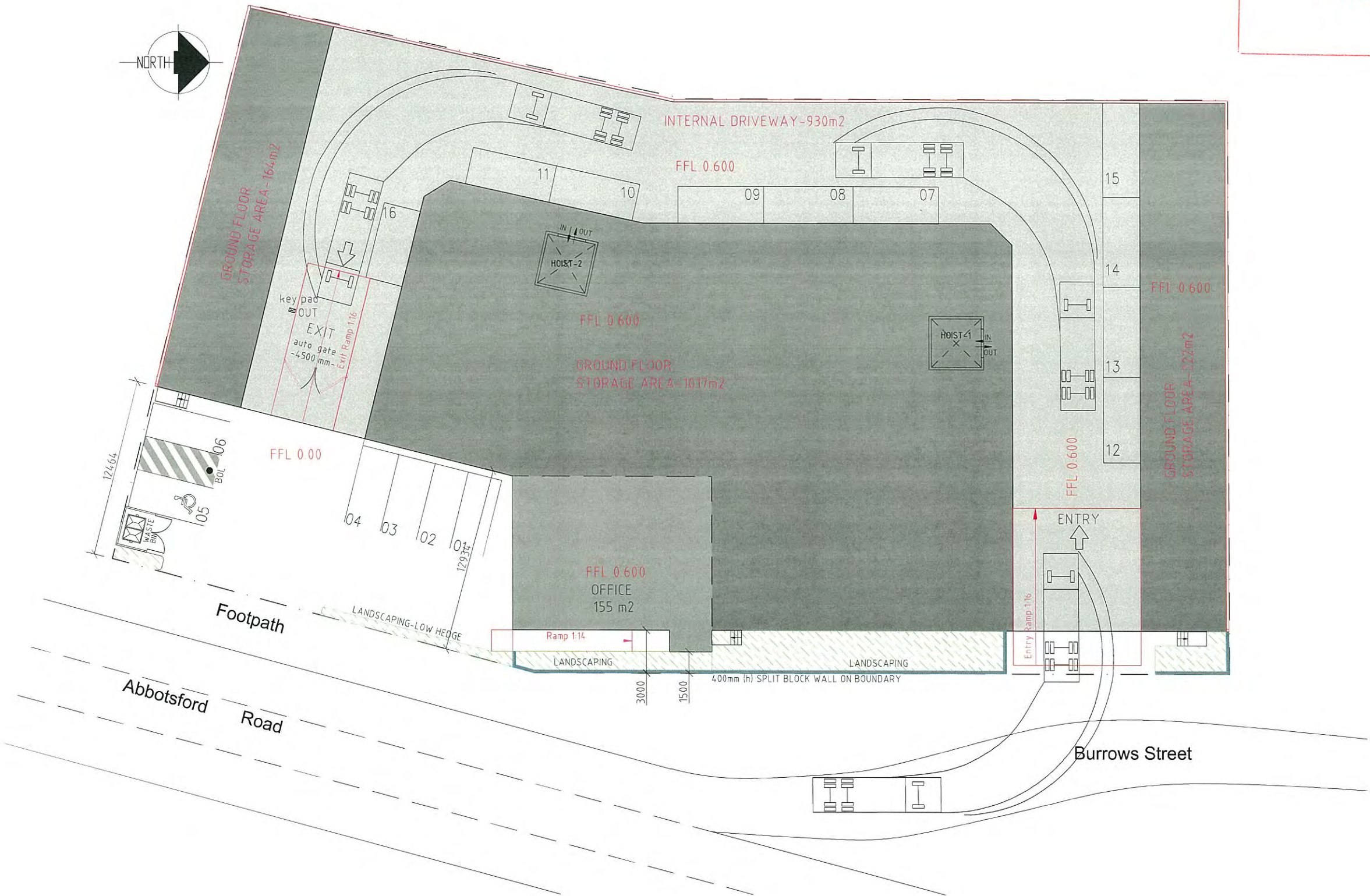


PLANS AND DOCUMENTS  
referred to in the PDA APPROVAL

11 MAY 2015

MEDQ



GROUND FLOOR AREA = 2488 m2  
OFFICE AREA = 155 m2  
STORAGE AREA = 1403 m2  
INTERNAL DRIVEWAY = 930 m2

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

| Rev | Date     | Drn | Description |
|-----|----------|-----|-------------|
| P3  | 05/03/15 | DR  | Preliminary |
| P2  | 04/03/15 | DR  | Preliminary |
| P1  | 04/02/15 | DR  | Preliminary |

|        |     |
|--------|-----|
| CLIENT | SSA |
|--------|-----|

|         |                                                                                              |
|---------|----------------------------------------------------------------------------------------------|
| PROJECT | Proposed New Self Storage Facility<br>192,196 & 200 Abbotsford Road<br>Bowen Hills, QLD 4006 |
|---------|----------------------------------------------------------------------------------------------|

|       |                                                 |
|-------|-------------------------------------------------|
| TITLE | Proposed Site & Building Layout<br>Ground Floor |
|-------|-------------------------------------------------|

|                                                                                                                             |
|-----------------------------------------------------------------------------------------------------------------------------|
| STEEL STORAGE                                                                                                               |
| NORTHPORT BUSINESS PARK<br>Unit-1, 425 Nudgee Road<br>Hendra, Queensland 4011<br>Tel: (07) 3865 1600 Fax: (07) 3865 1713    |
| <small>COPYRIGHT - These drawings remain the property of<br/>Steel Storage Group and are subject to Copyright laws.</small> |

|         |      |          |
|---------|------|----------|
| DRAWN   | NAME | DATE     |
| CHECKED | DR   | 04/02/15 |
| APP'D   |      |          |

|              |            |      |
|--------------|------------|------|
| DRAFTING No. | SCALE @ A1 |      |
| QLD 12-14    | 1:150      |      |
| JOB No.      | DWG. No.   | REV. |
| FB010466     | A01        | P3   |





|              |          |            |  |
|--------------|----------|------------|--|
| DRAFTING No. |          | SCALE @ A1 |  |
| QLD 12-14    |          | 1:150      |  |
| JOB No.      | DWG. No. | REV.       |  |
| FB010466     | A00      | P2         |  |



11 MAY 2015

MEDC



|     |          |     |             |
|-----|----------|-----|-------------|
|     |          |     |             |
|     |          |     |             |
|     |          |     |             |
| P1  | 05/03/15 | DR  | Preliminary |
| Rev | Date     | Drn | Description |

CLIENT  
SSA

PROJECT

Proposed New Self Storage Facility  
192,196 & 200 Abbotsford Road  
Bowen Hills, QLD 4006

| DATE     | TITLE    |
|----------|----------|
| 11/11/11 | 11/11/11 |

### Proposed Ground Floor Layout

## STEEL STORAGE

NORTHPORT BUSINESS PARK  
Unit-1, 425 Nudgee Road  
Hendra, Queensland 4011  
Tel: (07) 3865 1600 Fax: (07) 3865 1713

**COPYRIGHT** - These drawings remain the property of Steel Storage Group and are subject to Copyright laws.

DRAWN

|      |  |
|------|--|
| NAME |  |
| DR   |  |

|      |          |
|------|----------|
| DATE | 05/03/15 |
|------|----------|

|         |
|---------|
| CHECKED |
|---------|

APP'D

|  |  |
|--|--|
|  |  |
|--|--|

|  |  |
|--|--|
|  |  |
|--|--|

**PRELIMINARY  
NOT FOR CONSTRUCTION**

DRAFTING No.  
QLD 12-14

JOB No.  
FB010466

SCALE @ A1  
1:110

DWG. No.  
A02

REV.  
P2



PLANS AND DOCUMENTS  
referred to in the PDA APPROVAL

11 MAY 2015

MEDQ



FIRST FLOOR GFA = 2488 m2

|     |          |     |             |
|-----|----------|-----|-------------|
|     |          |     |             |
|     |          |     |             |
|     |          |     |             |
| P1  | 05/03/15 | DR  | Preliminary |
| Rev | Date     | Drn | Description |

CLIENT  
SSA

PROJECT

Proposed New Self Storage Facility  
192,196 & 200 Abbotsford Road  
Bowen Hills, QLD 4006

| NO. | TITLE |
|-----|-------|
| 1   | 1     |
| 2   | 2     |
| 3   | 3     |
| 4   | 4     |
| 5   | 5     |
| 6   | 6     |
| 7   | 7     |
| 8   | 8     |
| 9   | 9     |
| 10  | 10    |
| 11  | 11    |
| 12  | 12    |
| 13  | 13    |
| 14  | 14    |
| 15  | 15    |
| 16  | 16    |
| 17  | 17    |
| 18  | 18    |
| 19  | 19    |
| 20  | 20    |
| 21  | 21    |
| 22  | 22    |
| 23  | 23    |
| 24  | 24    |
| 25  | 25    |
| 26  | 26    |
| 27  | 27    |
| 28  | 28    |
| 29  | 29    |
| 30  | 30    |
| 31  | 31    |
| 32  | 32    |
| 33  | 33    |
| 34  | 34    |
| 35  | 35    |
| 36  | 36    |
| 37  | 37    |
| 38  | 38    |
| 39  | 39    |
| 40  | 40    |
| 41  | 41    |
| 42  | 42    |
| 43  | 43    |
| 44  | 44    |
| 45  | 45    |
| 46  | 46    |
| 47  | 47    |
| 48  | 48    |
| 49  | 49    |
| 50  | 50    |
| 51  | 51    |
| 52  | 52    |
| 53  | 53    |
| 54  | 54    |
| 55  | 55    |
| 56  | 56    |
| 57  | 57    |
| 58  | 58    |
| 59  | 59    |
| 60  | 60    |
| 61  | 61    |
| 62  | 62    |
| 63  | 63    |
| 64  | 64    |
| 65  |       |

### Proposed First Floor Layout

## STEEL STORAGE

□ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □

NORTHPORT BUSINESS PARK

Unit-1, 425 Nudgee Road  
Hendrie, Queensland 4011

Hendra, Queensland 4011  
Tel: (07) 3865 1600 Fax: (07) 3865 1713

COPYRIGHT - These drawings remain the property of

|         |      |          |
|---------|------|----------|
|         | NAME | DATE     |
| DRAWN   | DR   | 05/03/15 |
| CHECKED |      |          |
| APP'D   |      |          |
|         |      |          |

|                                  |  |                            |                   |
|----------------------------------|--|----------------------------|-------------------|
| DRAFTING No.<br><b>QLD 12-14</b> |  | SCALE @ A1<br><b>1:110</b> |                   |
| JOB No.<br><b>FB010466</b>       |  | DWG. No.<br><b>A03</b>     | REV.<br><b>P1</b> |

**PRELIMINARY  
NOT FOR CONSTRUCTION**



PLANS AND DOCUMENTS  
referred to in the PDA APPROVAL

11 MAY 2015

MEDQ

PLANS AND DOCUMENTS  
referred to in the PDA APPROVAL

11 MAY 2015

MEDQ

PLANS AND DOCUMENTS  
referred to in the PDA APPROVAL

11 MAY 2015

MEDQ



SECOND FLOOR GFA = 2488 m2

|     |          |     |             |
|-----|----------|-----|-------------|
|     |          |     |             |
|     |          |     |             |
|     |          |     |             |
| P1  | 05/03/15 | DR  | Preliminary |
| Rev | Date     | Drn | Description |

CLIENT  
SSA

PROJECT

PROJECT  
Proposed New Self Storage Facility  
192,196 & 200 Abbotsford Road  
Bowen Hills, QLD 4006

| ID | TITLE | DATE | TIME | LOCATION | STATUS |
|----|-------|------|------|----------|--------|
| 1  | ...   | ...  | ...  | ...      | ...    |
| 2  | ...   | ...  | ...  | ...      | ...    |
| 3  | ...   | ...  | ...  | ...      | ...    |
| 4  | ...   | ...  | ...  | ...      | ...    |
| 5  | ...   | ...  | ...  | ...      | ...    |
| 6  | ...   | ...  | ...  | ...      | ...    |
| 7  | ...   | ...  | ...  | ...      | ...    |
| 8  | ...   | ...  | ...  | ...      | ...    |
| 9  | ...   | ...  | ...  | ...      | ...    |
| 10 | ...   | ...  | ...  | ...      | ...    |
| 11 | ...   | ...  | ...  | ...      | ...    |
| 12 | ...   | ...  | ...  | ...      | ...    |
| 13 | ...   | ...  | ...  | ...      | ...    |
| 14 | ...   | ...  | ...  | ...      | ...    |
| 15 | ...   | ...  | ...  | ...      | ...    |
| 16 | ...   | ...  | ...  | ...      | ...    |
| 17 | ...   | ...  | ...  | ...      | ...    |
| 18 | ...   | ...  | ...  | ...      | ...    |
| 19 | ...   | ...  | ...  | ...      | ...    |
| 20 | ...   | ...  | ...  | ...      | ...    |
| 21 | ...   | ...  | ...  | ...      | ...    |
| 22 | ...   | ...  | ...  | ...      | ...    |
| 23 | ...   | ...  | ...  | ...      | ...    |
| 24 | ...   | ...  | ...  | ...      | ...    |
| 25 | ...   | ...  | ...  | ...      | ...    |
| 26 | ...   | ...  | ...  | ...      | ...    |
| 27 | ...   | ...  | ...  | ...      | ...    |
| 28 | ...   | ...  | ...  | ...      | ...    |
| 29 | ...   | ...  | ...  | ...      | ...    |
| 30 | ...   | ...  | ...  | ...      | ...    |
| 31 | ...   | ...  | ...  | ...      | ...    |
| 32 | ...   | ...  | ...  | ...      | ...    |
| 33 | ...   | ...  | ...  | ...      | ...    |
| 34 | ...   | ...  | ...  | ...      | ...    |
| 35 | ...   | ...  | ...  | ...      | ...    |
| 36 | ...   | ...  | ...  | ...      | ...    |
| 37 | ...   | ...  | ...  | ...      | ...    |
| 38 | ...   | ...  | ...  | ...      | ...    |
| 39 | ...   | ...  | ...  | ...      | ...    |
| 40 | ...   | ...  | ...  | ...      | ...    |
| 41 | ...   | ...  | ...  | ...      | ...    |
| 42 | ...   | ...  | ...  | ...      | ...    |
| 43 | ...   | ...  | ...  | ...      | ...    |
| 44 | ...   | ...  | ...  | ...      | ...    |
| 45 | ...   | ...  | ...  | ...      | ...    |
| 46 | ...   | ...  | ...  | ...      | ...    |
| 47 | ...   | ...  | ...  | ...      | ...    |
| 48 | ...   | ...  | ...  | ...      | ...    |
| 49 | ...   | ...  | ...  | ...      | ...    |
| 50 | ...   | ...  | ...  | ...      | ...    |
| 51 | ...   | ...  | ...  | ...      | ...    |
| 52 | ...   | ...  | ...  | ...      | ...    |
| 53 | ...   | ...  | ...  | ...      | ...    |
| 54 | ...   | ...  | ...  | ...      | ...    |
| 55 | ...   | ...  | ...  | ...      | ...    |
| 56 | ...   | ...  | ...  | ...      | ...    |
| 57 | ...   | ...  | ...  | ...      | ...    |
| 58 | ...   | ...  | ...  | ...      | ...    |
| 59 | ...   | ...  | ...  | ...      | ...    |
| 60 | ...   | ...  | ...  | ...      | ...    |
| 61 | ...   | ...  | ...  | ...      | ...    |
| 62 | ...   | ...  | ...  | ...      | ...    |
| 63 | ...   | ...  | ...  | ...      | ...    |
| 64 | ...   | ...  | ...  | ...      | ...    |
| 65 | ...   | ...  | ...  | ...      | ...    |
| 66 | ...   | ...  | ...  | ...      | ...    |
| 67 | ...   | ...  | ...  | ...      | ...    |
| 68 | ...   | ...  | ...  | ...      | ...    |
| 69 | ...   | ...  | ...  | ...      | ...    |
| 70 | ...   | ...  | ...  | ...      | ...    |
| 71 | ...   | ...  | ...  | ...      | ...    |
| 72 | ...   | ...  | ...  | ...      | ...    |
| 73 | ...   | ...  | ...  | ...      | ...    |
| 74 | ...   | ...  | ...  | ...      | ...    |
| 75 | ...   | ...  | ...  | ...      | ...    |
| 76 | ...   | ...  | ...  | ...      | ...    |
| 77 | ...   | ...  | ...  | ...      | ...    |
| 78 | ...   | ...  | ...  | ...      | ...    |
| 79 | ...   | ...  | ...  | ...      | ...    |
| 80 | ...   | ...  | ...  | ...      | ...    |
| 81 | ...   | ...  | ...  | ...      | ...    |
| 82 | ...   | ...  | ...  | ...      | ...    |
| 83 | ...   | ...  | ...  | ...      | ...    |
| 84 | ...   | ...  | ...  | ...      | ...    |
| 85 | ...   | ...  | ...  | ...      | ...    |
| 86 | ...   | ...  | ...  | ...      | ...    |
| 87 | ...   | ...  | ...  | ...      | ...    |
| 88 |       |      |      |          |        |

|       |                              |
|-------|------------------------------|
| TITLE | Proposed Second Floor Layout |
|-------|------------------------------|

STEEL STORAGE

**STEEL STORAGE**

NORTHPORT BUSINESS PARK  
Unit-1, 425 Nudgee Road  
Hendra, Queensland 4011  
Tel: (07) 3865 1600 Fax: (07) 3865 1713

**STEEL STORAGE**  
 NORTHPORT BUSINESS PARK  
 Unit-1, 425 Nudgee Road  
 Hendra, Queensland 4011  
 Tel: (07) 3865 1600 Fax: (07) 3865 1713  
 COPYRIGHT - These drawings remain the property of  
 Steel Storage Group and are subject to Copyright laws.

|         |
|---------|
| DRAWN   |
| CHECKED |
| APP'D   |

|         |            |                  |
|---------|------------|------------------|
| DRAWN   | NAME<br>DR | DATE<br>05/03/15 |
| CHECKED |            |                  |
| APP'D   |            |                  |

**PRELIMINARY  
NOT FOR CONSTRUCTION**

|              |           |
|--------------|-----------|
| DRAFTING No. | QLD 12-14 |
|              | JOB No.   |
|              | FB010466  |

|                                  |  |                            |                   |
|----------------------------------|--|----------------------------|-------------------|
| DRAFTING No.<br><b>QLD 12-14</b> |  | SCALE @ A1<br><b>1:110</b> |                   |
| JOB No.<br><b>FB010466</b>       |  | DWG. No.<br><b>A04</b>     | REV.<br><b>P1</b> |

Q:\08 - Design\AUS - OFFICE\Drawings\2014\QLD\QLD 12-14 Bowens Hills\DRAWINGS-SSA\QLD 12-14 Bowens Hills P3.dwg, 6/03/2015 9:04:23 AM, DWG To PDF.pc3



PLANS AND DOCUMENTS  
referred to in the PDA APPROVAL

11 MAY 2015

MECO



3rd FLOOR GFA = 2488 m2

|     |          |     |             |
|-----|----------|-----|-------------|
| Rev | Date     | Drn | Description |
| P1  | 05/03/15 | DR  | Preliminary |

|        |
|--------|
| CLIENT |
| SSA    |

|                                    |
|------------------------------------|
| PROJECT                            |
| Proposed New Self Storage Facility |
| 192,196 & 200 Abbotsford Road      |
| Bowen Hills, QLD 4006              |

|                            |
|----------------------------|
| TITLE                      |
| Proposed 3rd- Floor Layout |

|                                                        |
|--------------------------------------------------------|
| STEEL STORAGE                                          |
| □□□□□□□□□□□□□□□□□□□□                                   |
| NORTHPORT BUSINESS PARK                                |
| Unit-1, 425 Nudgees Road                               |
| Hendra, Queensland 4011                                |
| Tel: (07) 3865 1600 Fax: (07) 3865 1713                |
| COPYRIGHT - These drawings remain the property of      |
| Steel Storage Group and are subject to Copyright laws. |

|         |      |          |
|---------|------|----------|
| DRAWN   | NAME | DATE     |
| CHECKED | DR   | 05/03/15 |
| APP'D   |      |          |

|                                     |            |      |
|-------------------------------------|------------|------|
| PRELIMINARY<br>NOT FOR CONSTRUCTION |            |      |
| DRAFTING No.                        | SCALE @ A1 |      |
| QLD 12-14                           | 1:110      |      |
| JOB No.                             | DWG. No.   | REV. |
| FB010466                            | A05        | P1   |

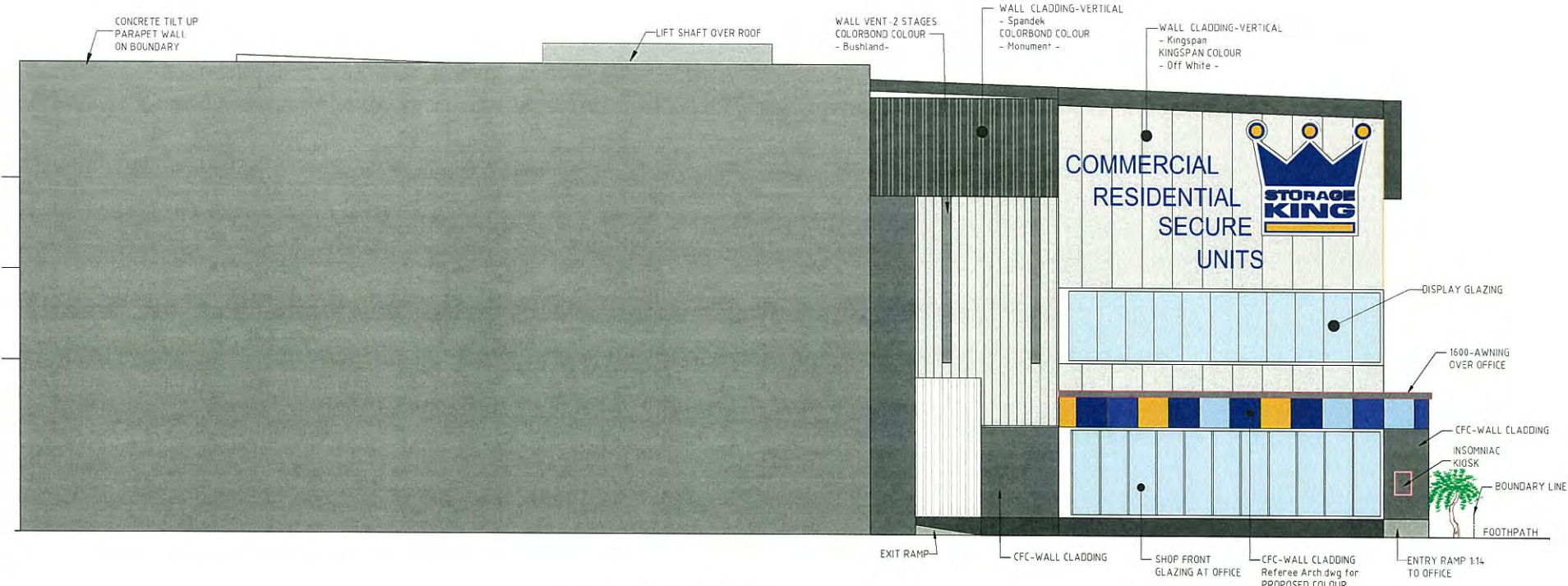


Q:\08 - Design\AUS - OFFICE\Drawings\2014\QLD\QLD 12-14 BOWENS HILLS\DRAWINGS-SSA\QLD 12-14 BOWENS HILLS P3.dwg, 10/02/2015 11:30:58 AM, DWG To PDF.pd3

PLANS AND DOCUMENTS  
referred to in the PDA APPROVAL

11 MAY 2015

MEDQ



01 SOUT ELEVATION  
-- From Abbotsford Road

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

|     |          |     |             |
|-----|----------|-----|-------------|
| Rev | Date     | Drn | Description |
| P1  | 28/11/14 | DR  | Preliminary |

|        |     |
|--------|-----|
| CLIENT | SSA |
|--------|-----|

|         |                                                                                             |
|---------|---------------------------------------------------------------------------------------------|
| PROJECT | Proposed New Self Storage Facility<br>192,196 & 200 Abbotsford Road<br>Bowen Hills,QLD 4006 |
|---------|---------------------------------------------------------------------------------------------|

|       |                    |
|-------|--------------------|
| TITLE | Proposed Elevation |
|-------|--------------------|

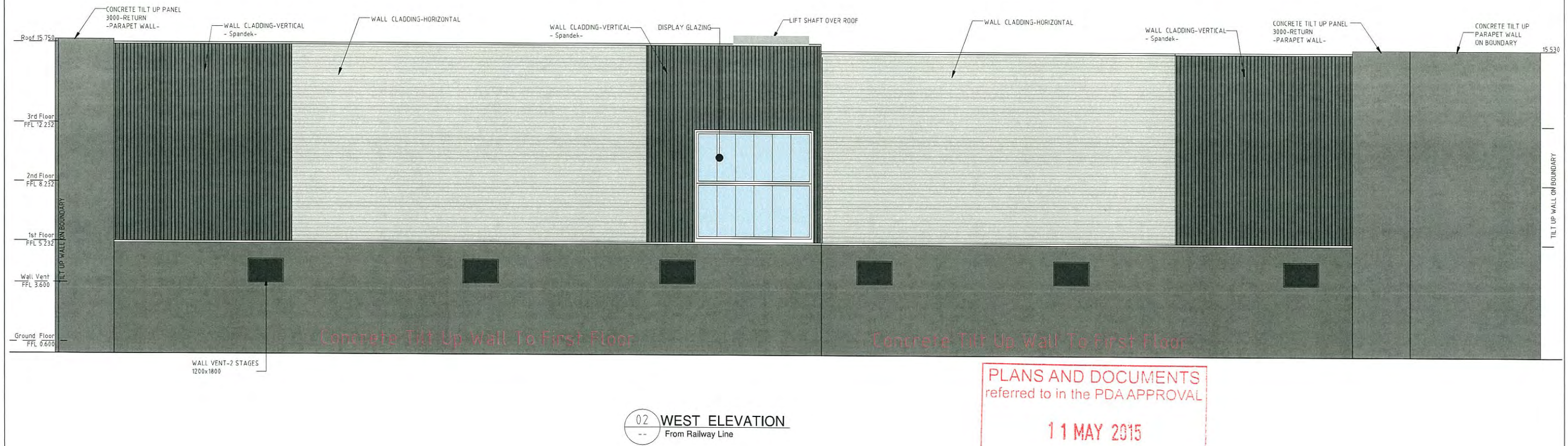
|                                                                                                                         |
|-------------------------------------------------------------------------------------------------------------------------|
| STEEL STORAGE                                                                                                           |
| □□□□□□□□□□□□□□□□□□□□                                                                                                    |
| NORTHPORT BUSINESS PARK<br>Unit-1, 425 Nudgee Road<br>Hendra,Queensland 4011<br>Tel: (07) 3865 1600 Fax: (07) 3865 1713 |
| COPYRIGHT - These drawings remain the property of<br>Steel Storage Group and are subject to Copyright laws.             |

|         |      |          |
|---------|------|----------|
| DRAWN   | NAME | DATE     |
| CHECKED | DR   | 28/11/14 |
| APP'D   |      |          |

|              |            |      |
|--------------|------------|------|
| DRAFTING No. | SCALE @ A1 |      |
| QLD 12-14    | 1:100      |      |
| JOB No.      | DWG. No.   | REV. |
| FB010466     | A06        | P1   |



Q:\08 - Design\AUS-OFFICE\Drawings\2014\QLD\QLD 12-14 Bowers Hills\SSA\QLD 12-14 Bowers Hills P3.dwg, 6/03/2015 9:05:11 AM, DWG To PDF.p3



PLANS AND DOCUMENTS  
referred to in the PDA APPROVAL  
  
11 MAY 2015  
  
MEDCO

**PRELIMINARY  
NOT FOR CONSTRUCTION**

| Rev | Date     | Drn | Description |
|-----|----------|-----|-------------|
| P1  | 05/03/15 | DR  | Preliminary |

|        |     |
|--------|-----|
| CLIENT | SSA |
|--------|-----|

|         |                                                                                              |
|---------|----------------------------------------------------------------------------------------------|
| PROJECT | Proposed New Self Storage Facility<br>192,196 & 200 Abbotsford Road<br>Bowen Hills, QLD 4006 |
|---------|----------------------------------------------------------------------------------------------|

|       |                    |
|-------|--------------------|
| TITLE | Proposed Elevation |
|-------|--------------------|

|                                                                                                                          |
|--------------------------------------------------------------------------------------------------------------------------|
| STEEL STORAGE                                                                                                            |
| NORTHPORT BUSINESS PARK<br>Unit-1, 425 Nudgee Road<br>Hendra, Queensland 4011<br>Tel: (07) 3865 1600 Fax: (07) 3865 1713 |

|         |      |          |
|---------|------|----------|
| DRAWN   | NAME | DATE     |
| CHECKED | DR   | 05/03/15 |
| APP'D   |      |          |

|              |  |          |            |      |
|--------------|--|----------|------------|------|
| DRAFTING No. |  |          | SCALE @ A1 |      |
| QLD 12-14    |  |          | 1:100      |      |
| JOB No.      |  | DWG. No. |            | REV. |
| FB010466     |  | A07      |            | P1   |



## 1.0 GENERAL NOTES

|                                                      |                                |
|------------------------------------------------------|--------------------------------|
| • A.S. - AUSTRALIAN STANDARDS                        | • BCC - BRISBANE CITY COUNCIL  |
| • EP - ESTABLISHMENT PERIOD                          | • O.C. - LANDSCAPE ARCHITECT   |
| • N/A - NOT APPLICABLE                               | • O.C. - ON CENTRE             |
| • m <sup>2</sup> - SQUARE METRE                      | • m <sup>3</sup> - CUBIC METRE |
| • MPa - MAINTENANCE PERIOD                           | • MPa - MEGAPASCALS            |
| • MRTS - MAIN ROADS TECHNICAL STANDARD               |                                |
| • NATA - NATIONAL ASSOCIATION OF TESTING AUTHORITIES |                                |
| • SUPER - SUPERINTENDENT                             | • TYP. - TYPICAL               |
| • Ø - DIAMETRE                                       |                                |

THE LANDSCAPE PLANS MUST BE READ IN CONJUNCTION WITH THE OPERATIONAL WORKS LANDSCAPING DECISION NOTICE ONCE ISSUED. THIS PLAN HAS BEEN DEVELOPED TO COMPLY WITH BCC CITY PLAN 2000.

## PRELIMINARIES

- REFER TO PLANS BY OTHERS FOR ALL SERVICES LOCATIONS, FOOTPATH WORKS, LEVELS (OTHER THAN THOSE INDICATED ON THESE PLANS) & BOUNDARIES. ALL SERVICES & RELATED INFRASTRUCTURE INCLUDING STREET LIGHTING SHOWN ON THESE PLANS ARE INDICATIVE ONLY.
- **CALL DIAL BEFORE YOU DIG 11 00 PRIOR TO ANY EXCAVATION.**
- BEFORE WORK COMMENCES THE SUBCONTRACTOR IS TO ORGANISE A PRE-START MEETING WITH THE LA TO ESTABLISH SCOPE OF WORKS MANAGEMENT PROCEDURES & CLARIFY ANY ISSUES.
- INSTALL TREE PROTECTION MEASURES PER PLANS & DETAIL AS REQUIRED.
- PRIOR TO COMMENCING CONSTRUCTION WORKS, VERIFY DIMENSIONS, LEVELS & LOCATION OF SITE SERVICES, REFER ENGINEER'S DRAWINGS GENERALLY.
- **DIMENSIONS TAKE PRECEDENCE OVER SCALE.**
- CONTRACTOR TO REVIEW ALL SCHEDULES HEREIN TO CONFIRM THEIR CORRELATION TO THESE PLANS. WHERE DISCREPANCIES OCCUR WITHIN LANDSCAPE DOCUMENTATION REFER TO LA PRIOR TO PROVISION OF TENDER PRICING &/OR CONSTRUCTION.

- THE LANDSCAPE CONTRACTOR TO IMPLEMENT & MAINTAIN FOR THE CONTRACT DURATION, BEST PRACTICE EROSION & SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE MANUAL FOR EROSION & SEDIMENT CONTROL (MAROON MANUAL), GOOD ENVIRONMENTAL PRACTICE & THE CONSULTING CIVIL ENGINEERS SPECIFICATION FOR EROSION & SEDIMENT CONTROL. PENALTIES & FINES FOR NON-COMPLIANCE WILL APPLY.
- INSTALL SILT CONTROL FENCING IN ACCORDANCE WITH SITE ENVIRONMENTAL MANAGEMENT PLAN & LOCAL AUTHORITY REGULATIONS.
- SEDIMENT & EROSION CONTROL DEVICES TO BE INSTALLED WHERE NECESSARY & AS DIRECTED ON SITE BY SUPER.
- ALL SEDIMENT & EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING SEDIMENT & EROSION CONTROL DEVICES ARE INSPECTED & MAINTAINED AS FOLLOWS:
  - a.) DURING CONSTRUCTION:
    - DAILY DURING DRY WEATHER
    - PRIOR TO PREDICTED STORM EVENTS
    - TWICE DAILY DURING PROLONGED RAIN
    - WEEKLY DURING DRY WEATHER
    - PRIOR TO PREDICTED STORM EVENTS
    - TWICE WEEKLY DURING PROLONGED RAIN
  - b.) DURING ESTABLISHMENT PERIOD:
    - ALL STOCKPILES ARE TO BE PROTECTED WITH SUITABLE EROSION CONTROL DEVICES & GRADED TO ENSURE CONTROL OF RUNOFF.
- COORDINATE INSTALLATION OF SEDIMENT & EROSION CONTROL DEVICES WITH CIVIL

- REMOVE ALL UNWANTED MATERIAL, DELETERIOUS & OPERATIONAL DEBRIS FROM SITE.
- PLAN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- VERIFY ALL DIMENSIONS IN-THE-FIELD.
- WHERE BAD GROUND OCCURS OR LEVELS PROVIDED ARE NOT FUNCTIONAL REFER TO LA.
- ENSURE SITE DRAINAGE CAN OCCUR TO WHOLE OF SITE & WHERE PATHS, EDGES, & GARDENS ETC. MAY IMPEDE DRAINAGE, REFER TO SUPER BEFORE CONTINUING WORKS.
- ENSURE DRAINAGE WORKS CORRELATE WITH ADJACENT LAND.
- CIVIL DESIGN HAS PROVIDED A POSITIVELY DRAINED SITE HOWEVER, WHERE DRAINAGE ISSUES ARE IDENTIFIED REFER SUPER.
- REFER TO 4.0 LANDSCAPE CONSTRUCTION - DRAINAGE FOR MORE INFORMATION.

- IMPORT NATA APPROVED MRTS 166 TOPSOIL, & SPREAD TO PROPOSED PLAN FINISH LEVELS.
- AMEND IMPORTED SOILS SHALL THEN BE AMENDED PER TEST RESULTS PRIOR TO SPREADING.
- ENSURE SMOOTH, FLOWING, EVEN GRADES AND POSITIVE DRAINAGE WITH NO PONDING TO FALL PERCENTAGES SHOWN ON PLAN, 3% (MINIMUM 2%), FINISHED GRADES SHALL BLEND INTO EXISTING GRADES PROVIDING A NATURAL APPEARANCE WITH NO ABRUPT EDGES.
- ENSURE 2% MINIMUM SLOPE AWAY FROM ALL STRUCTURES TO PITS OR SWALES.
- TRIM TOPSOILS FOR LAWNS.

## LEVELS

- SEE PLAN FOR ENGINEER'S PLAN LEVELS & PROPOSED LEVELS.
- VERIFY ALL LEVELS, CONDITIONS, & UTILITY LOCATIONS IN-THE-FIELD INCLUDING ALL INVERTS. IF A DISCREPANCY OCCURS NOTIFY SUPER.
- LEVELS TO BE CONFIRMED BY A QUALIFIED/LICENSED SURVEYOR. SEE PLANS FOR LEVEL SOURCES.
- GRADE EVENLY BETWEEN PRESCRIBED LEVELS & FINISHED SURFACE LEVELS ENSURING POSITIVE DRAINAGE & NO PONDING AREAS.
- EXCEPT WHERE INDICATED OR SPECIFIED (I.E. ALLOWING FOR MULCHING), FINISHED SURFACE LEVELS ARE TO BE FLUSH WITH ADJACENT SURFACES & GRADED EVENLY BETWEEN DESIGN AND FINISH LEVELS.
- CO-ORDINATE ESTABLISHMENT OF LEVELS WITH SUPER.

- ALL FIELD INLETS & SUBSURFACE DRAINS TO BE CONNECTED TO STORMWATER DRAINAGE SYSTEM. REFER ENGINEER'S DRAWINGS FOR DRAINS & HYDRAULIC SERVICES.
- SUBSURFACE DRAIN TO BE 100mm MINIMUM AG-FLOW PIPE CENTRED IN 300mm x 300mm GRAVEL TRENCH SURROUNDED BY LA APPROVED PERMEABLE BIDUM.
- LANDSCAPE FIELD INLETS TO BE 300mm x 300mm x 450mm POLYCRETE PITS WITH HOT DIPPED GALVANISED SURFACE GRATE/LID. DETERMINE REQUIREMENTS ON-SITE IN ADDITION TO THOSE ON PLANS.
- ENSURE ALL DAMAGED STORMWATER PIPES ARE REPLACED & RELOCATED AS NECESSARY.
- STORMWATER DRAINAGE TO BE 100mm MINIMUM uPVC DRAINAGE PIPE.
- ENSURE SITE DAMAGE CAN OCCUR TO WHOLE OF SITE & WHERE PITS, EDGES & GARDENS ETC. MAY IMPEDE DRAINAGE; REFER TO SUPER BEFORE CONTINUING WORKS.
- ENSURE DRAINAGE WORKS CORRELATE WITH, & DO NOT DISTURB, ADJACENT LAND.
- SEE LEGEND FOR PLAN SYMBOLS & PLANS FOR LOCATIONS.
- INSTALL 35 - 65mmØ. SOUND, WASHED RIVER GRAVEL 150mm DEEP OVER PINNED MATT MATT AT PLAN NOMINATED AREAS.

## NEW GARDENS

- #### NEW GARDENS
- EXCAVATE CIVIL FINISH LEVELS 300mm FOR GARDEN AREAS (UNLESS COMPLETED BY CIVIL CONTRACTOR).
  - CULTIVATE SUBGRADE SOIL TO A DEPTH OF 150mm.
  - SPREAD AMELIORATED MRTS 16B IMPORTED ORGANIC TOPSOIL TO A DEPTH OF 300mm OVER PREPARED GARDEN AREAS & TRIM.
  - CROWN BEDS AT CENTRE, 100mm.
  - MULCH GARDENS WITH LA IMPROVED AS454A IMPORTED 25mm+ HOOP PINE MULCH TO A DEPTH OF 100mm (UNLESS OTHERWISE NOTED ON PLANS).
  - ALL SUPPLIED TOPSOIL & MULCH TO COMPLY WITH CURRENT A.S. & FREE OF WEEDS, SEEDS (SPECIALLY NUTSEDGE), PESTS INCLUDING FIRE ANTS & SOIL BORNE VIRUSES & DISEASES. FURNISH LA WITH CERTIFICATIONS RESPECTIVELY FOR APPROVAL PRIOR TO INSTALLATIONS.

- REFER TO STREET TREE & TREE PLANTING DETAILS (AS APPLICABLE) FOR INFORMATION.
- ALL TREES TO BE CERTIFIED THAT THEY COMPLY WITH THIS SPECIFICATION & WITH ***NATSPEC GUIDE SPECIFYING TREES: A GUIDE TO ASSESSMENT OF TREE QUALITY (2003)***, FURNISH LAI WITH CERTIFICATION PRIOR TO INSTALLATION.
- ALL TREES TO HAVE A FULL & EVEN CROWN.
- INSTALL TREES AT LOCATIONS INDICATED ON THE PLANS, PER NOTES & DETAILS HEREIN.
- MULCH TREE GARDENS WITH MIN. 1200mmØ COLLAR OF 25mm+ HOOP PINE MULCH 100mm DEEP TO AS4454. DO NOT MULCH WITHIN 50mm OF TRUNK / PLANT STEM.
- EDGE TREES PER DETAILS.
- TREE STAKING - PER DETAIL.
- ALL TREES TO BE LOCATED MINIMUM;
  - 1000mm FROM UNDERGROUND SERVICES. SERVICE LOCATIONS TO BE CONFIRMED ON-SITE BY CONTRACTOR PRIOR TO PIT EXCAVATIONS
  - 1500mm HORIZONTALLY & VERTICALLY FROM SEWER LINES
  - 1500mm FROM WATER SUPPLY
  - 8m FROM OVERHEAD STREET LIGHTING
  - 900mm FROM BACK OF KERB OR IN BETWEEN KERB & FOOTPATH WHERE APPLICABLE ALLOWING FOR SERVICE SETBACKS AS PER ABOVE) - OR AS DIMENSIONED ON PLANS
  - 3m FROM DRIVEWAY CROSSOVERS & STORMWATER CATCH PITS
  - 600mm FROM CONCRETE PATHS
  - 15m FROM PEDESTRIAN ROAD CROSSING - APPROACH SIDE
  - 5m FROM PEDESTRIAN ROAD CROSSING - DEPARTURE SIDE
  - 15m FROM APPROACH CORNER
  - 10m FROM DEPARTURE CORNER, ROAD SIGNS, BUS STOP & SHELTERS
  - 8m FROM EXTENSION OF PROPERTY BOUNDARIES ON SIDE STREETS
  - 3.05m FROM ADJOINING, NEW, OR PERPENDICULAR LOT BOUNDARIES

- REFER TO DETAIL(S) HEREIN RESPECTIVELY.
- SUPPLY & PLACE PLANTS ACCORDING TO PLANT SCHEDULE, PLANT SETOUT NOTES & PLANT LOCATIONS.
- WHERE DISCREPANCIES OCCUR ADVISE SUPER PRIOR TO PLANTING.
- ENSURE PLANTS ARE PLACED & PLANTED AT EQUAL CENTRES, STAGGERED, NOT IN ROWS UNLESS INDICATED ON PLANS.
- MASS & GROUP PLANTINGS TO BE SPACED EVENLY IN A TRIANGULAR PATTERN TO ACHIEVE OPTIMUM COVER RELATED TO MATURE PLANT SIZE AND FORM.
- SHRUBS & SPREADING GROUNDCOVERS TO BE SET BACK A MINIMUM 600mm FROM ROADS, KERBS, GARDEN EDGES & PATHS TO ALLOW FOR MATURE PLANT FORM. CONFIRM WITH LA WHICH REQUIRE MORE DISTANCE.
- ALL PLANTS MUST BE PLANTED USING ONE AGRIFORM 10g FERTILISER (N.P.K. 20-4-3-4.1) TABLET AT A RATE OF 1/140mm, 2/200mm, 3/300, 4/45 litre & ABOVE POT SIZES, 5g TABLET FOR TUBESTOCK. **DO NOT USE TABLETS FOR BANKSIAS, GREVILLEAS, & CALLISTEMONS.**
- CULTIVATE SUBGRADE TO 150mm.
- SOAK PLANTS THOROUGHLY BEFORE REMOVING FROM CONTAINER.
- REMOVE PLANTS FROM CONTAINERS / BAGS / TUBES CAREFULLY & INSPECT ROOTBALL.
- REMOVE OLD MATTED & COILED ROOTS TO EXPOSE YOUNG ROOTS. ALL STOCK TO BE FREE OF STRUCTURAL DEFECTS ABOVE & BELOW SOIL LINE (I.E. NO GIRDLED ROOTS).
- DO NOT MIX SOIL FROM HOLE WITH MULCH.
- ROUGHLY SQUARE HOLE SIZES.
- FILL HOLE WITH WATER, ALLOW TO DRAIN BEFORE PLANTING.
- INSTALL FERTILISER TABLET(S), INSTALL PLANT, BACKFILL PLANT WITH MRTS 16B TOPSOIL AS REQUIRED.
- WATER PLANT IN WELL & MAINTAIN SOIL MOISTURE LEVELS THROUGH E.P.
- DO NOT COMPACT PLANT PIT.

## FEBRUARY 2015

- WATERING DURING CONSTRUCTION PERIOD IS THE RESPONSIBILITY OF THE CONTRACTOR.
- FROM PRACTICAL COMPLETION A 12 WEEK ESTABLISHMENT / MAINTENANCE PERIOD WILL COMMENCE & WATERING DURING THIS PERIOD & ANY SUBSEQUENT PERIODS WILL BE PAID UPON RECEIPT OF APPROPRIATE EVIDENCE.
- ALL MAINTENANCE ACTIVITIES AS PER FOLLOWING SCHEDULE:
  - MAINTAIN WHOLE LANDSCAPE WORKS FOR 12 WEEK EP FROM PRACTICAL COMPLETION DATE (I.E. BEGINNING OF '30-ON-MAINTENANCE').
  - MAINTAIN WHOLE LANDSCAPE WORKS FOR A 40 WEEK MAINTENANCE PERIOD FROM EP FINISH DATE (BALANCE OF 52 WEEK 'ON-MAINTENANCE PERIOD').
  - MAINTAIN WHOLE OF LANDSCAPE WORKS FOR LIFE OF PROJECT.

| TASK                                      | FREQUENCY                                                                                                                                                   | PERFORMANCE INDICATOR                                                                                                             |
|-------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------|
| Trimming                                  | Weekly: November - February<br>Fortnightly: March - April<br>Monthly: May - August                                                                          | Maintain turf neatly against any edge & around any service or respective cover                                                    |
| Spraying / wick wiping                    | Every 2 weeks October - March.<br>Every 4 weeks April - September                                                                                           | No weeds or grass taller than plant within 500mm of plants.                                                                       |
| Re-mulching                               | Once during MP & once per year                                                                                                                              | 100mm minimum required depth &/or mulch adequate to suppress weed growth & maintain soil moisture.                                |
| Re-planting                               | Inspect planting at the start of spring & assess damaged, dead or unhealthy plants. Replant as required.                                                    | To achieve minimum design planting densities and garden cover                                                                     |
| Watering                                  | Every 2 or 3 days during EP, weekly during MP, or as required to maintain adequate soil moisture                                                            | Plants exhibit healthy growth & no signs of drought stress                                                                        |
| Fertilising                               | Once during MP or as required where & when plants are not responding to slow release fertiliser applied at planting                                         | Plants appear healthy exhibit good rate of growth.                                                                                |
| Staking                                   | As required where plants require support. Allow to stake 20% of trees during EP. Allow to stake further 20% of trees during MP.                             | Plants growing in an upright manner.                                                                                              |
| Inspection for storm damage               | Following storm event, heavy rainfall or high winds                                                                                                         | Any damage noted and rectified                                                                                                    |
| Pruning - to promote healthy plant growth | Monthly during EP, every 3 months MP & beyond                                                                                                               | Plants have desired natural form & display healthy growth                                                                         |
| Monitoring                                | EP - Provide a report to LA on establishment progress at each progress payment claim.<br>MP - Provide completed activities list to LA after every 3 months. | Scheduled activities carried out. Successful establishment. Scheduled Maintenance activities carried out. Successful maintenance. |

- ARCHITECTURE - CLIENT

• FURNISH SUPER WITH SOILS TESTING RESULTS & AMELIORATION RECOMMENDATIONS FOR APPROVAL.

- FURNISH SUPER WITH FOLLOWING CERTIFICATIONS PRIOR TO ON-MAINTENANCE INSPECTION:  
- NATSPEC - MRTS 16B TOPSOIL - AS4454 FOR MULCH

\* FURNISH SUPER WITH FOLLOWING SAMPLES FOR APPROVAL PRIOR TO CONSTRUCTION;  
- HOOP PINE MULCH

[illegible]



AMENDED IN RED

29 JUN 2015

By GERARD MCLAFFERTY (name)  
MEDQ

## LANDSCAPE PLANS LEGEND



SHRUBS  
Refer to Plan, Detail & Schedule



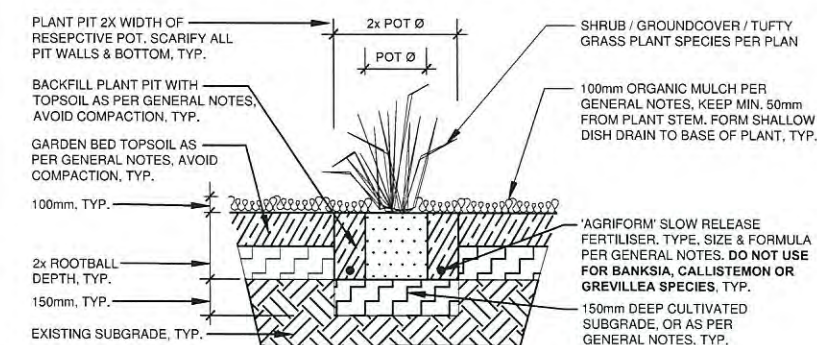
GROUNDCOVERS  
Refer to Plan, Detail & Schedule



GRAVEL  
Refer to Plans, General Notes

## PLANT SCHEDULE

| CODE                | GENUS species - Common Name                | Qty | Size  | Height | Width         |
|---------------------|--------------------------------------------|-----|-------|--------|---------------|
| <b>SHRUBS</b>       |                                            |     |       |        |               |
| PHI xan             | PHILODENDRON 'Xanadu'                      | 42  | 200mm | 600mm  | 600mm x 600mm |
| SYZ hin             | SYZYGium australe 'Hinterland Gold'        | 11  | 200mm | 1m     | 1m x 1m       |
| SYZ res             | SYZYGium australe 'Resilience'             | 16  | 200mm | 2m     | 1m            |
| SYZ tin             | SYZYGium 'Tiny Trev'                       | 24  | 200mm | 1.2m   | 600mm         |
| <b>GROUNDCOVERS</b> |                                            |     |       |        |               |
| AGA blu             | AGAPANTHUS species Blue                    | 20  | 200mm | 400mm  | 400mm         |
| TRA jas             | TRACHELOSPERMUM jasminoides - Star Jasmine | 68  | 200mm | 400mm  | 1m            |



1 POTTED SHRUB, GROUNDCOVER OR TUFTY GRASS PLANTING  
LP1 Typical Section Detail N.T.S.

PLANS AND DOCUMENTS  
referred to in the PDA APPROVAL

11 MAY 2015

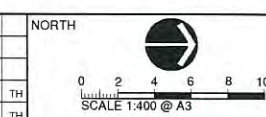
MEDQ

Client  
STEEL STORAGE AUSTRALIA PTY LTD

Project  
COMMERCIAL DEVELOPMENT  
192, 196, 200 ABBOTSFORD RD  
BOWEN HILLS, QLD, 4006

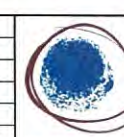
This document is the copyright of anembo consultants & shall not be copied without written approval, nor shall it be used except for the development and the site specified. Scale can not be guaranteed when printing from PDF files.

| ISSUE | DATE     | DESCRIPTION  | DRWN/CKD | ISSUE | DATE     | DESCRIPTION      | DRWN/CKD | ISSUE | DATE | DESCRIPTION | DRWN/CKD |
|-------|----------|--------------|----------|-------|----------|------------------|----------|-------|------|-------------|----------|
| B     | 15.04.15 | RPI RESPONSE | BB TH    | A     | 19.02.15 | DEV. APPLICATION | BB TH    |       |      |             |          |



TITLE:  
LANDSCAPE  
CONCEPT PLAN

JOB No. S1502824  
FILE No. 150219 AR-A  
DWG. No. LP1  
SHEET 2 OF 2  
SCALE 1:200 @ A1  
SCALE 1:400 @ A3



anembo consultants  
Landscape Architects  
Environmental  
anembo consultants pty.ltd.  
Sunshine Coast: PO Box 24  
Ph: 07 5437 0000  
e-mail: team@anembo.com  
Project Management  
A.B.N. 75 089 473 156  
Moffat Beach QLD 4551  
Fax: 07 5437 0088  
www.anembo.com