopfront glazing
- ⑥ prefinished cladding
- ⑦ landscaping
- ⑧ dark silver sunshading devices
- ⑨ white sunshading devices
- ⑩ patterned gold vertical sunshades



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nettleontribe

elevation three
south 1:400



legend

- 1 metal roof sheeting
- 2 aluminium louvres
- 3 feature 'green' glazing
- 4 standard blue glazing with aluminium powdercoat finish
- 5 glass balustrade with powdercoat finish
- 6 concrete upstand, rendered and painted finish
- 7 landscaping
- 8 prefinished cladding
- 9 patterned gold vertical sunshades
- 10 shopfront glazing



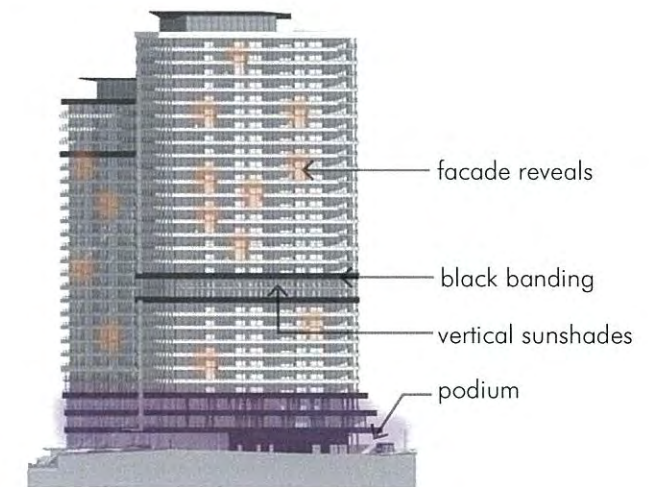
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elevation four

east 1:400

facade variations



legend

- ① standard blue glazing with aluminium powdercoat finish
- ② feature 'green' glazing
- ③ glass balustrade with powdercoat finish
- ④ concrete upstand, rendered and painted finish
- ⑤ prefinished cladding
- ⑥ privacy screen
- ⑦ shopfront glazing
- ⑧ rendered and painted block wall
- ⑨ patterned gold vertical sunshades



Roof 123000 RL
Level 30 117500 RL
Level 29 114500 RL
Level 25 to 29 111500 RL
Level 27 108500 RL
Level 26 105500 RL
Level 25 102500 RL
Level 24 99500 RL
Level 23 96500 RL
Level 22 93500 RL
Level 21 90500 RL
Level 20 87500 RL
Level 19 84500 RL
Level 18 81500 RL
Level 17 78500 RL
Level 16 75500 RL
Level 15 72500 RL
Level 14 69500 RL
Level 13 66500 RL
Level 12 63500 RL
Level 11 60500 RL
Level 10 57500 RL
Level 9 54500 RL
Level 8 51500 RL
Level 7 48500 RL
Typical Plan - Level 5 to 9 & 12 to 20 45500 RL
Level 5 42500 RL
Level 4 39500 RL
Level 3 36500 RL
Level 2 32500 RL
Level 1 28500 RL
Ground 24000 RL
Basement 1 19500 RL

overall section

not to scale

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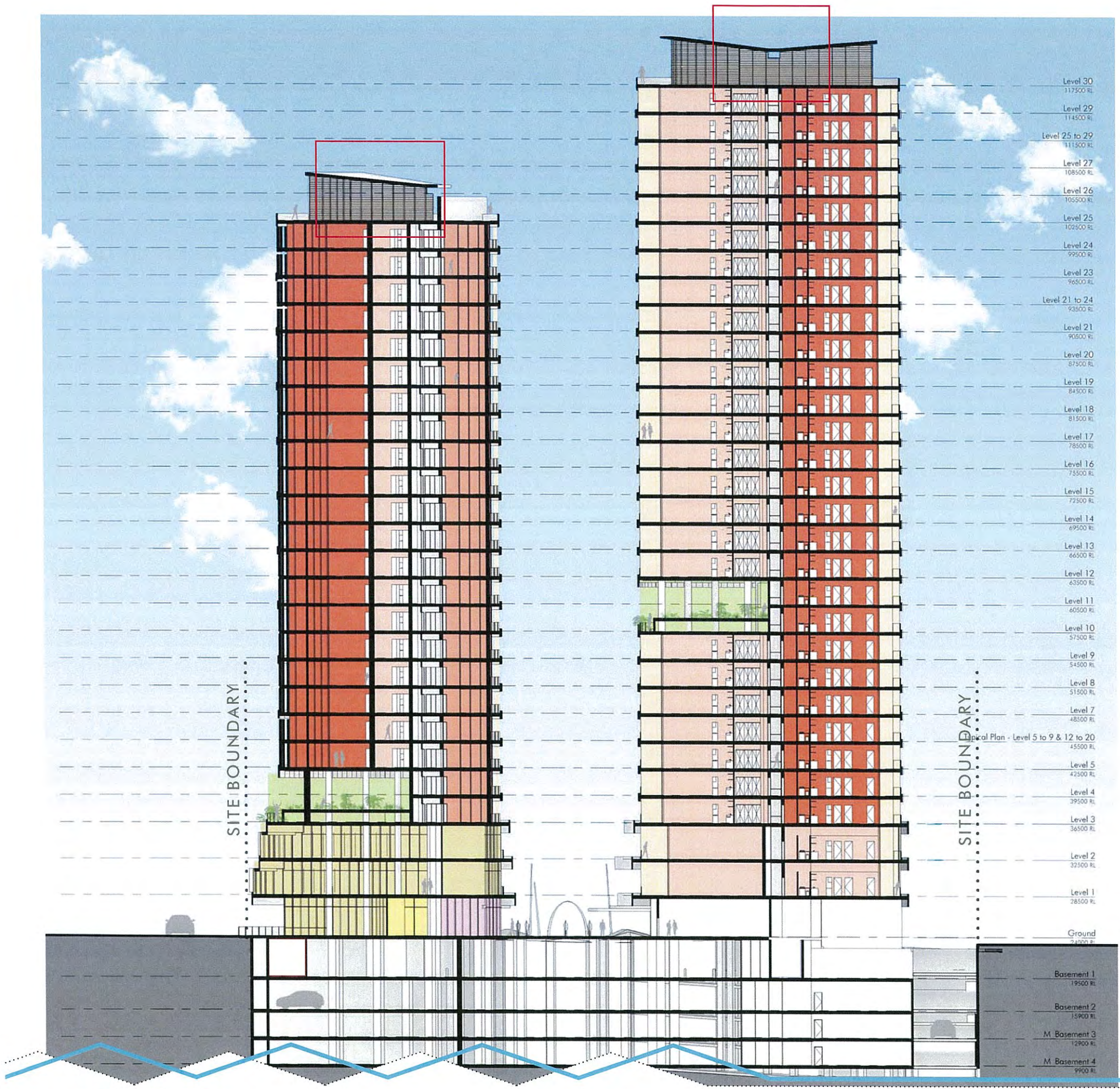
By: Tom Barker (name)

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Overall Section does not illustrate Lift Overrun.
See Elevations for this detail.

legend

- 2 bedroom apartment
- 1 bedroom apartment
- 2 bedroom / 1 bathroom apartment
- recreation deck / landscaping
- balcony
- commercial
- retail



Level 30
117500 RL

Level 29
114500 RL

Level 25 to 29
111500 RL

Level 27
108500 RL

Level 26
105500 RL

Level 25
102500 RL

Level 24
99500 RL

Level 23
96500 RL

Level 21 to 24
93500 RL

Level 21
90500 RL

Level 20
87500 RL

Level 19
84500 RL

Level 18
81500 RL

Level 17
78500 RL

Level 16
75500 RL

Level 15
72500 RL

Level 14
69500 RL

Level 13
66500 RL

Level 12
63500 RL

Level 11
60500 RL

Level 10
57500 RL

Level 9
54500 RL

Level 8
51500 RL

Level 7
48500 RL

Level 5 to 9 & 12 to 20
45500 RL

Level 5
42500 RL

Level 4
39500 RL

Level 3
36500 RL

Level 2
33500 RL

Level 1
28500 RL

Ground
24000 RL

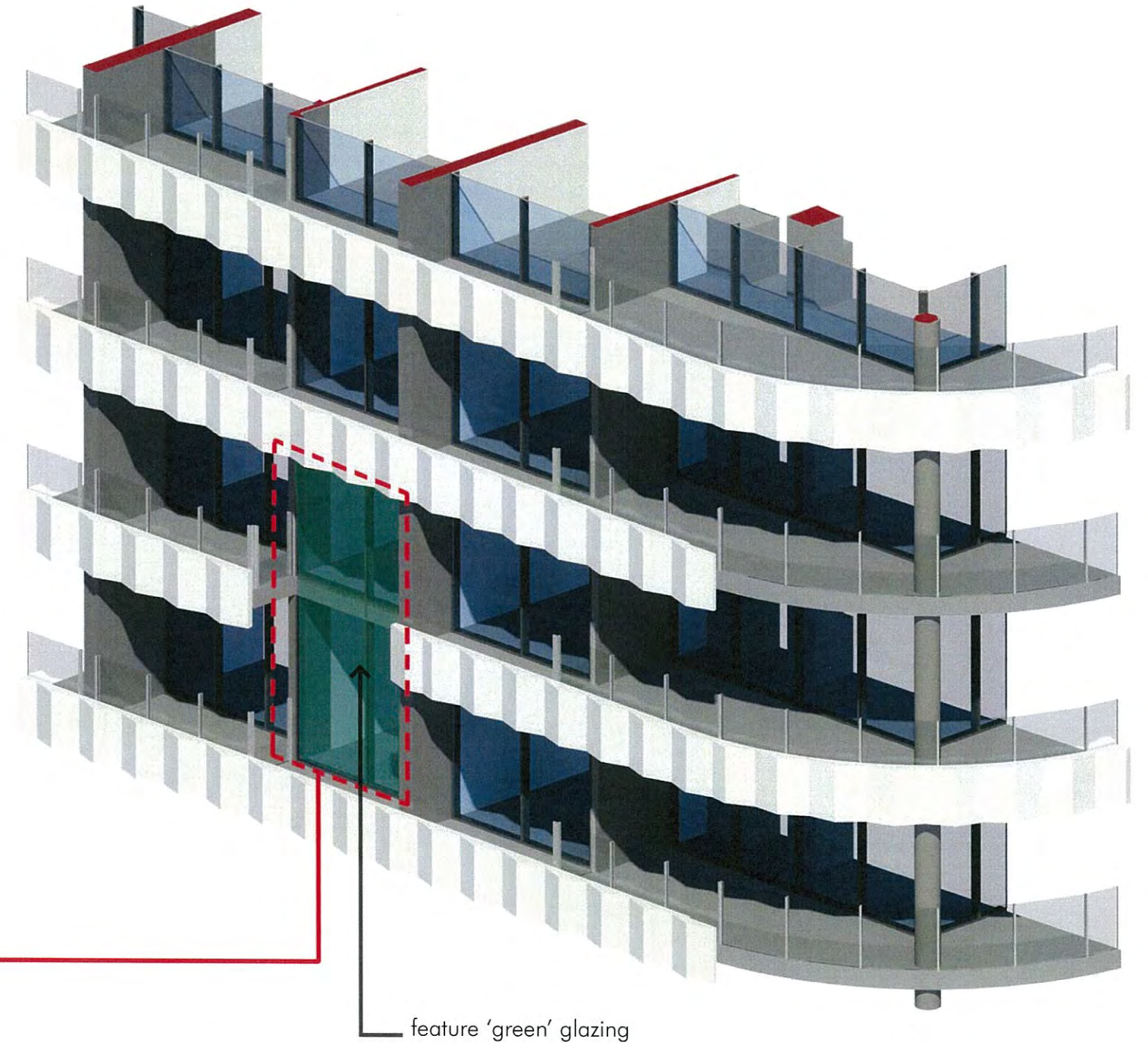
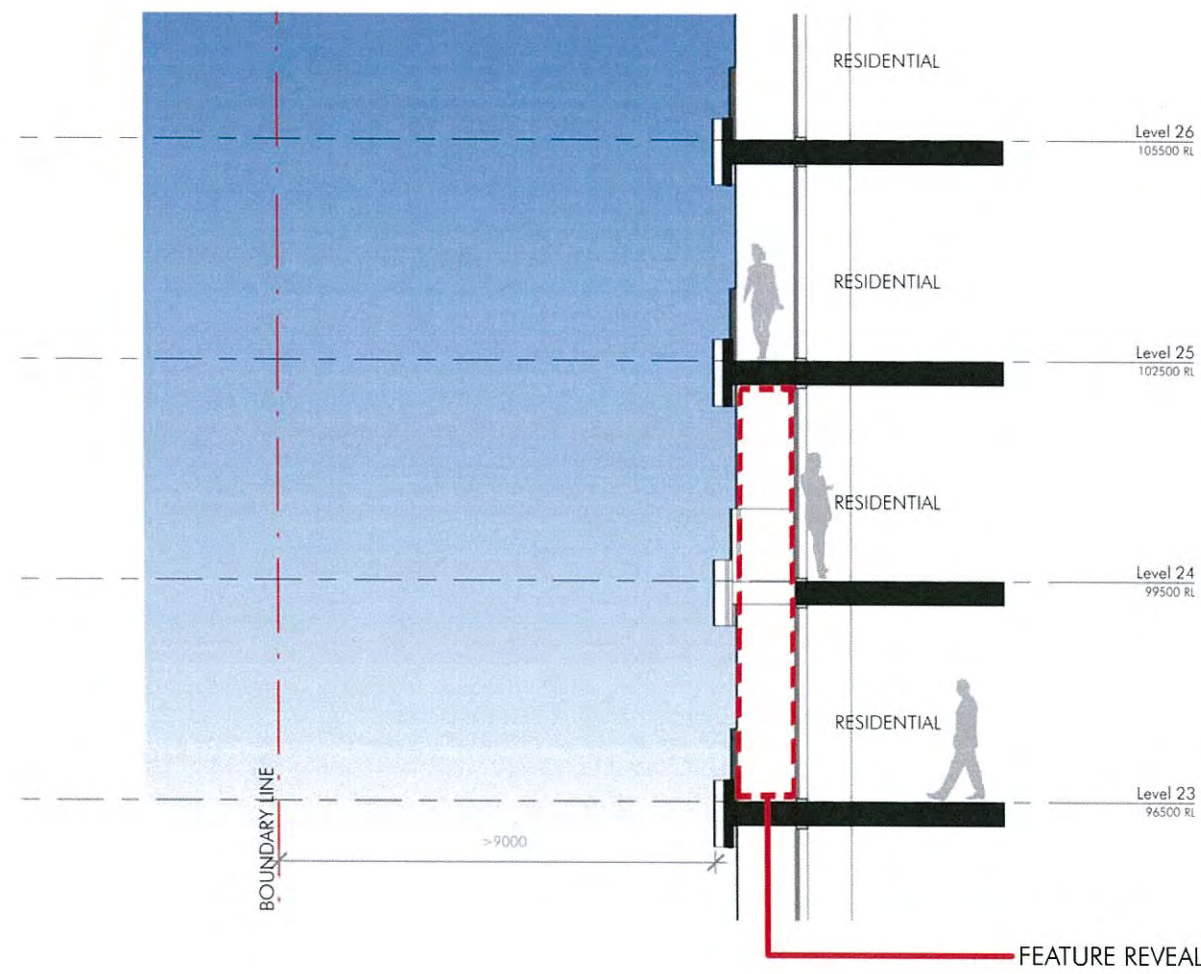
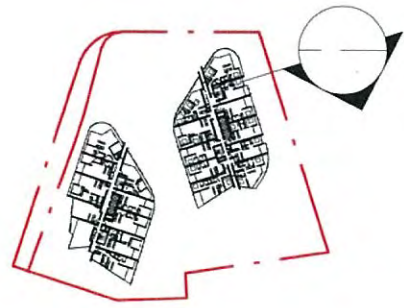
Basement 1
19500 RL

Basement 2
18900 RL

M Basement 3
12900 RL

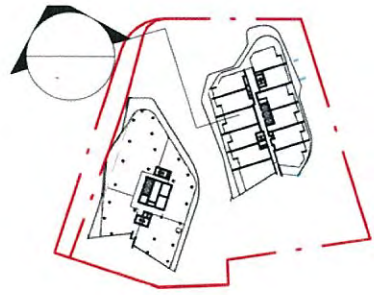
M Basement 4
9900 RL

facade sections
stage one - east

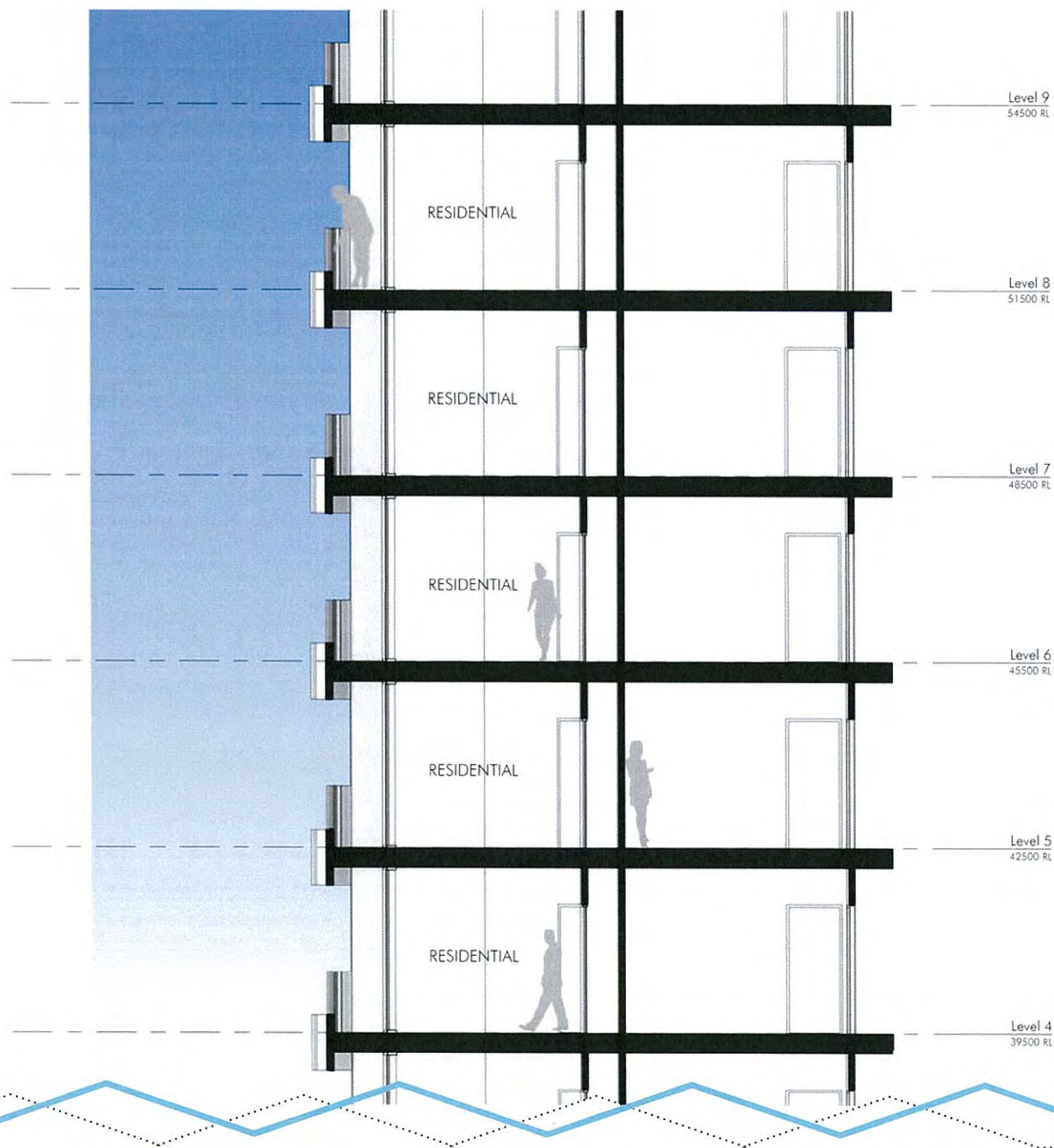


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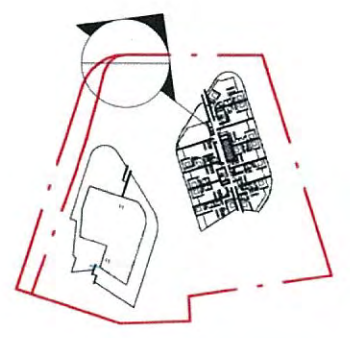


facade sections
stage one - west



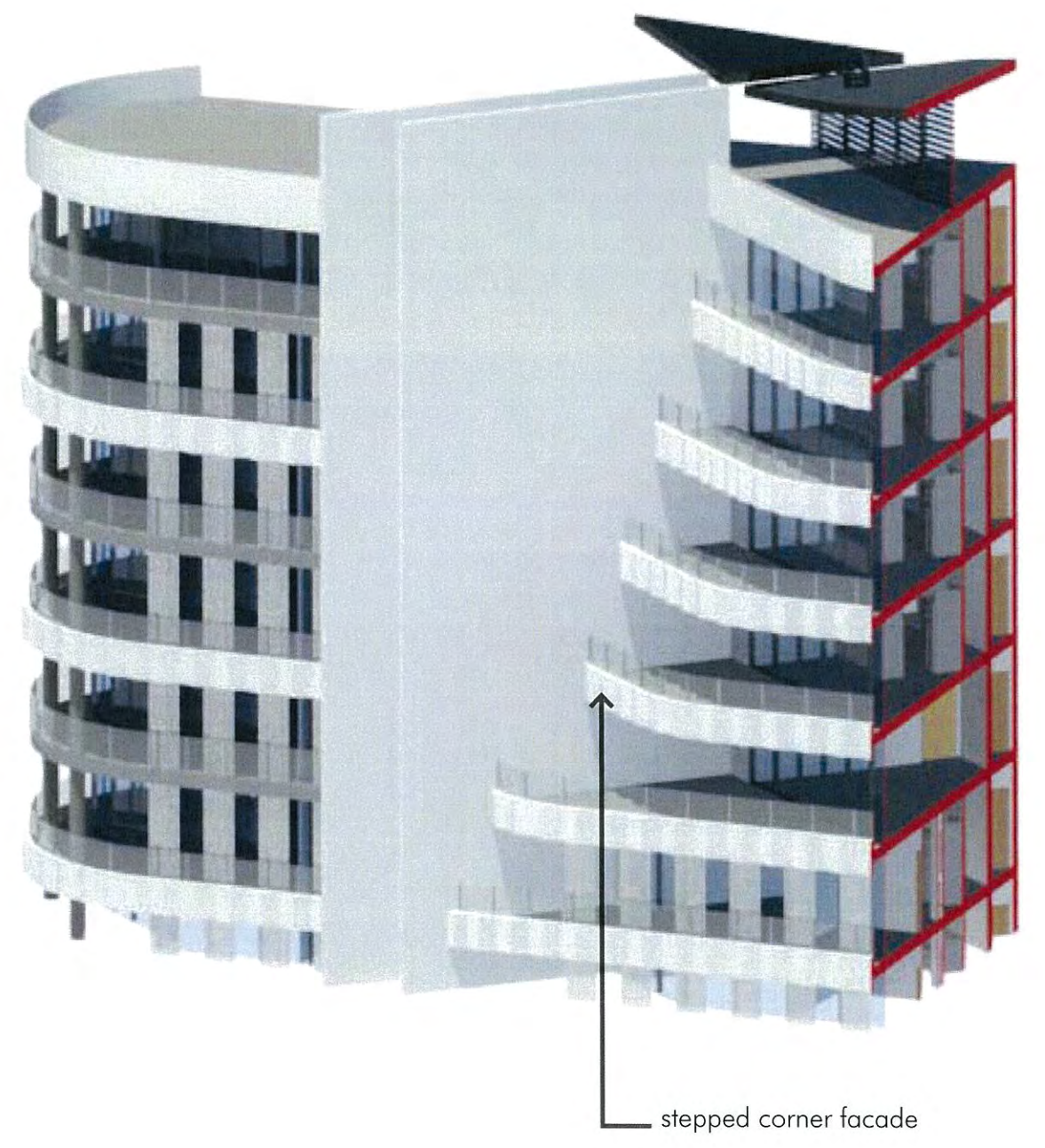
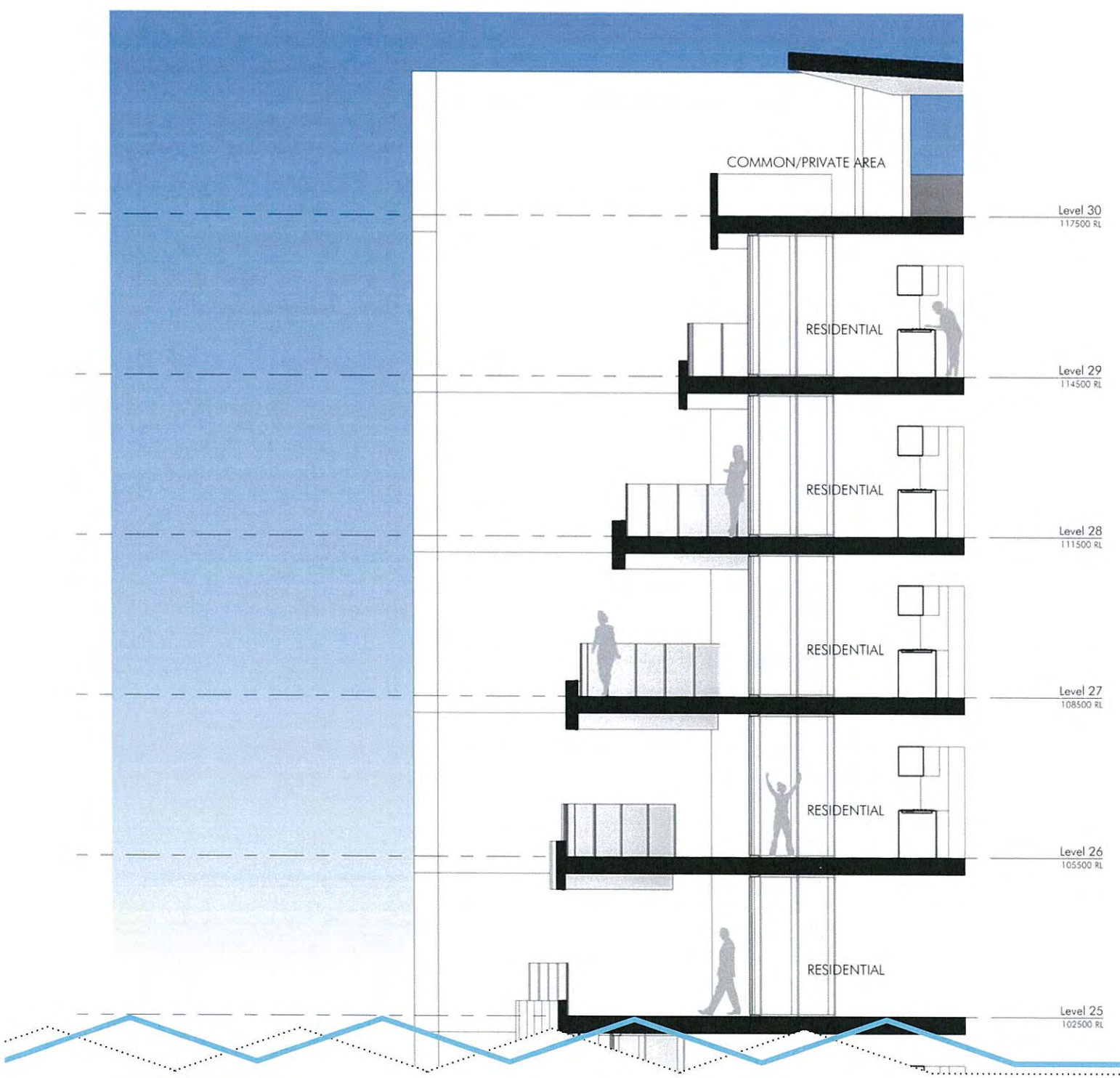
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nettleontribe

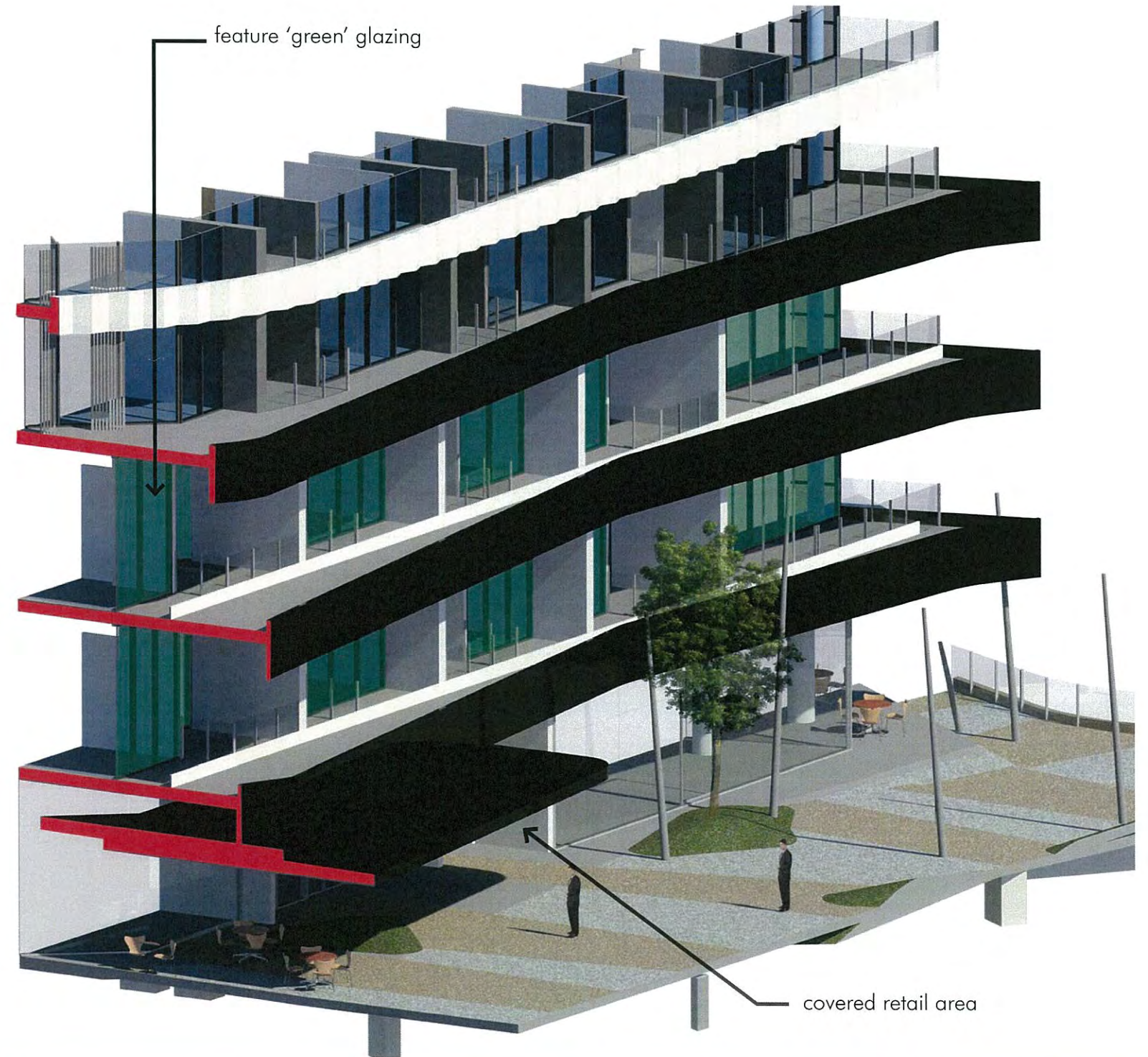
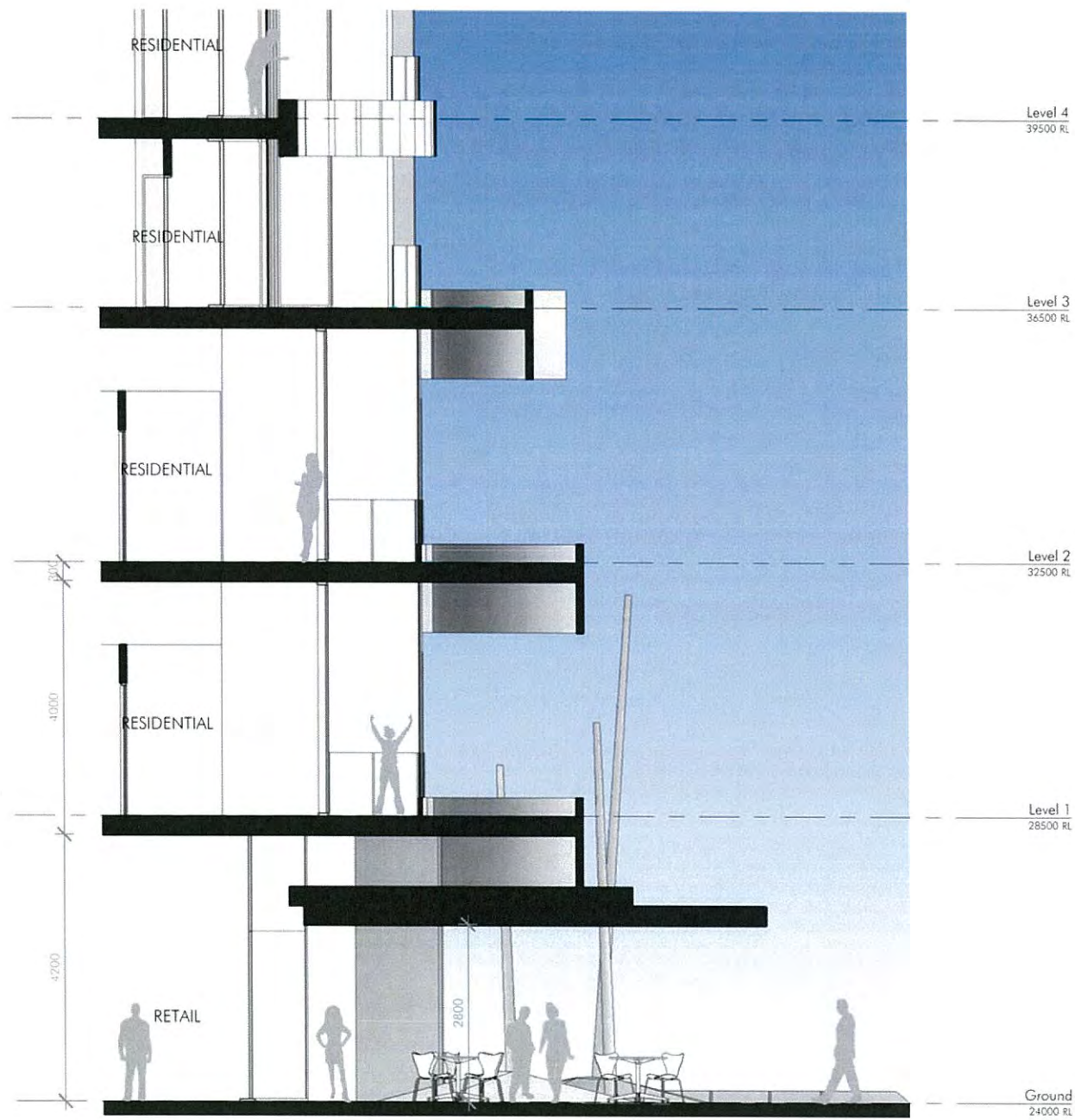
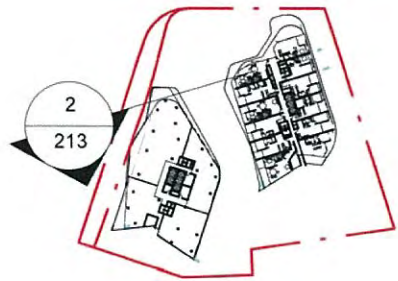


facade sections

stage one - north-west corner



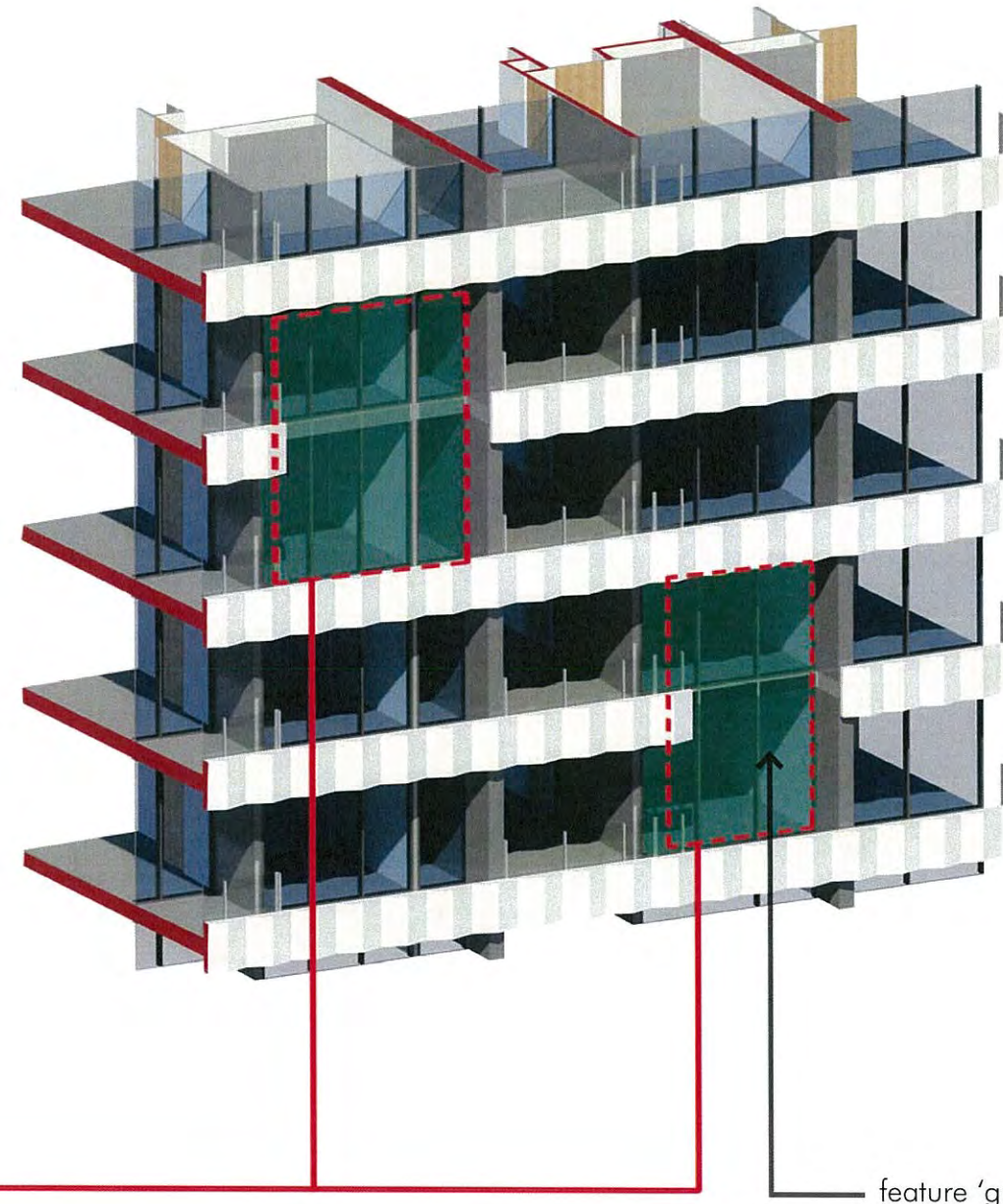
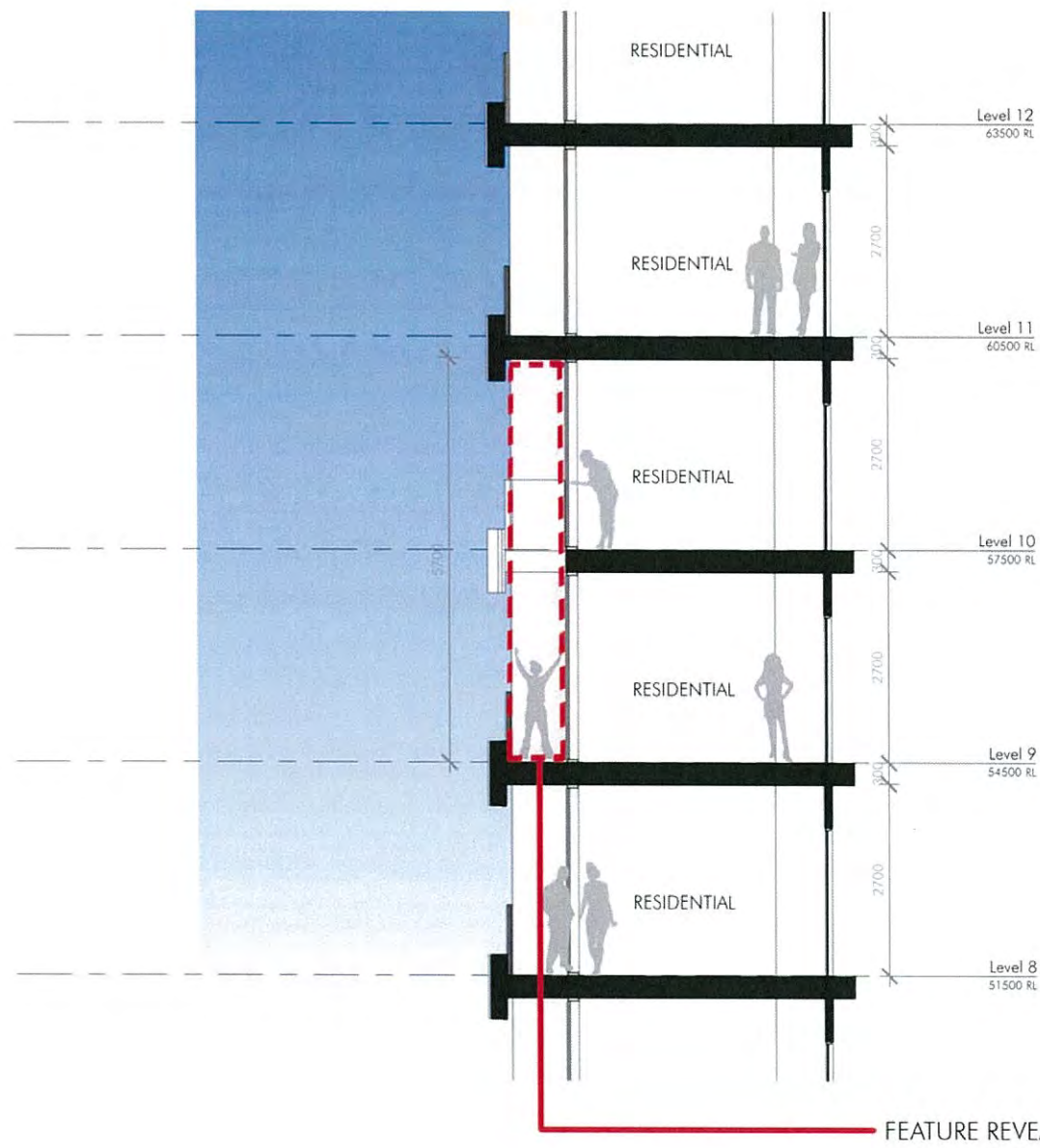
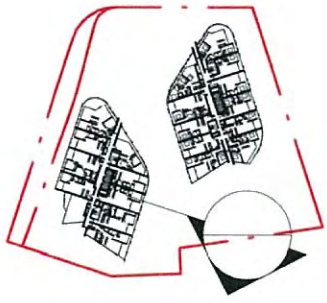
facade sections
stage one - podium



PLANS AND DOCUMENTS
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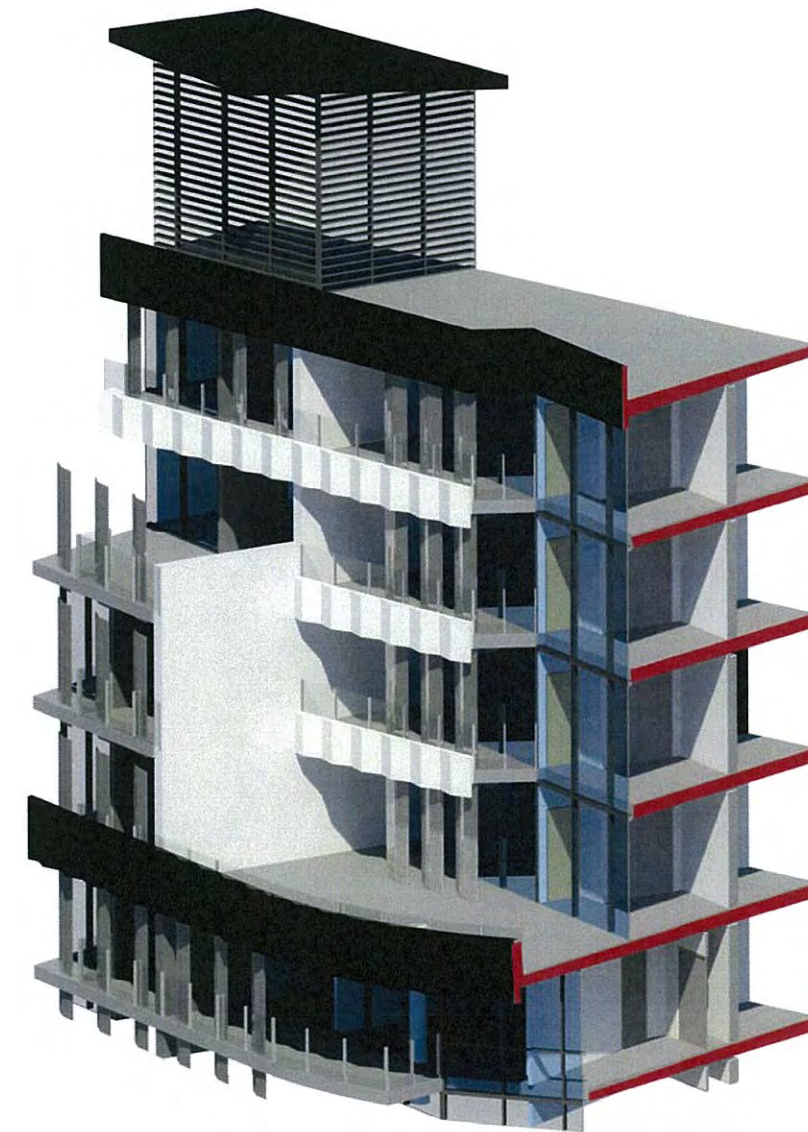
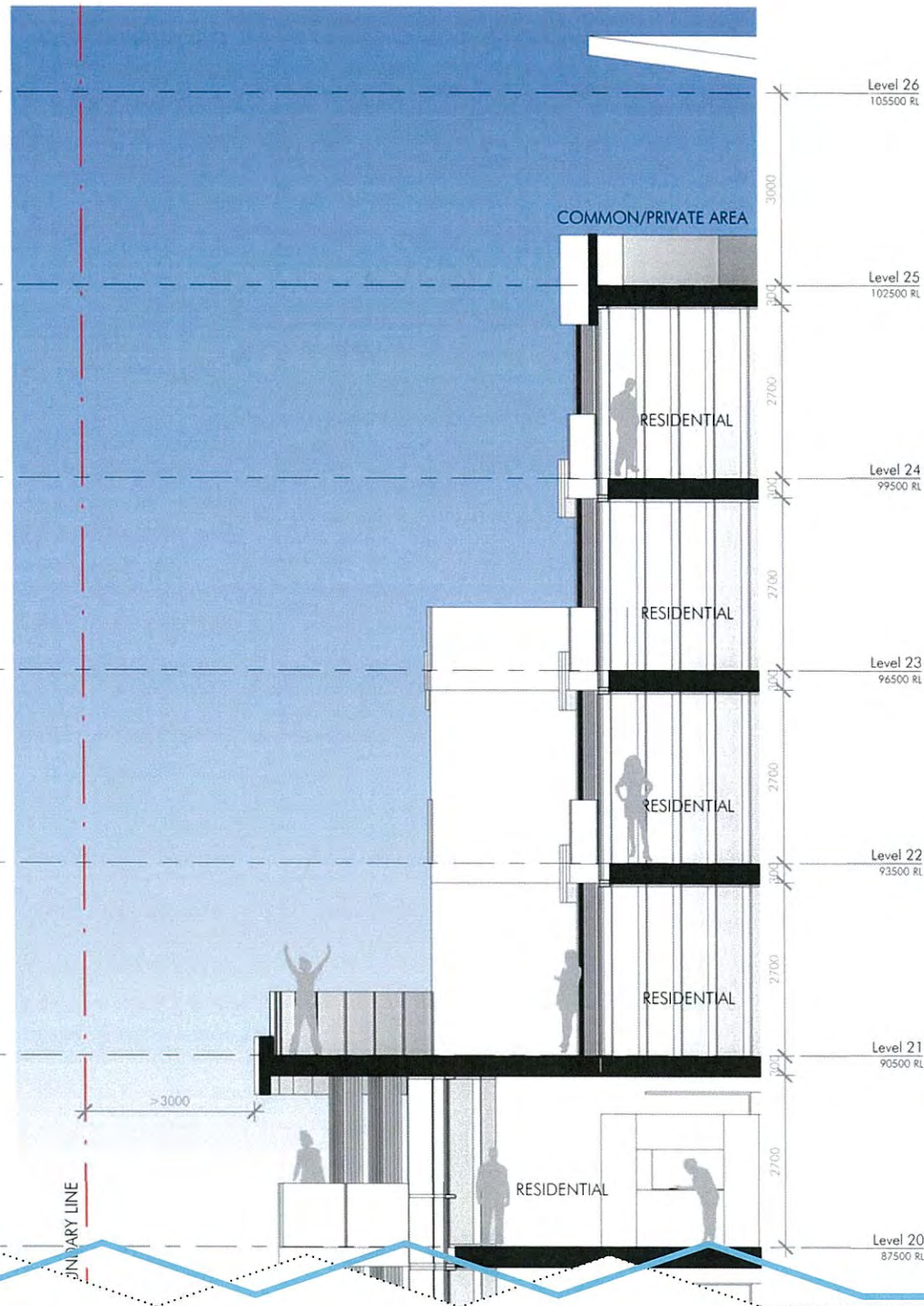
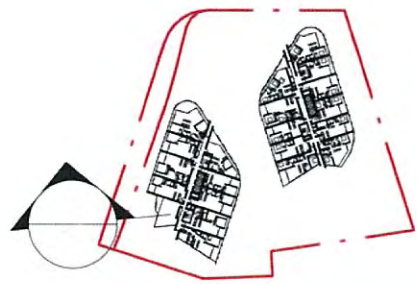
nettleontribe

facade sections
stage two - east



facade sections

stage two - south-west corner

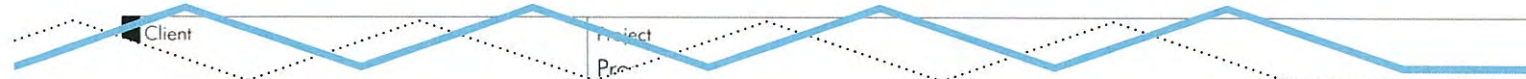
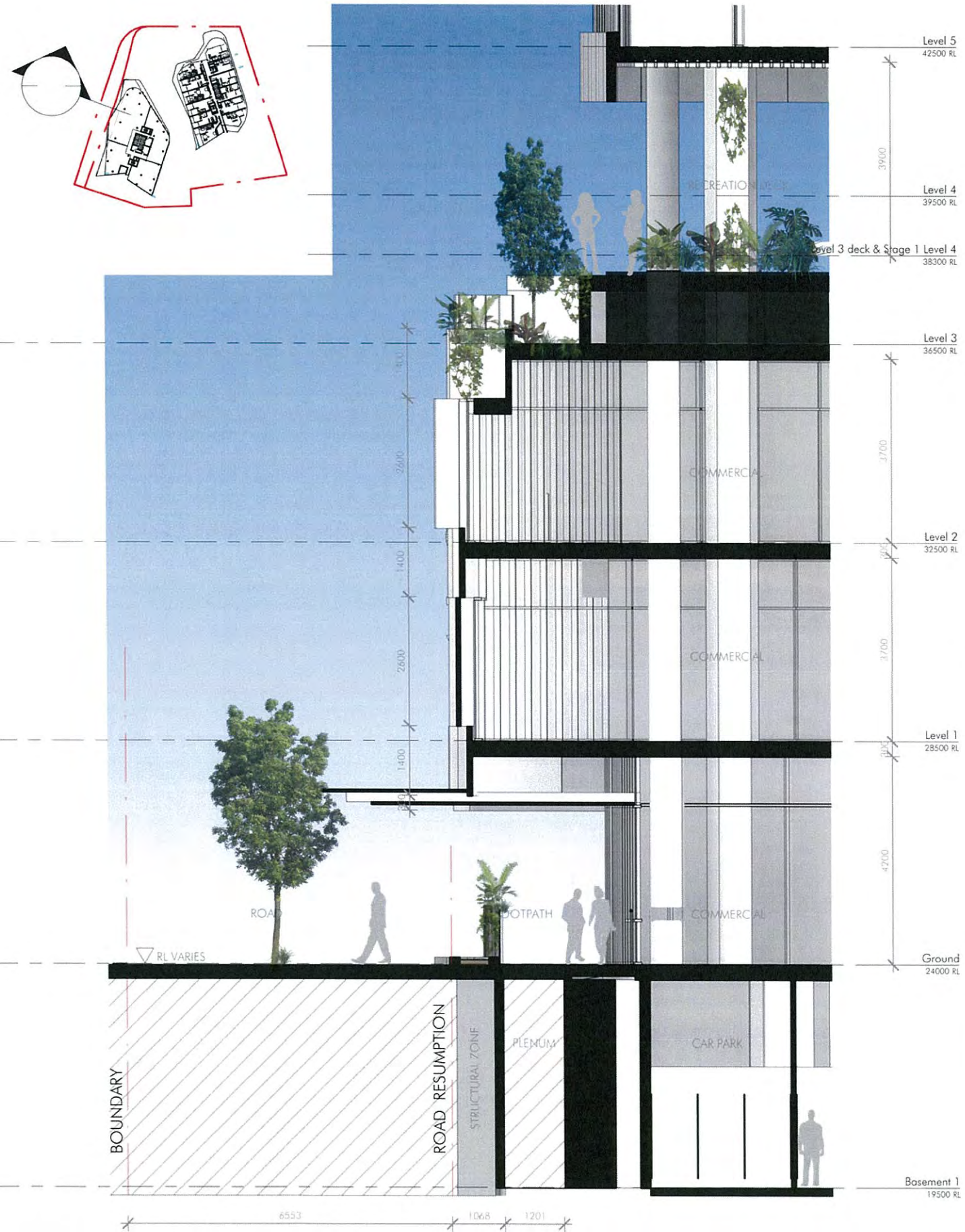


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referred to in the PDA APPROVAL

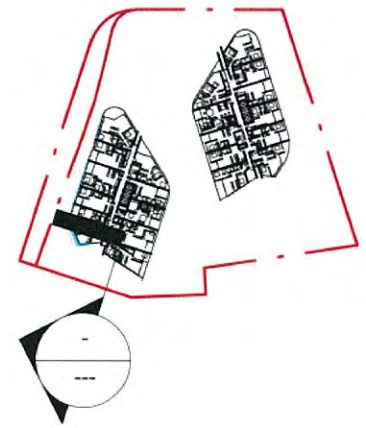
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facade sections
stage two - podium



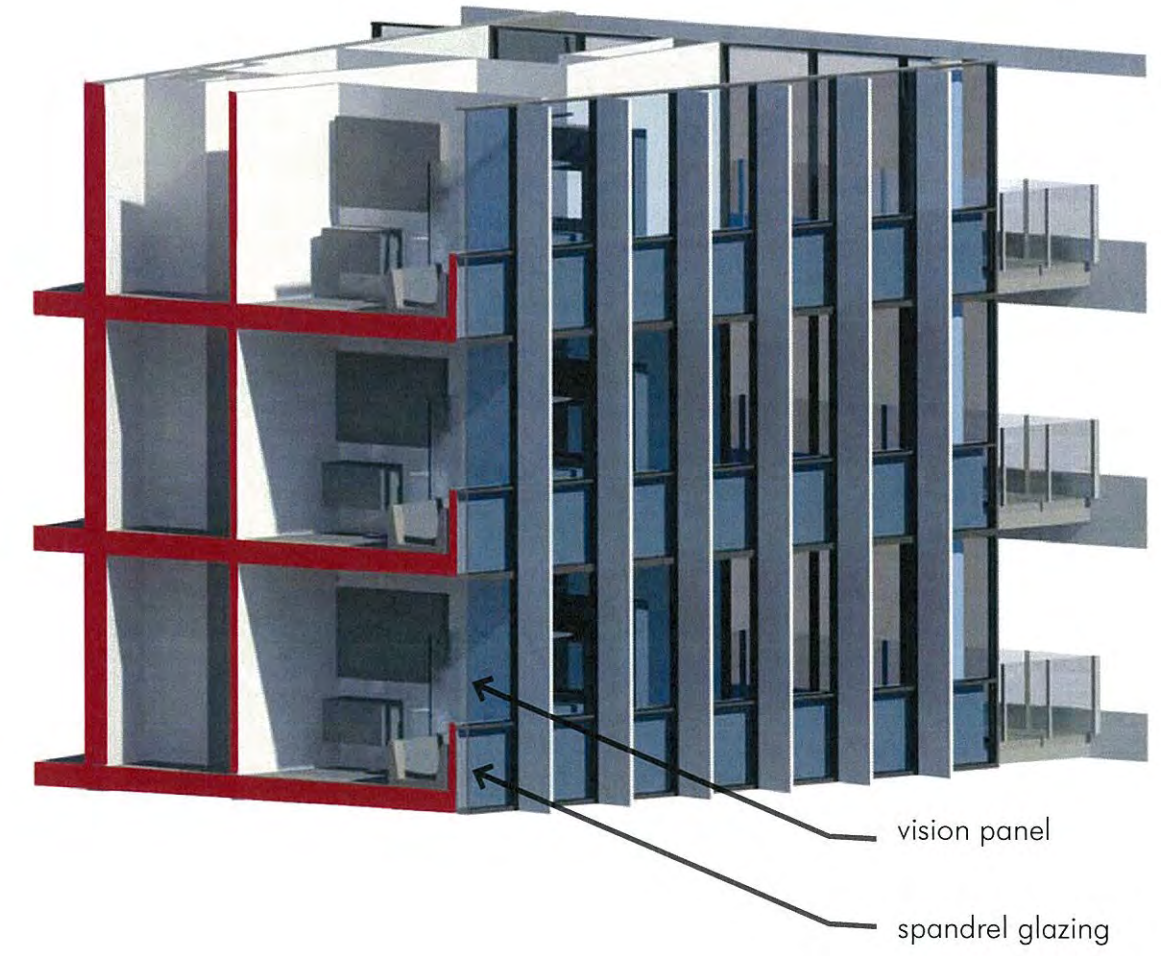
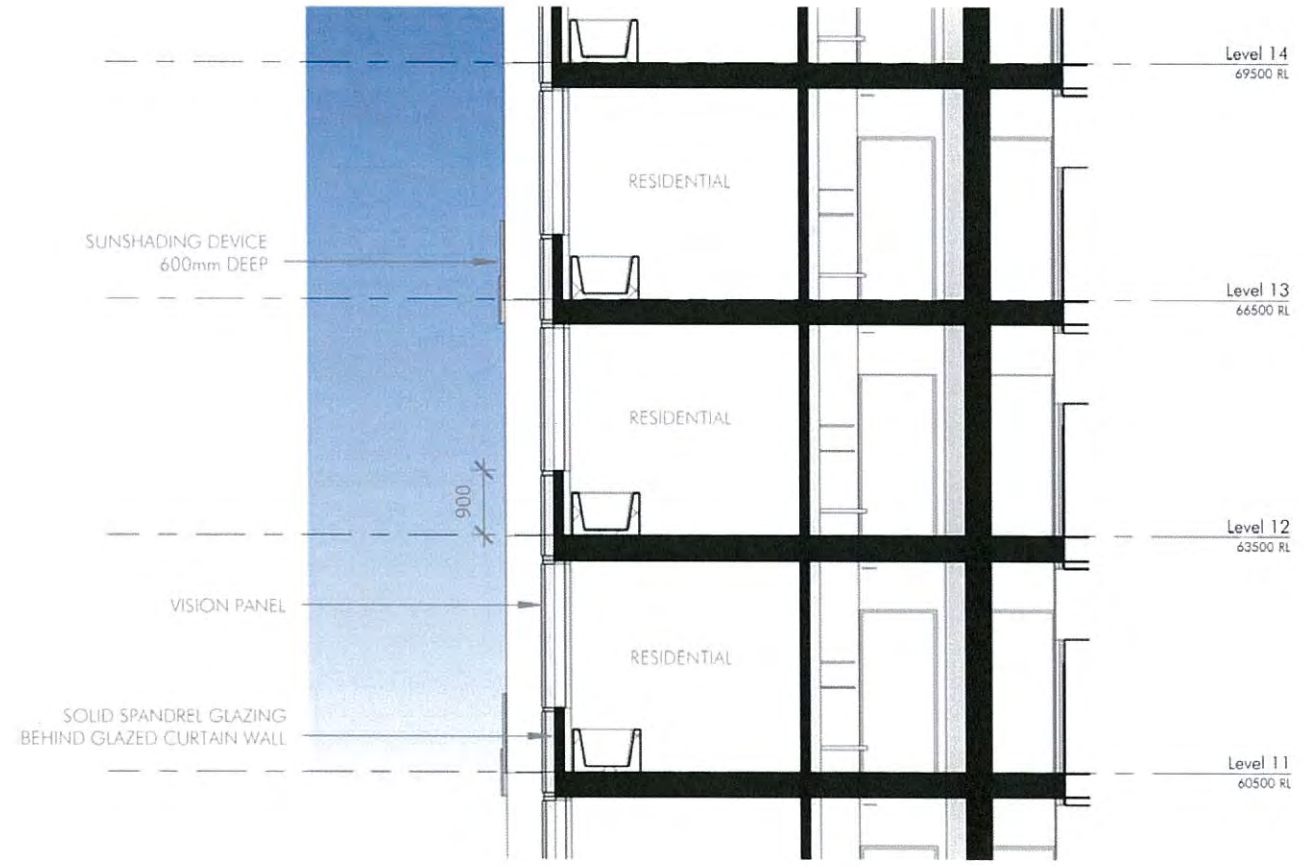
PLANS AND DOCUMENTS
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facade sections

stage two - southern facade

Spandrel glazing is applied to the lower section (900mm) of the habitable spaces in each unit which faces the south and opposing metro development.



GFA plans

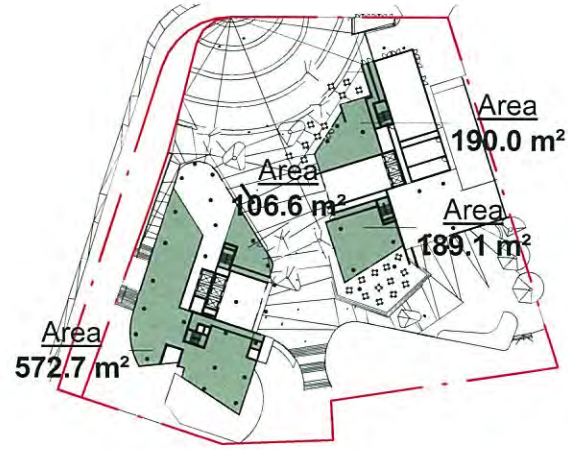
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MEDQ



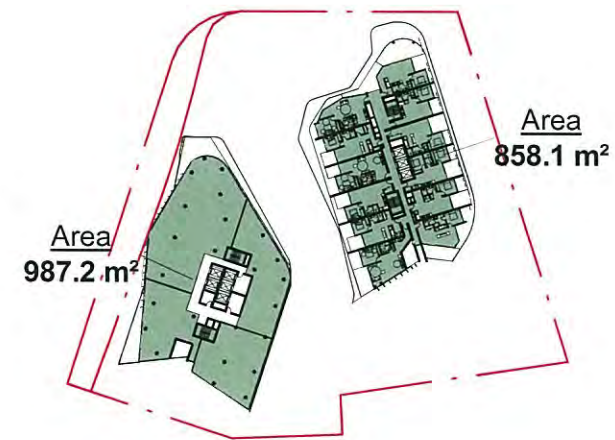
0 Basement 1
1 : 1500



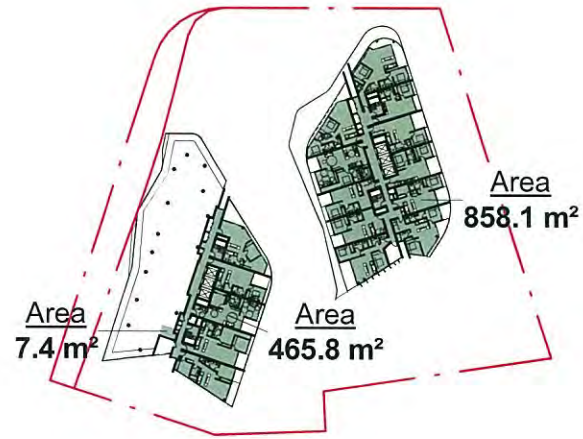
1 Ground
1 : 1500



2 Level 1
1 : 1500



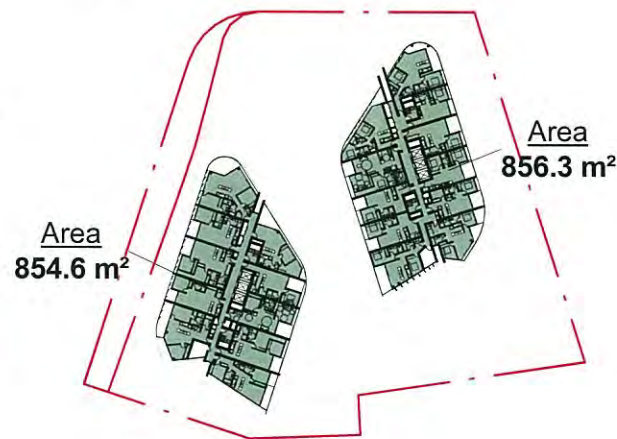
3 Level 2
1 : 1500



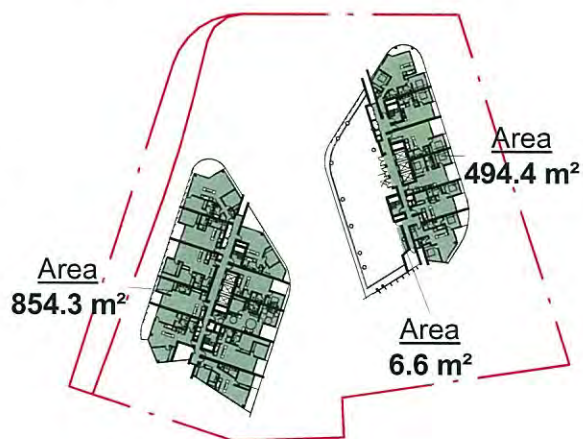
4 Level 3
1 : 1500



9 Level 4
1 : 1500



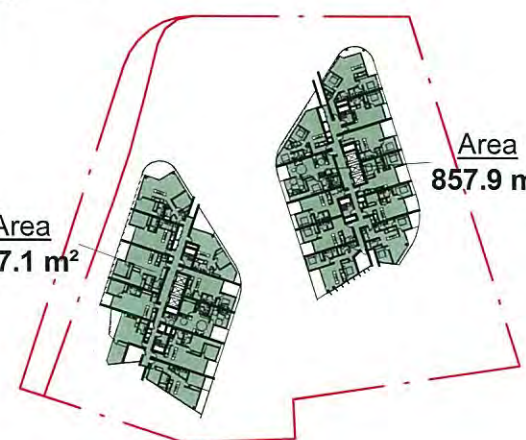
5 Level Typical Plan - 5 to 9 & 12 to 20
1 : 1500



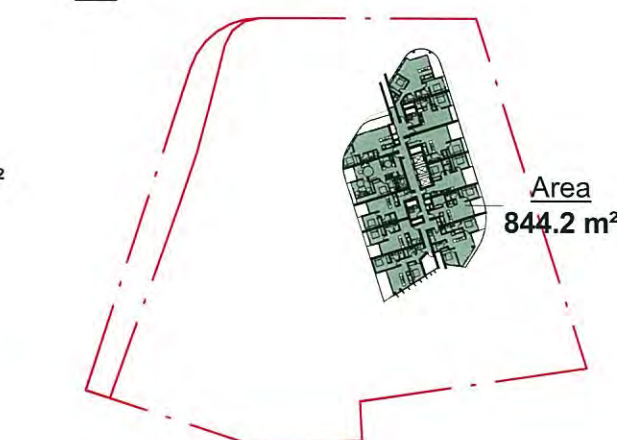
6 Level 10
1 : 1500



10 Level 11
1 : 1500



7 Level 22
1 : 1500



8 Level 25 to 29
1 : 1500

SITE AREA	
(Pre-road widening)=	7 005 m ²

AREA SUMMARY (GFA)	
STAGE 1 =	24 496.9 m ²
STAGE 2 =	20 866.6 m ²
TOTAL :	45 363.5 m ²

NOTE
Areas are measured to outside face of external wall, center of common walls and excludes services, ground floor lobbies, parking & private balconies.

Areas are approximate only and are TBC by surveyor.

PLOT RATIO =	6.48
--------------	------

gregory terrace

publicly accessible public open space

road resumption

brunswick street



AMENDED IN RED

13 AUG 2015

By: Tom Barker (name)
MEDQ

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

14 AUG 2015

MEDQ

Publicly Accessible Public Open Space

GREGORY TERRACE

527

6mX3chord trunc

5.2

6.3 (WIDENING)

6.9 (WIDENING)

6.8 (WIDENING)

5

15

21

25

27

BRUNSWICK STREET

27A

5.4 (WIDENING)

44.0

62

64

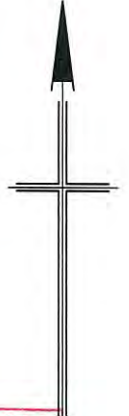
CONCEPT PLAN
FOR COMMENTS ONLY

REDUCED COPY
HALF SIZE

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

14 AUG 2015

MEDQ



NOTE

THE REAL PROPERTY BOUNDARIES SHOWN ON THIS CONCEPT PLAN ARE INDICATIVE ONLY. EXTREME CARE SHOULD BE EXERCISED IN THE USE OF THIS INFORMATION.

VARIATIONS IN CONCEPT TO BE APPROVED BY BCC TRANSPORT & TRAFFIC BRANCH (NETWORK INFORMATION).

FINAL DESIGN PLANS MUST INDICATE THE LOCATION OF THE ACTUAL BOUNDARIES ON BOTH SIDES OF THE ROAD RESERVE, AFTER THEY HAVE BEEN IDENTIFIED BY A LICENSED SURVEYOR.

LEGEND

- EXISTING PROPERTY BOUNDARY _____
- KERB AND CHANNEL - - - - -
- KERB ONLY - - - - -
- PROPOSED PROPERTY REQUIREMENT - - - - -

Nov: 13, 2014, 1:20pm G:\B1\TPS\188 TRAFF_T\TRANS\590 Planning\0\Users\ljp\3\car\PROJECTS\DRAWINGS\BRUNSWICK ST\brunswick-aerial-B.dwg

ISSUE	AMENDMENT	DRAWN DATE	CHK'D DATE	APPR'D DATE
C	Bus bay removed at 527 Gregory Terrace (Brunswick Street frontage)		R.R. 12-11-14	
B	Design altered to TTM widening plan		CVR 17-10-12	
A	Original Issue			

CAD REF: G:\PROJECTS\DRAWINGS\brunswick-aerial.DWG

FULL SIZE A1

DIVISIONAL MANAGER
BRISBANE INFRASTRUCTURE

MANAGER
TRANSPORT AND TRAFFIC

DESIGNED	CVT 6-7-12	FILE NO.	
TRACED		SURVEY NO.	
CHECKED		ASSOCIATED PLANS	



BRISBANE CITY COUNCIL – BRISBANE INFRASTRUCTURE

**CONCEPT DESIGN
PROPOSED ROADWORKS
BRUNSWICK ST– FORTITUDE VALLEY**

NO. 1 IN SET OF 1
RPN677
X B C