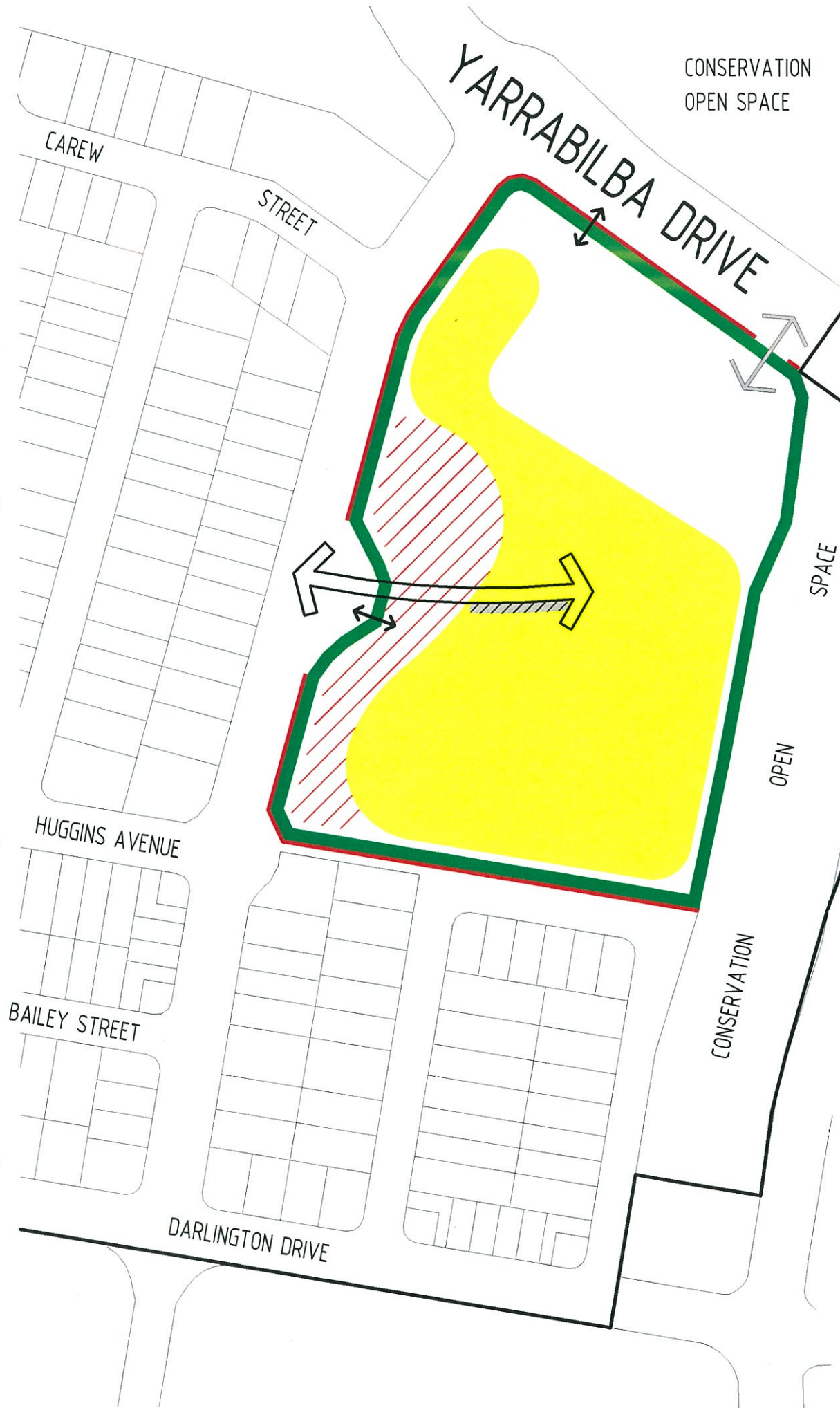


NOTE

- Buildings will be constructed within the indicative building envelope shown on the Plan of Development.
- Building developments must be setback a minimum of 3.0 metres from surrounding roads with the exception of the main administration building which may be built to a zero setback. These set back areas are to be landscaped.
- Car parking areas that are provided at-grade adjacent to surrounding streets include appropriate screen landscaping to the frontage to maintain the amenity and presentation of streetscapes.
- The buildings must achieve a design that provides a sense of identity for an educational establishment. A harmonious, high quality and coherent building and landscaped environment must be achieved.
- The maximum site coverage is 50%
- The maximum building height is three storeys.
- Vehicular access is limited to the zones shown on the Plan of Development.
- Internal staff and visitor parking on-site will be provided at a minimum rate 1 space per staff plus 0.1 space per staff for visitors. Student pickup and set down shall be serviced by parking on the adjacent streets at a reduced rate to accommodate the enhanced ride to school facilities available.
- Bus pick up and set down shall be accommodated internal to the site.
- Bike parking will be provided at the following minimum rates:
 - Prep to Year 3 - nil;
 - Year 4 - 1 space per 12 students;
 - Year 5 - 1 space per 6 students; and
 - Year 6 - 1 space per 3 students.
- Shade trees in car parking areas will be provided at a rate of not less than one tree per six parking spaces.
- Car parking and public areas will be provided with lighting for public safety.
- Lighted courts and playing fields are to be isolated from adjoining development so as not to cause nuisance.
- The storage of all refuse and material, plant areas and services will be suitably screened to all boundaries.
- All air conditioning, lift rooms, ventilation plant and other equipment located on the roof or externally around the buildings will be treated as an integral part of the building form and screened from view with materials consistent with the building.
- Buildings are designed to ensure there is overlooking and casual surveillance of public realm and access areas including streets, parks and internal/external walkways where buildings are located adjacent to these areas. Significant overlooking and surveillance opportunities must be incorporated with positive CPTED practice.



Yarrabilba

A COMPLETE TOWN, A BETTER OUTCOME

LEGEND

- INDICATIVE BUILDING ENVELOPE
- 5m LANDSCAPE STRIP
- GENERALISED CAR PARKING LOCATIONS
- INDICATIVE VEHICULAR ACCESS LOCATIONS
- CONSTRUCTION / MAINTENANCE VEHICULAR ACCESS
- PEDESTRIAN ACCESS
- NO VEHICULAR ACCESS
- INDICATIVE BUS SET DOWN
- Approved uses:
 - Community Facilities
 - Educational Establishment
 - Place of Worship

THIS PLAN MUST BE READ IN CONJUNCTION WITH
NON-RESIDENTIAL PLAN OF DEVELOPMENT COMMON
CLAUSES DOCUMENT

NOTE:

- Compliance Assessment - Prior to commencement of works obtain "Compliance Assessment" endorsement from the nominated assessing authority (including engineering works).
- The boundaries shown hereon are subject to detailed engineering design, final survey and approval of subsequent permits as necessary.
- Amendment to Precinct One Approval - Amended to reflect revised boundaries

PRECINCT ONE

PLAN OF DEVELOPMENT
EDUCATION

0 20 40 60 80 100 metres

SCALE 1:2000 AT A3



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Use figured dimensions for setout.
Do not scale.

AMENDMENTS

ISSUE	DATE	SUBJECT	AUTHOR
1	26.03.15	REVISED PLAN OF DEVELOPMENT	TLJ

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

08 MAY 2015

MEDQ

CHECKED BY _____ DATE _____

AUTHORISED FOR ISSUE _____ DATE _____

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PROJECT
MASTER PLAN

NEW CATHOLIC PRIMARY SCHOOL
YARRABILBA

CLIENT
THE CORPORATION OF THE TRUSTEES OF THE
ROMAN CATHOLIC ARCHDIOCESE OF BRISBANE

DRAWING TITLE
PLAN OF DEVELOPMENT

DRAWN TLJ	DATE 01/2015	SCALE 1:2000	AT A3
PROJECT NUMBER 1408 YAR	ISSUE 1	DRAWING NUMBER 001	