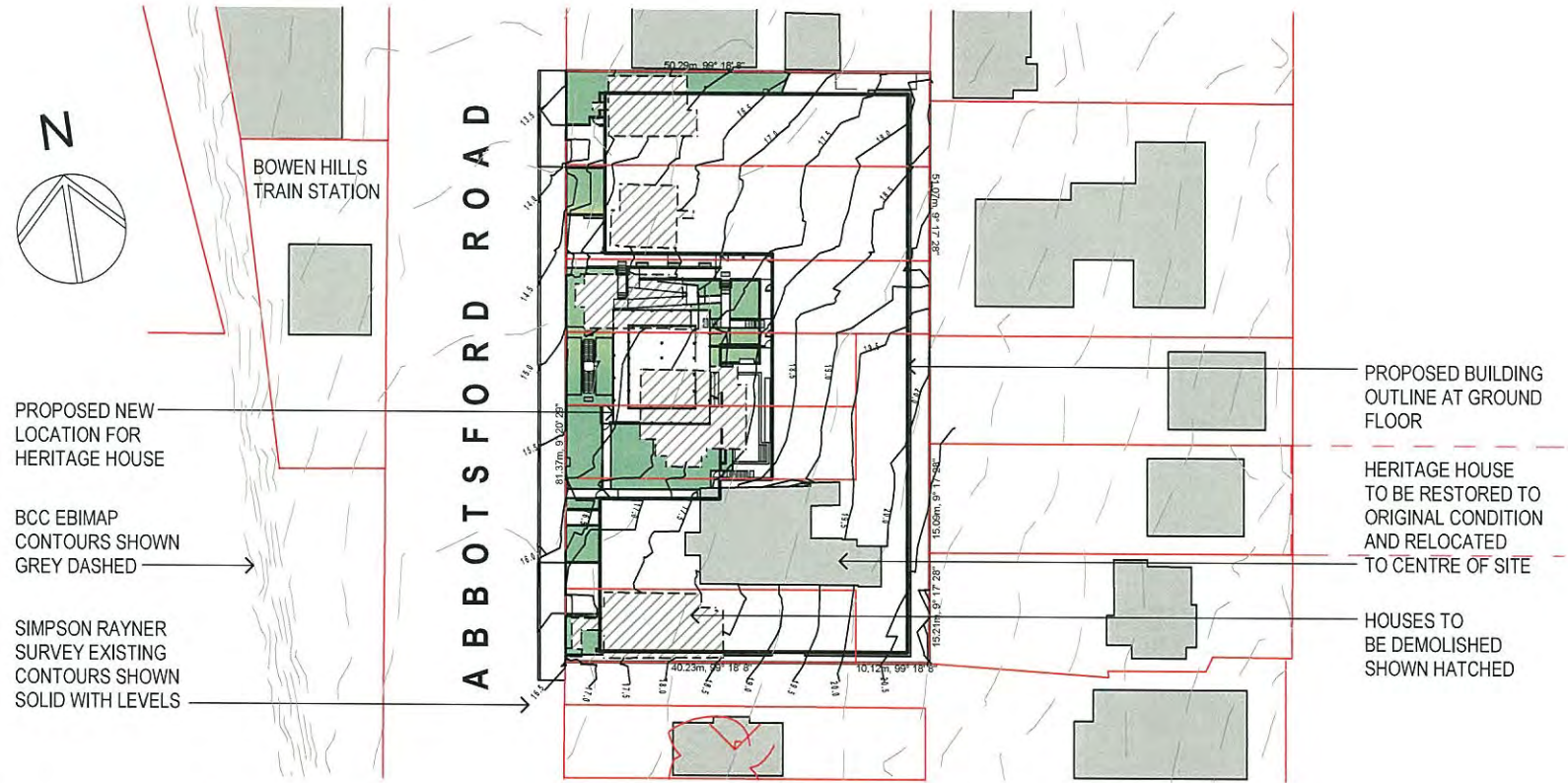


TOPAZ APARTMENTS

23 - 39 ABBOTSFORD ROAD, BOWEN HILLS



Unit Types	Total	Carparks	Areas
APARTMENTS BELOW 60m2	156 total number of apartments	22 Visitors & Commercial	3.07 Plot Ratio
59 TOTAL			
APARTMENTS 60m2 - 100m2	88 TOTAL	148 Private Residential	4094.7m2 Site Area
9 TOTAL			
APARTMENTS ABOVE 100m2		171 total (2.5 levels incl. ground floor)	12,595m2 Gross Floor Area to BCC 2014 City Plan definition

TOWN PLANNING

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04/03/15	E	EDQ FURTHER ISSUES	EA
23/02/15	D	TRAFFIC ISSUE	EA
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Date	No.	Details	Checked

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Client
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Project
Topaz Apartments

23-39 Abbottsford Road,
Bowen Hills, QLD 4006

Drawing Title COVER SHEET		
Scale @ A3	Drawn:	Checked:
NTS	SH	EA
Project Number	Drawing Number	Issue
H2943ABB	TP01	F

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Client

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Project

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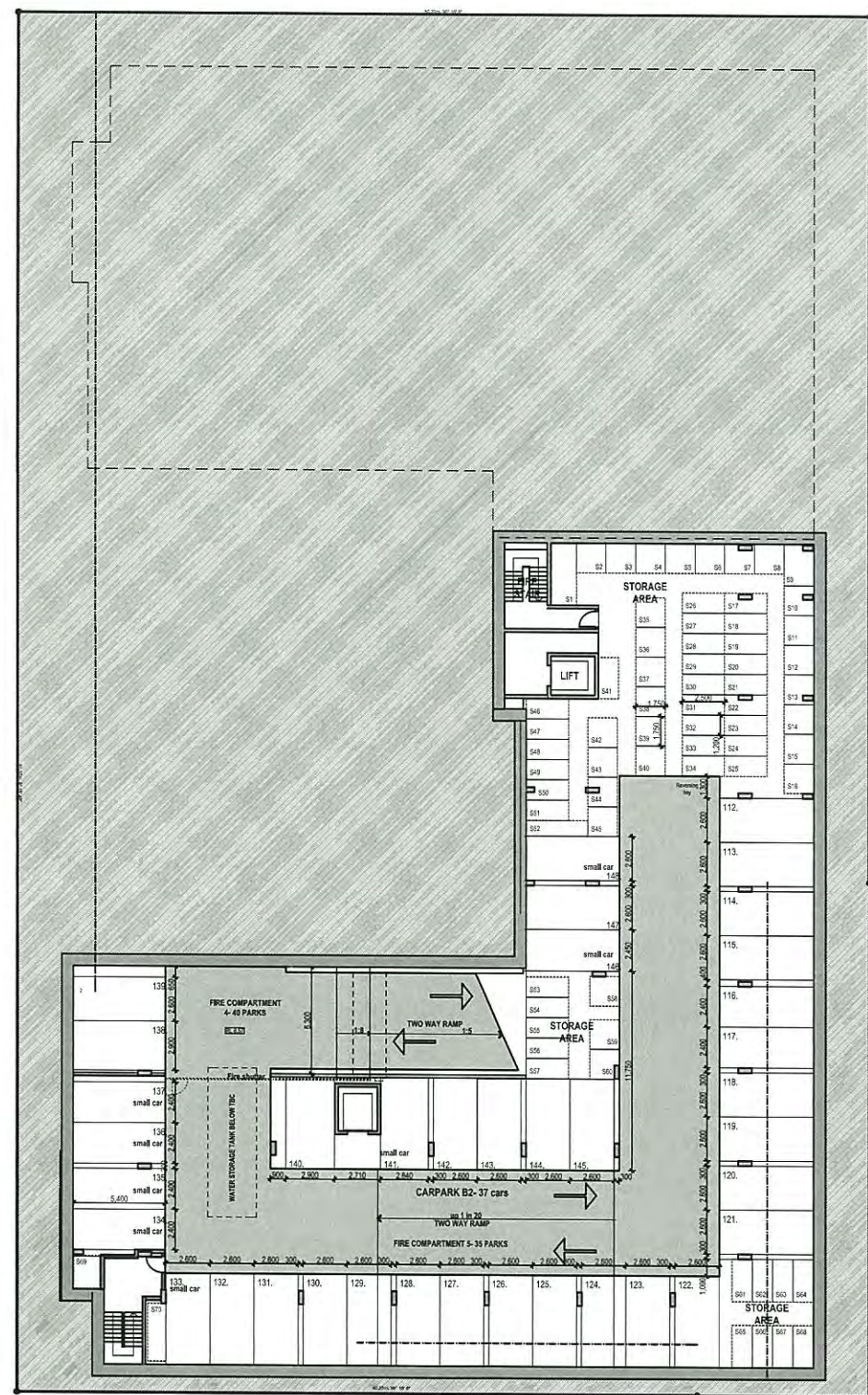
23-39 Abbotsford Road,
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Drawing Title

BASEMENT CARPARKING

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H2943ABB	TP02	F

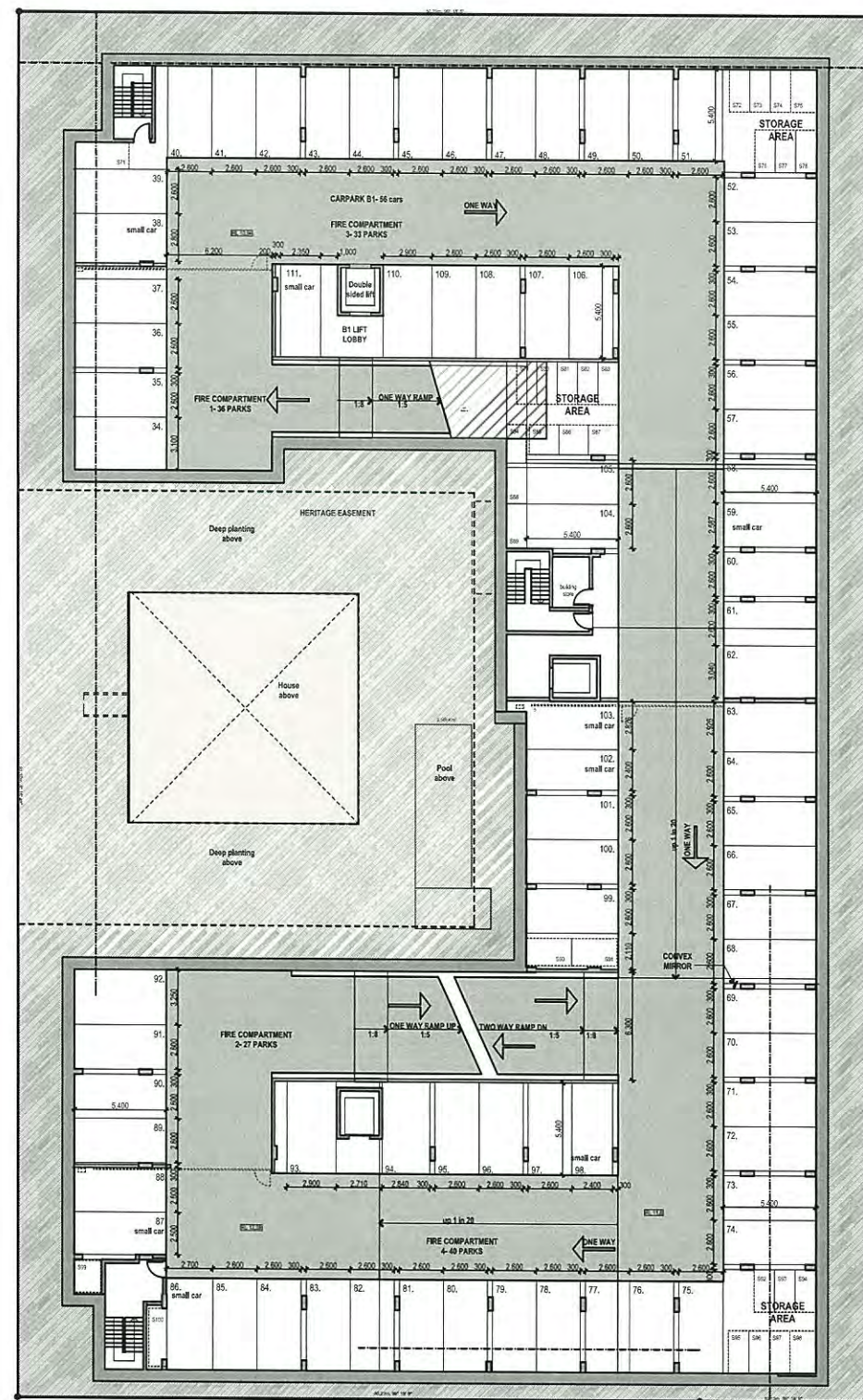
Printed: 23/03/2015



1

Lower Basement Plan

1:400



2

Basement Plan

1:400



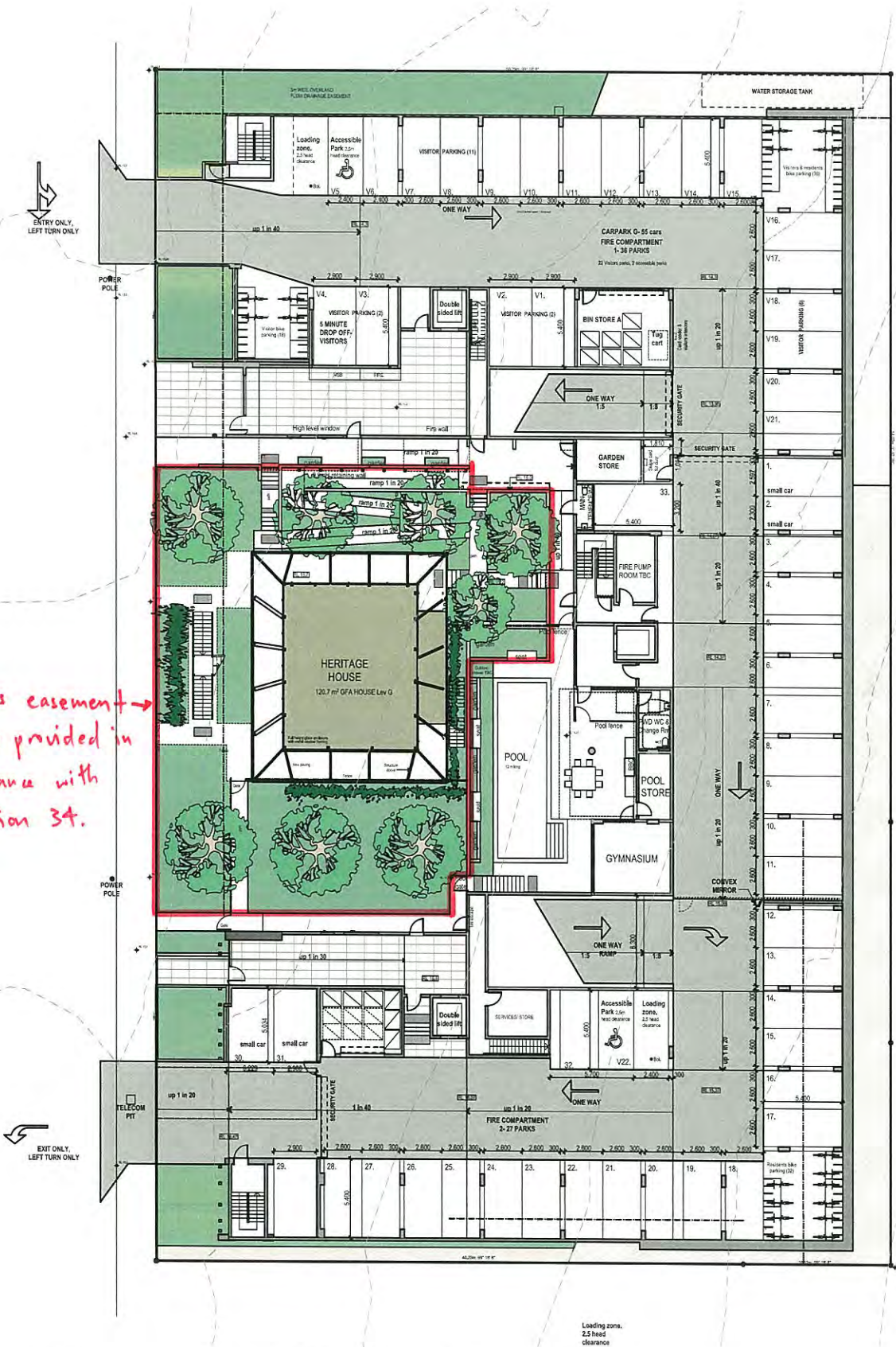
PLANTING SHOWN INDICATIVELY.
REFER LANDSCAPE PLAN
FOR SPECIES AND PLACEMENTS

LEVELS SHOWN ARE TAKEN FROM
SIMPSON RAYNER SURVEY 06/ 03/13

RL= LEVEL TO AUSTRALIAN HEIGHT DATUM

ABBOTSFORD ROAD

Access easement
to be provided in
accordance with
Condition 34.



1 Ground Floor Plan 1:400

AMENDED IN RED

1 APR 2015

By: BRIANNA FYFFE (name)
MEDQ

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Client
Starhill Property Group

Project
Topaz Apartments

23-39 Abbotsford Road,
Bowen Hills, QLD 4006

Drawing Title
GROUND LEVEL PLAN

Scale @ A3	Drawn:	Checked:
1:400	SH	EA
Project Number	Drawing Number	Issue
H2943ABB	TP03	F

ABBOTSFORD ROAD



1 Level 1
1:400

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Drawing Title

LEVEL 1 PLAN

Scale @ A3	Drawn:	Checked:
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Project Number	Drawing Number	Issue
H2943ABB	TP04	E

TOWN PLANNING

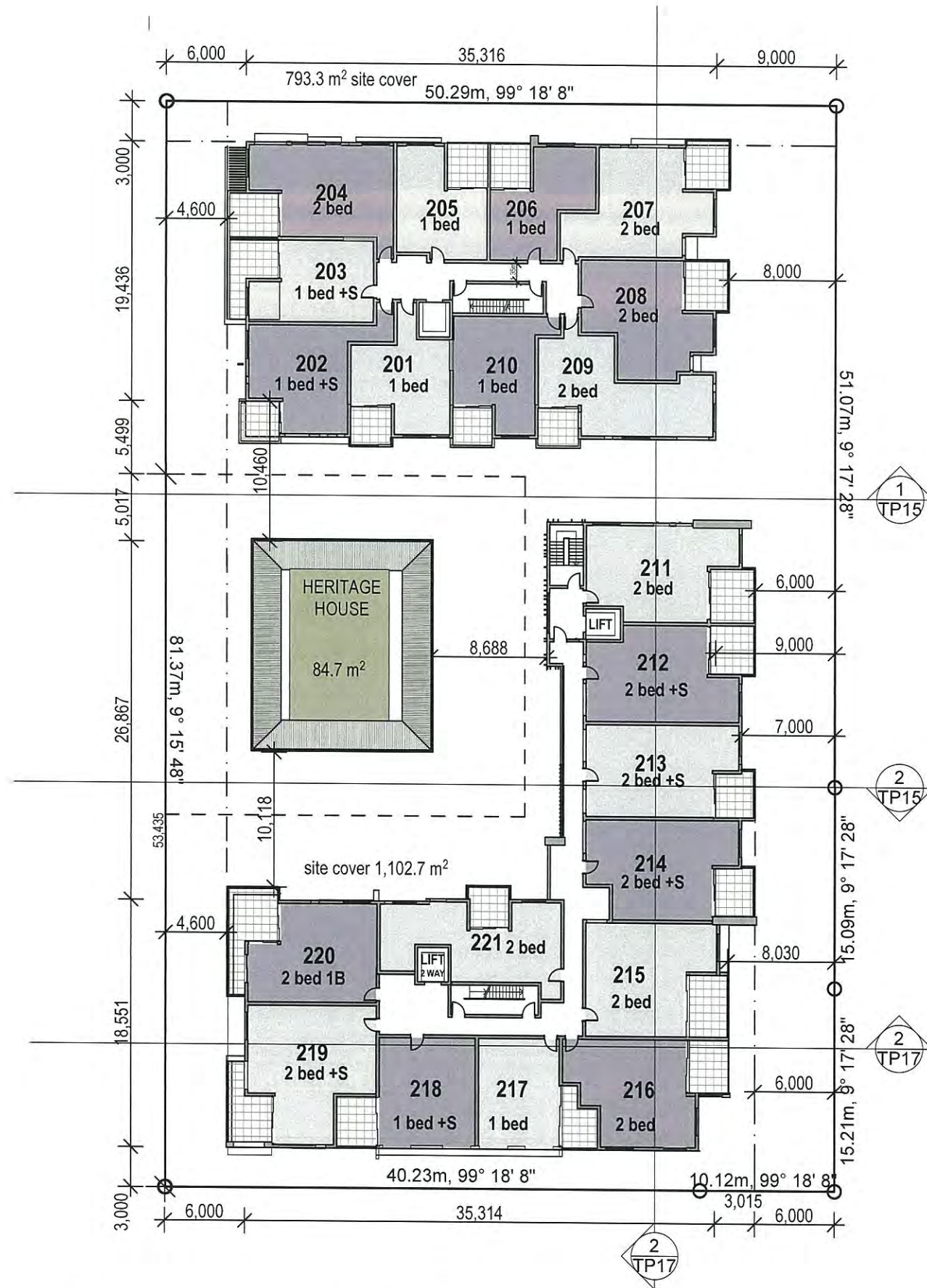
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1 Level 2
1:400

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23/02/15	D	TRAFFIC ISSUE	EA
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Drawing Title
LEVEL 2 PLAN

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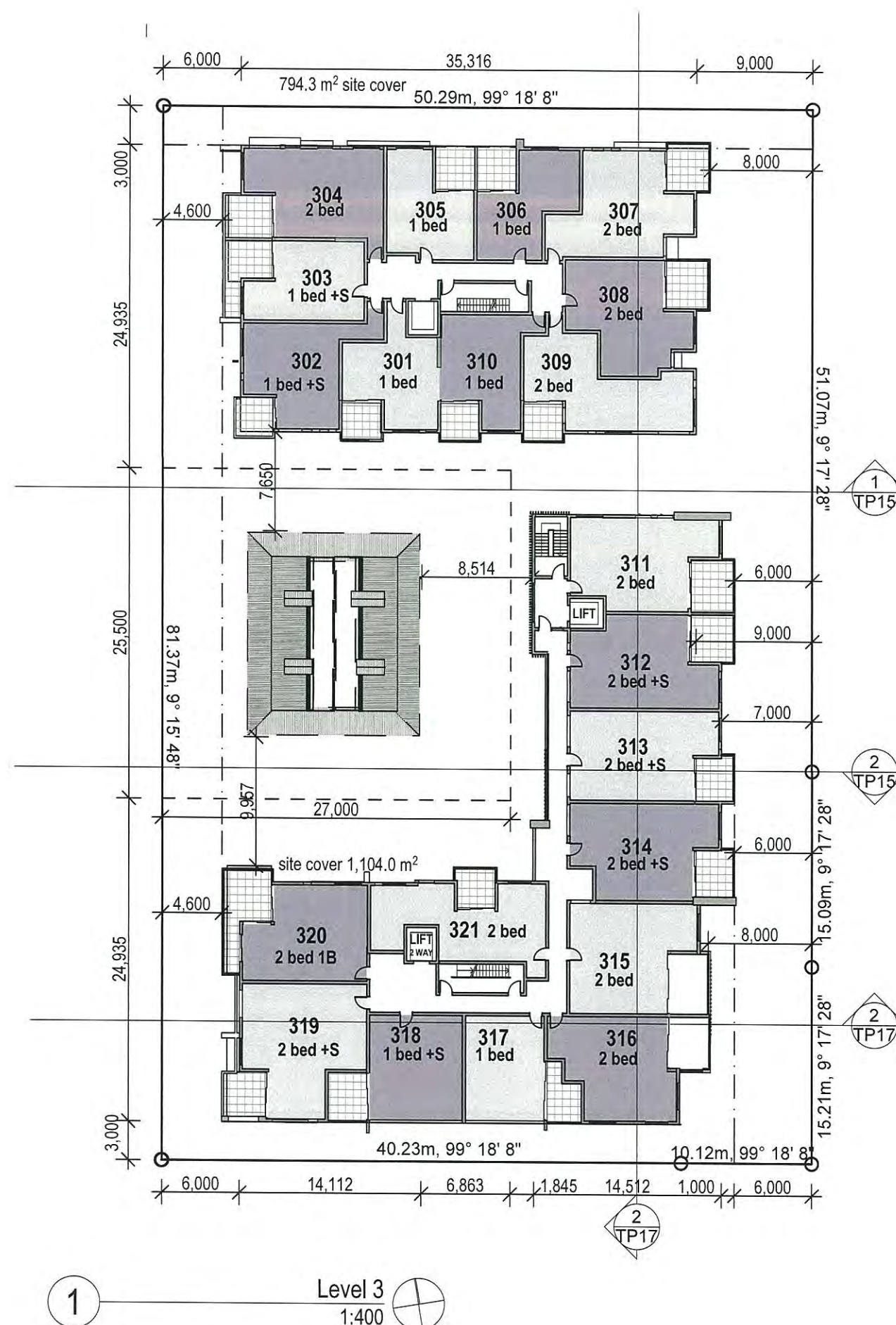
Project
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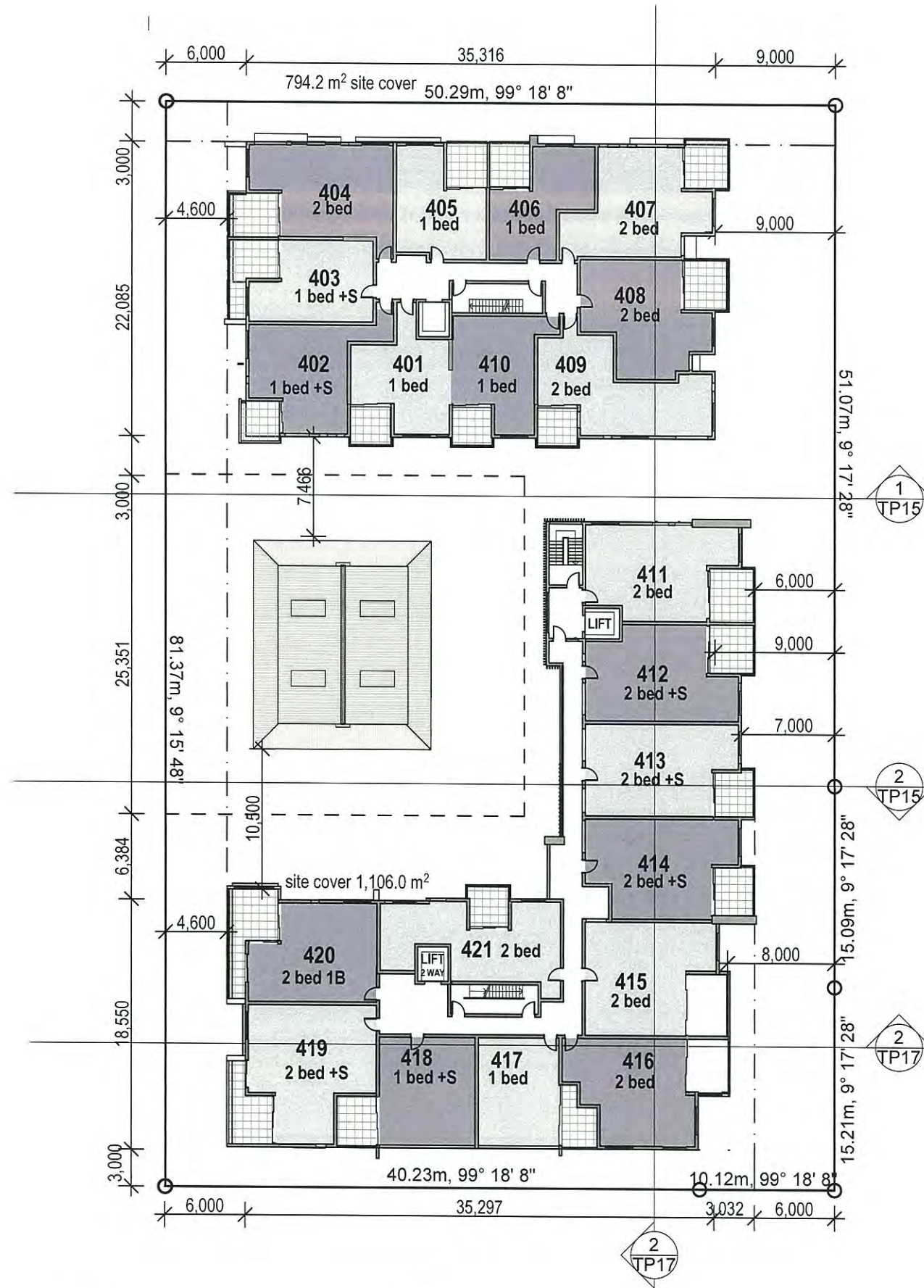
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ABBOTSFORD ROAD



1 Level 4 1:400

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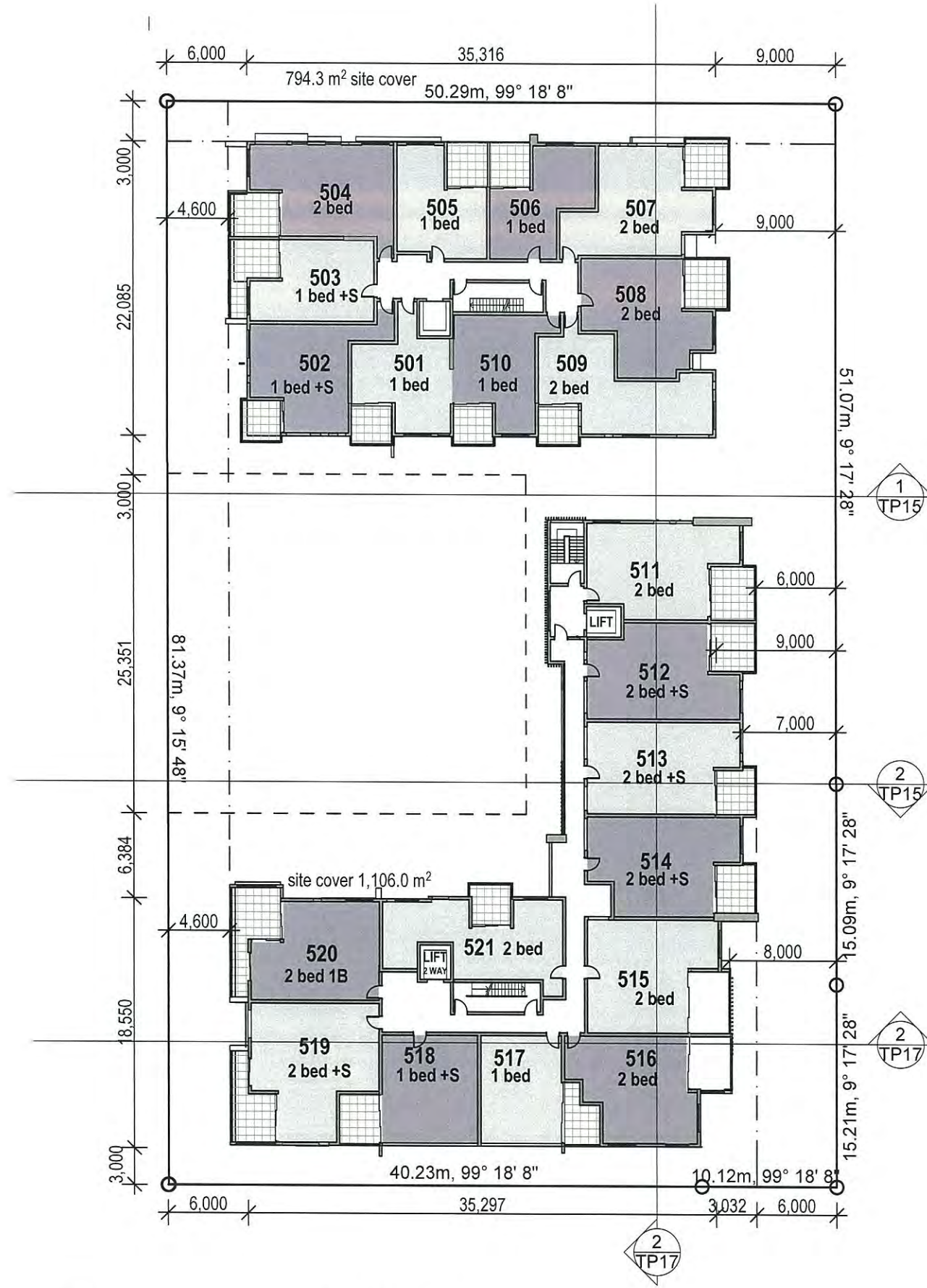
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LEVEL 4 PLAN

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ABBOTSFORD ROAD



1 Level 5
1:400

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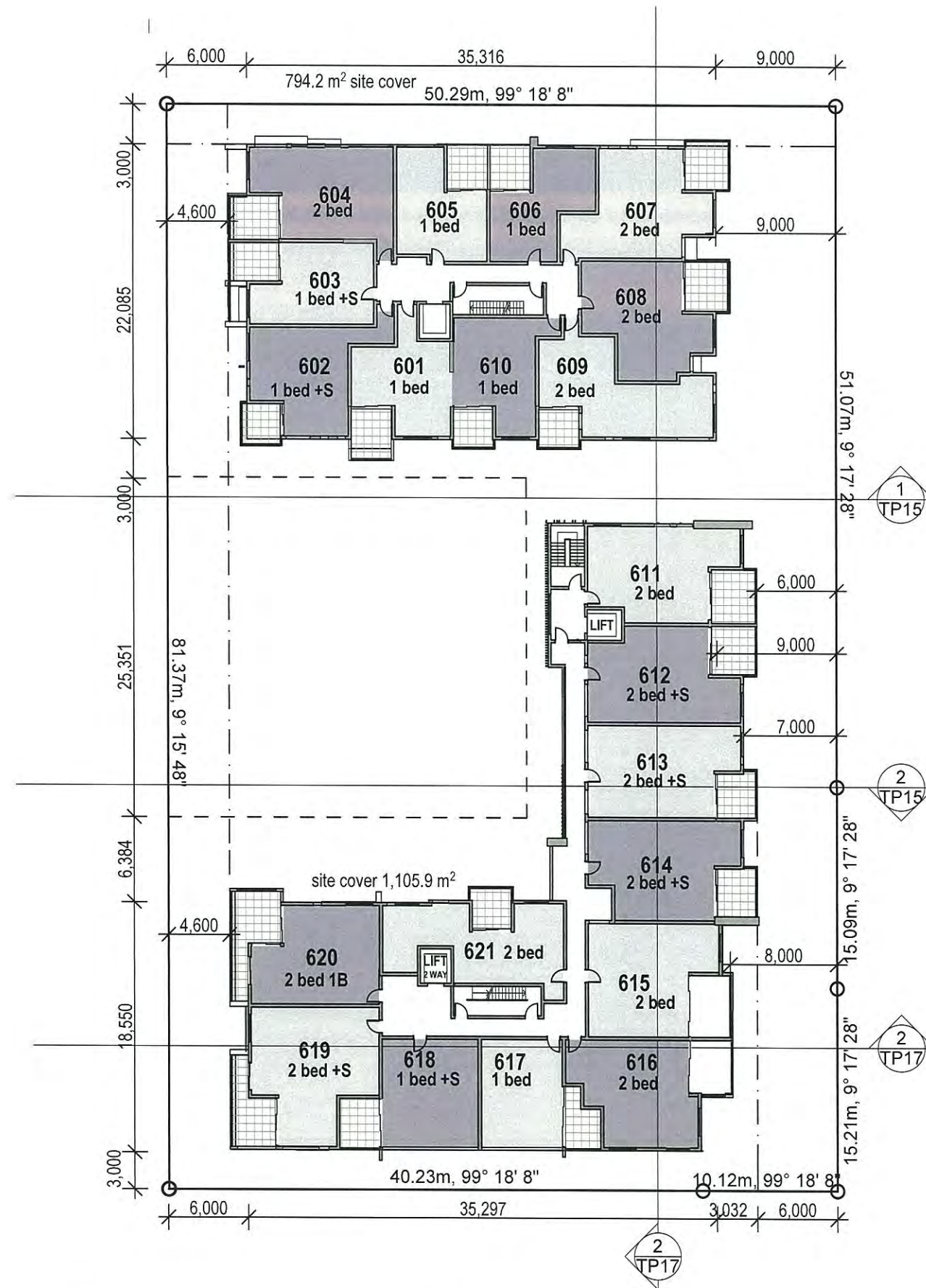
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Drawing Title

LEVEL 5 PLAN

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1 Level 6 1:400

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LEVEL 6 PLAN

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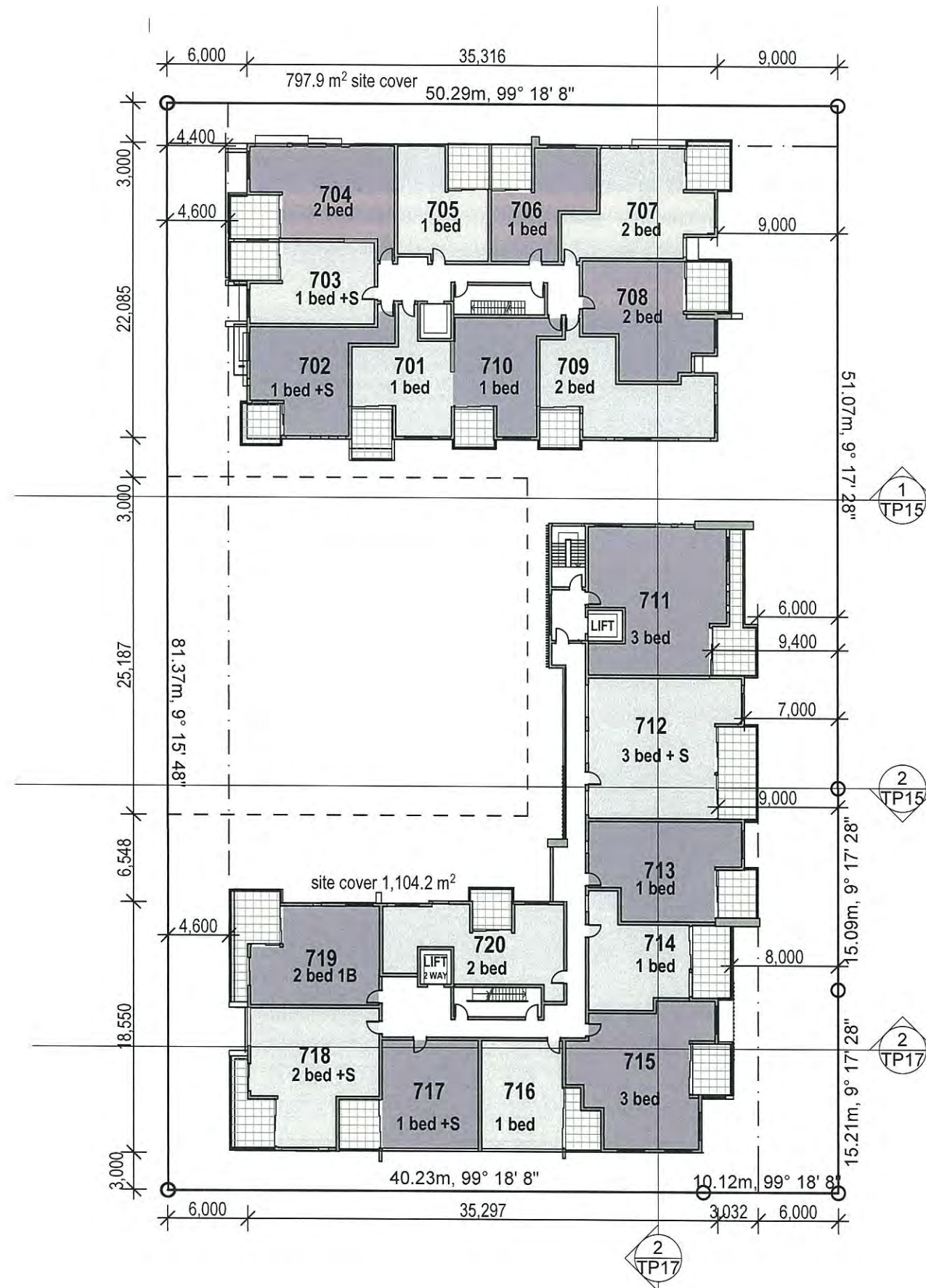
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Drawing Title
LEVEL 7 PLAN

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Project Number	Drawing Number	Issue
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ABBOTSFORD ROAD

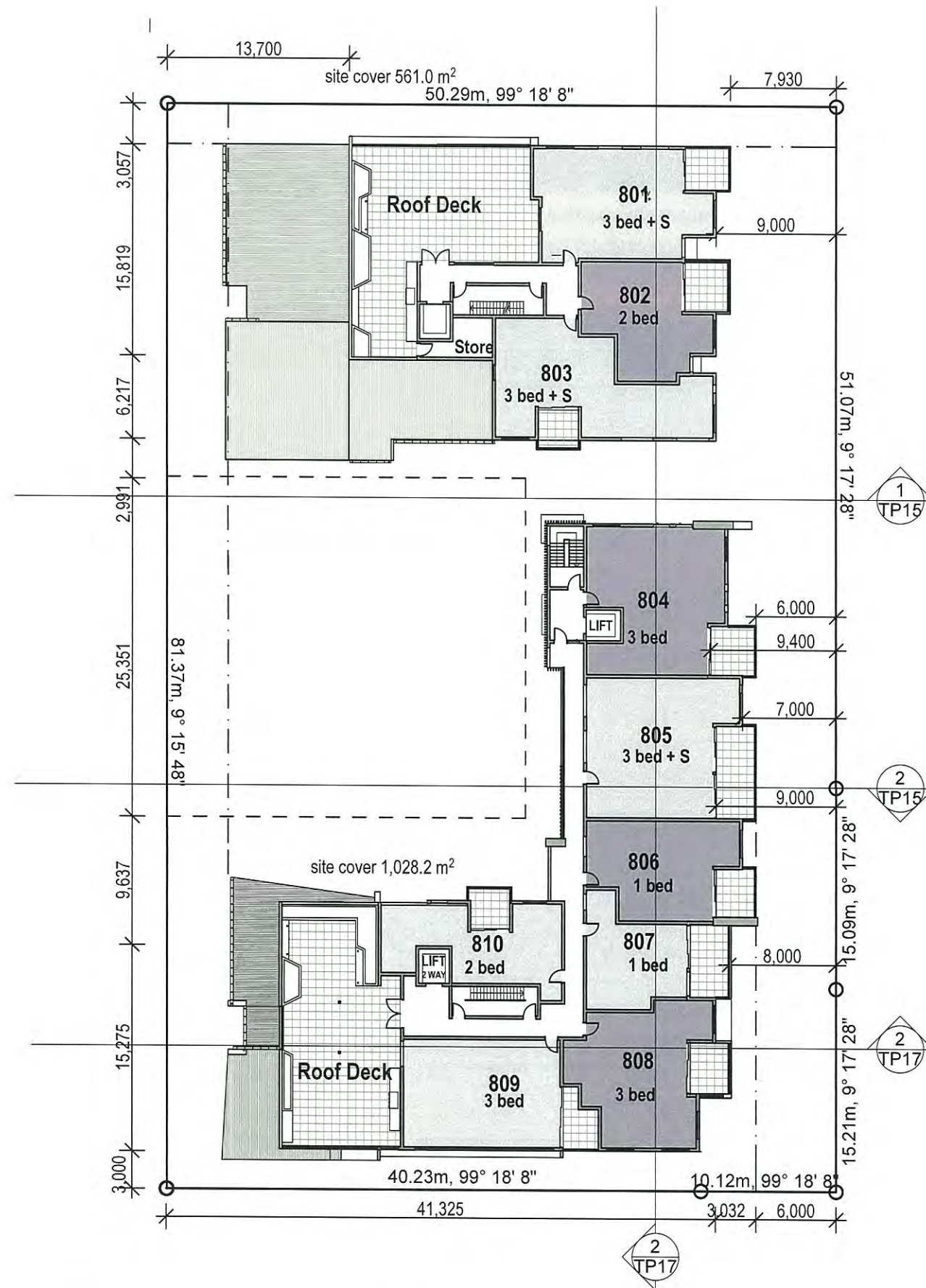


1

Level 7
1:400



ABBOTSFORD ROAD



1 Level 8 1:400

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Project
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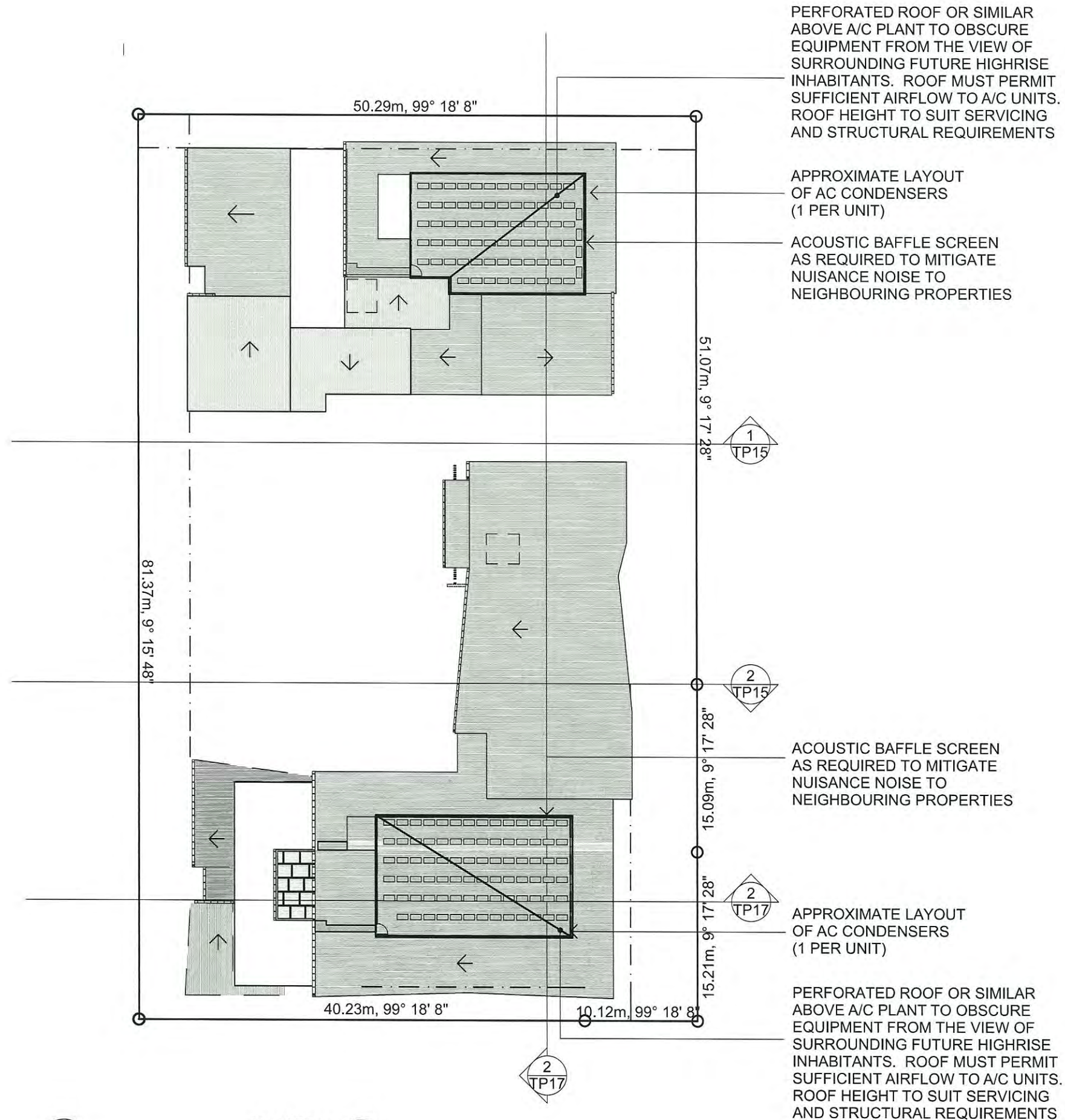
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Drawing Title
LEVEL 8 PLAN

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ABBOTSFORD ROAD



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Client
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Project
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Drawing Title
ROOF PLAN

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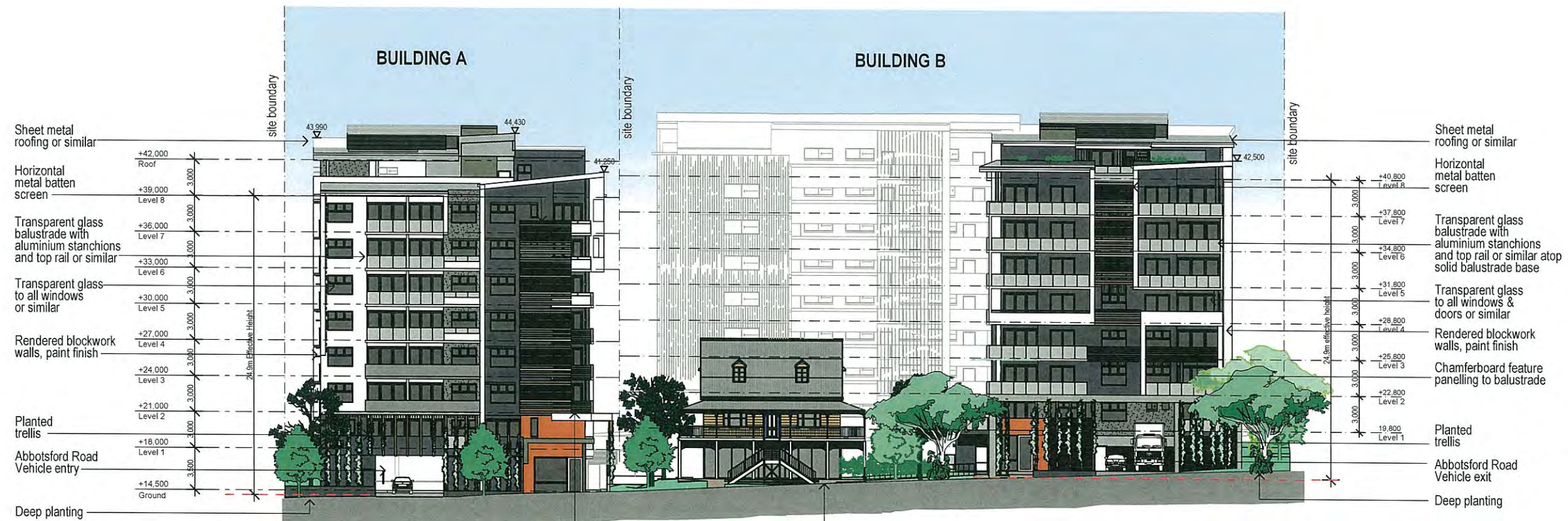
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Drawing Title
EAST & WEST ELEVATION

Scale @ A3	Drawn:	Checked:
1:400	SH	EA
Project Number	Drawing Number	Issue
H2943ABB	TP13	E

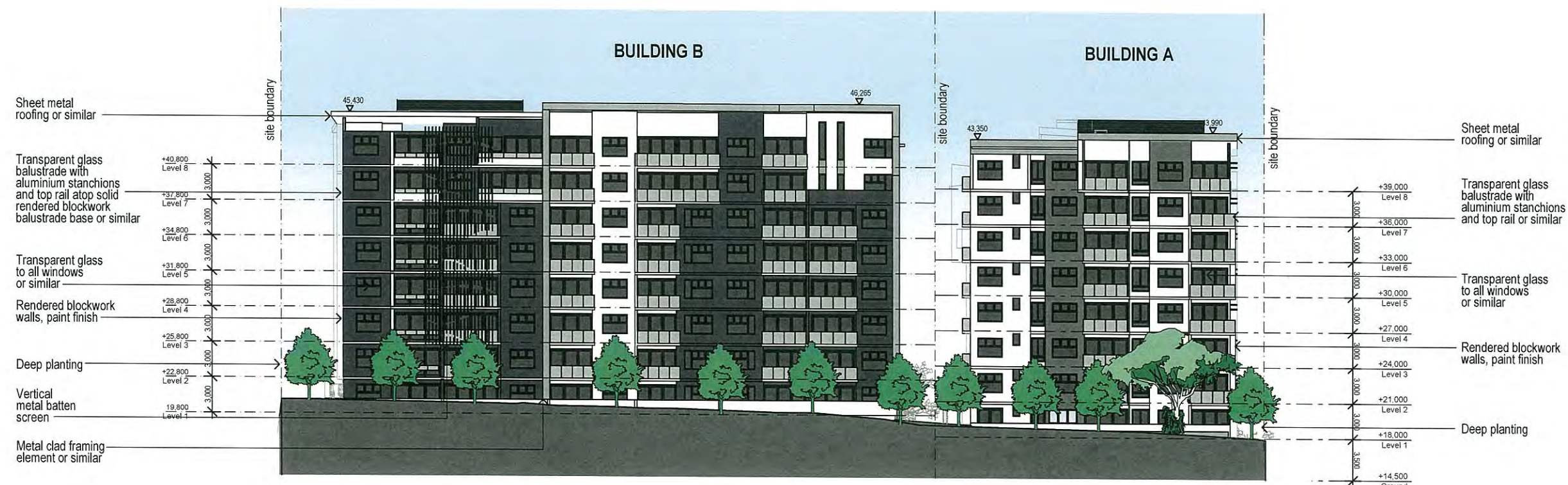
Printed: - 4/03/2015



1

West Elevation

1:400



2

East Elevation

1:400

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- 9 APR 2015

MEDQ

04/03/15	E	EDQ FURTHER ISSUES	EA
23/02/15	D	TRAFFIC ISSUE	EA
28/01/15	C	EDQ ISSUE	EA
6/12/14	B	EDQ ISSUE	EA
31/10/14	A	EDQ ISSUE	EA
Date	No.	Details	Checked

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Client
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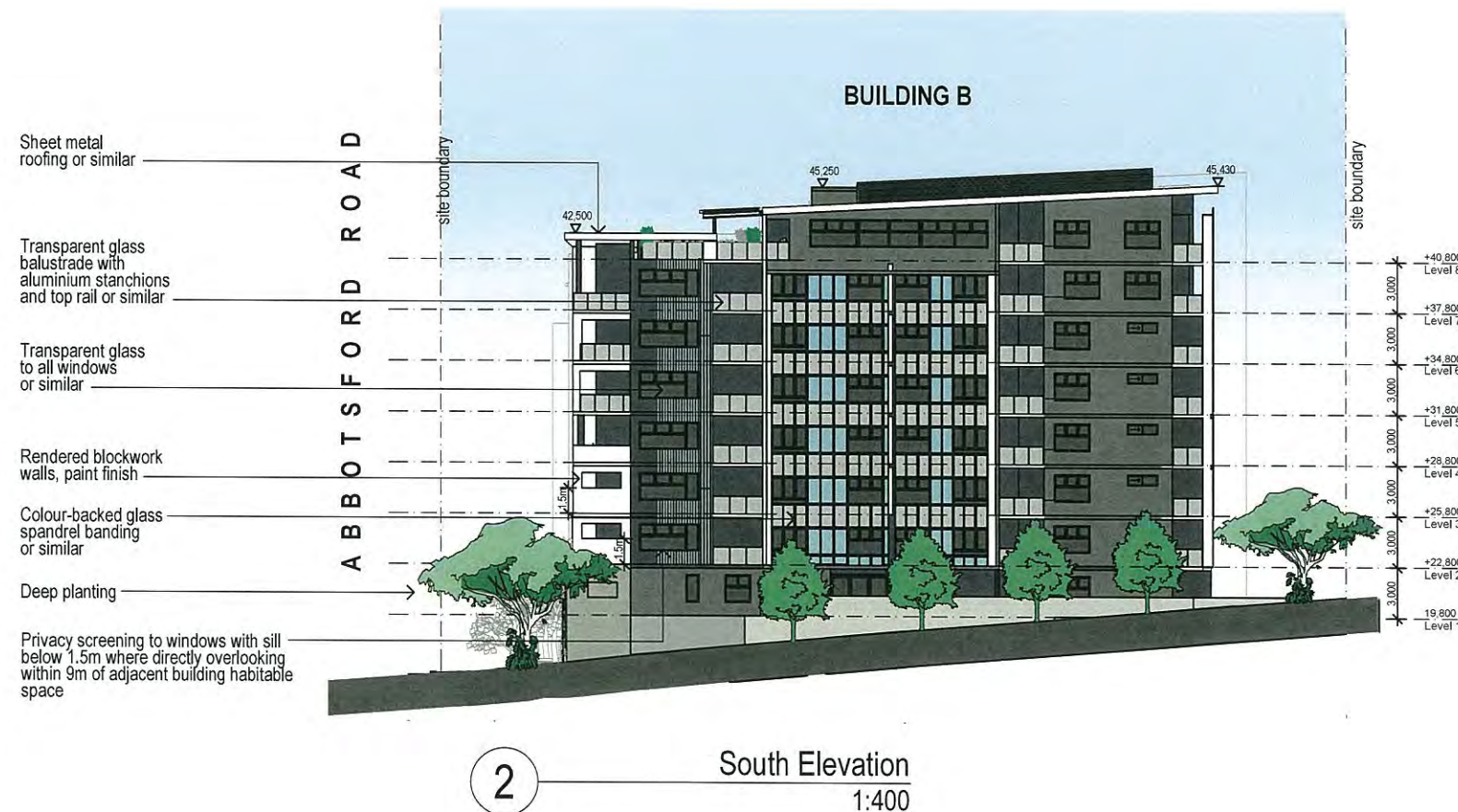
Project
Topaz Apartments

23-39 Abbotsford Road,
Bowen Hills, QLD 4006

Drawing Title
NORTH & SOUTH ELEVATION

Scale @ A3	Drawn:	Checked:
1:400	SH	EA
Project Number	Drawing Number	Issue
H2943ABB	TP14	E

Printed - 4/03/2015



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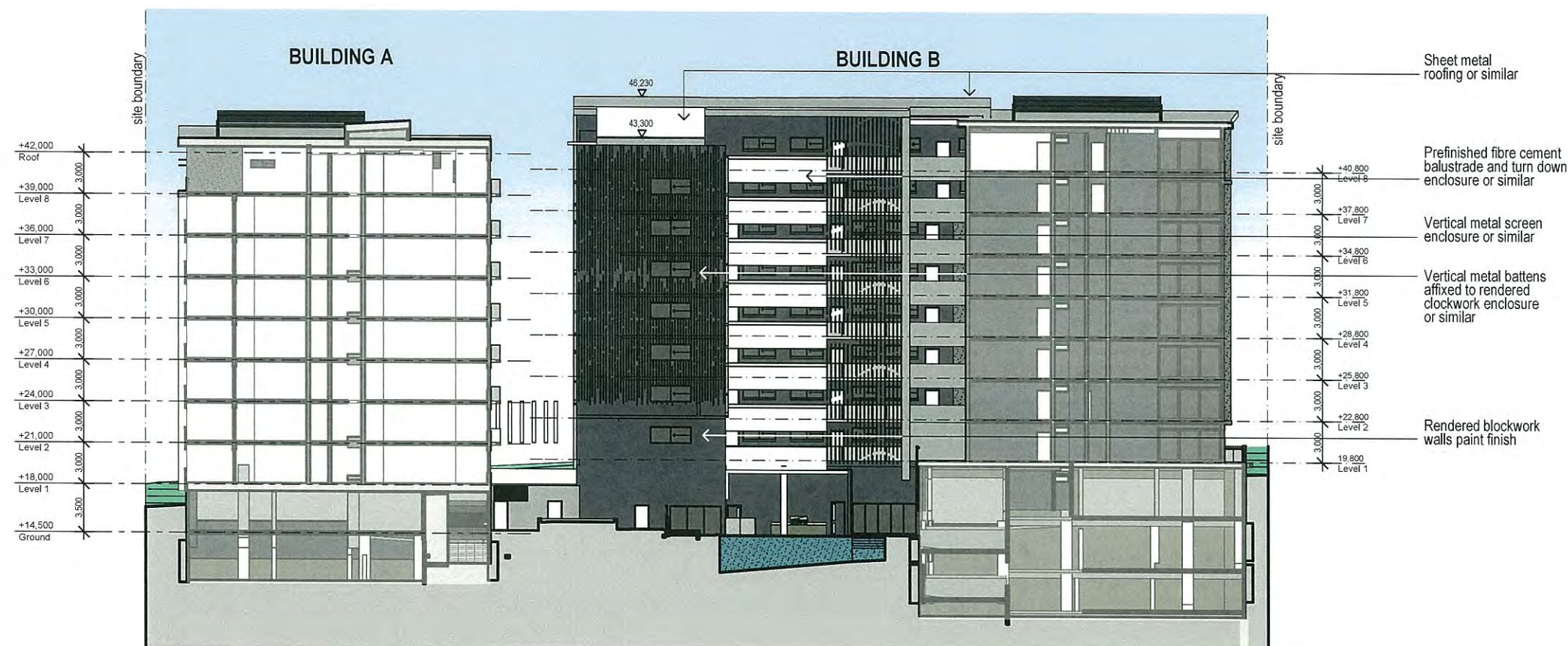
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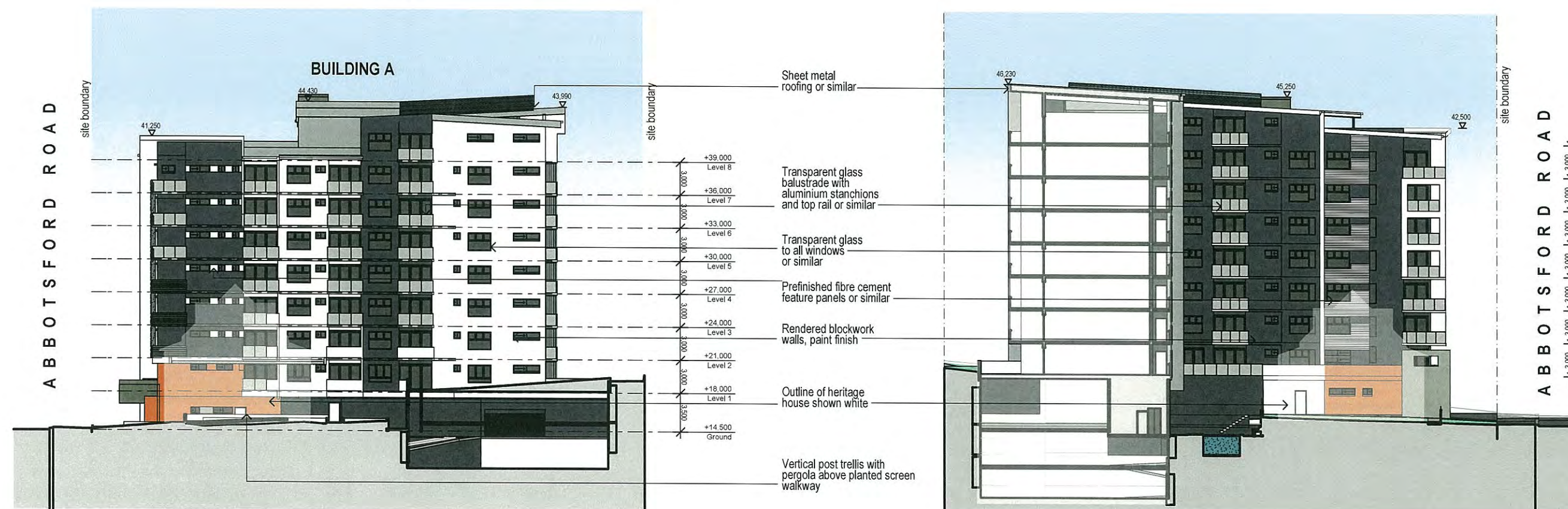
PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

- 9 APR 2015

MEDQ



1 Rear West Elevation
1:400



2 Section through Courtyard 1
1:400

3 Section through Courtyard 2
1:400

04/03/15	E	EDQ FURTHER ISSUES	EA
23/02/15	D	TRAFFIC ISSUE	EA
28/01/15	C	EDQ ISSUE	EA
8/12/14	B	EDQ ISSUE	EA
31/10/14	A	EDQ ISSUE	EA
Date	No.	Details	Checked

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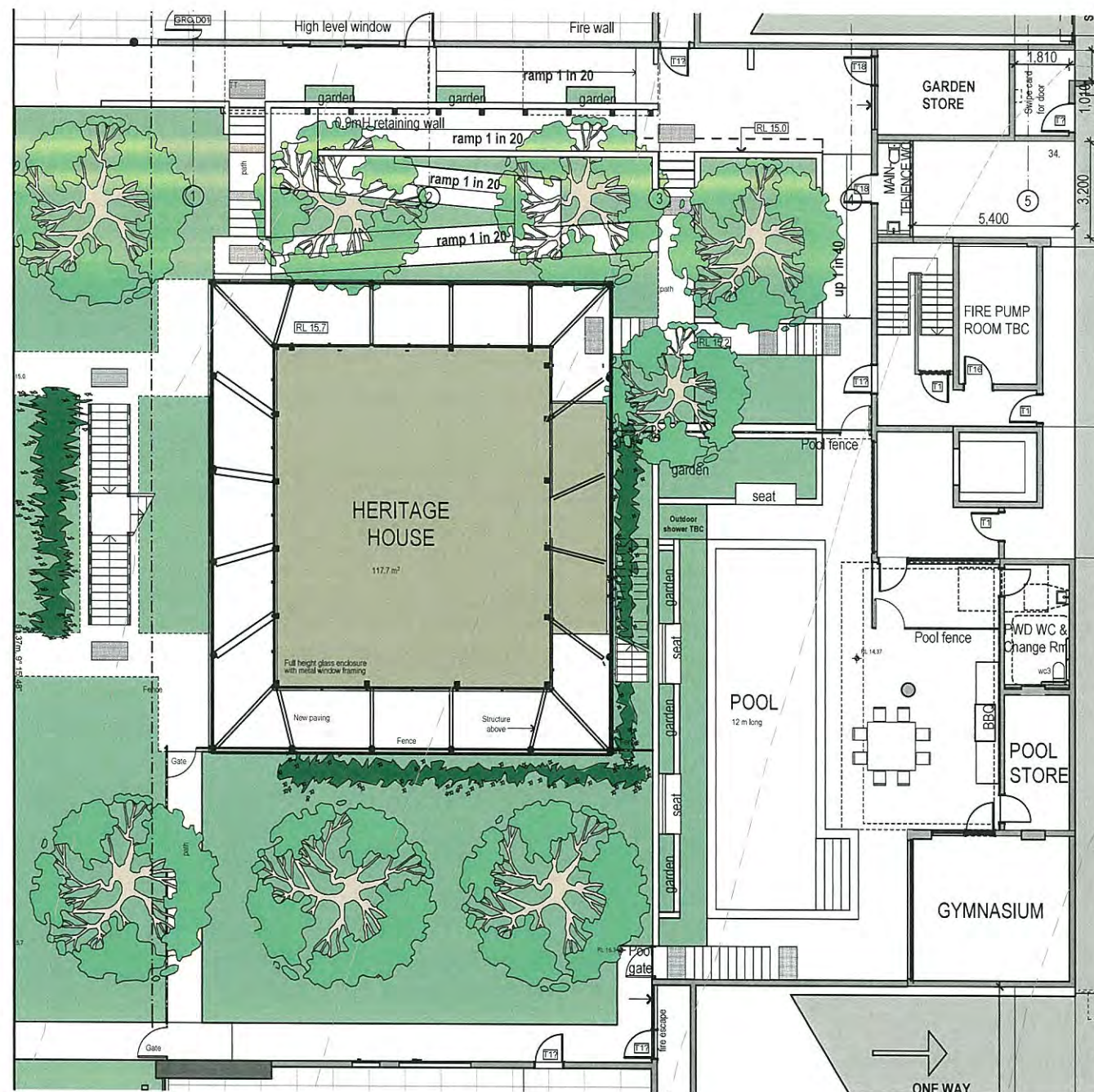
Project
Topaz Apartments

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Bowen Hills, QLD 4006

Drawing Title
COURTYARD ELEVATIONS

Scale @ A3	Drawn:	Checked:
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Project Number	Drawing Number	Issue
H2943ABB	TP15	E

ABBOTSFORD ROAD



1
Courtyard Plan
1:200

PLANTING SHOWN INDICATIVELY.
REFER LANDSCAPE PLAN FOR MORE INFORMATION

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6/12/14	B	EDQ ISSUE	EA
31/10/14	A	EDQ ISSUE	EA
Date	No.	Details	Checked

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Drawing Title
COURTYARD DETAIL PLAN

Scale @ A3	Drawn:	Checked:
1:200	SH	EA
Project Number	Drawing Number	Issue
H2943ABB	TP16	E

Printed:- 4/03/2015

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- 9 APR 2015

MEDQ

04/03/15	E	EDQ FURTHER ISSUES	EA
23/02/15	D	TRAFFIC ISSUE	EA
28/01/15	C	EDQ ISSUE	EA
6/12/14	B	EDQ ISSUE	EA
31/10/14	A	EDQ ISSUE	EA
Date	No.	Details	Checked

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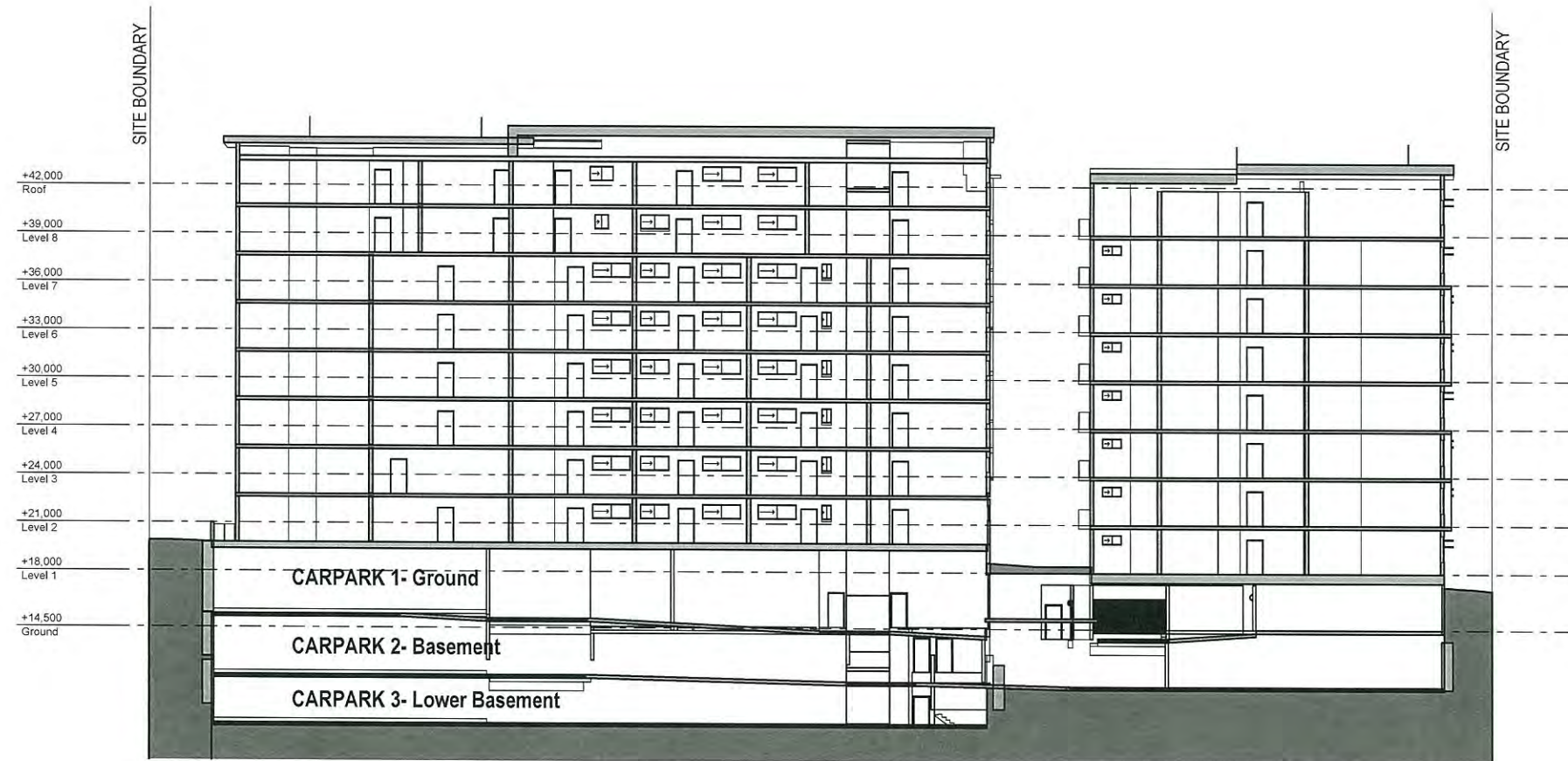
Project
Topaz Apartments

23-39 Abbotsford Road,
Bowen Hills, QLD 4006

Drawing Title
SECTIONS

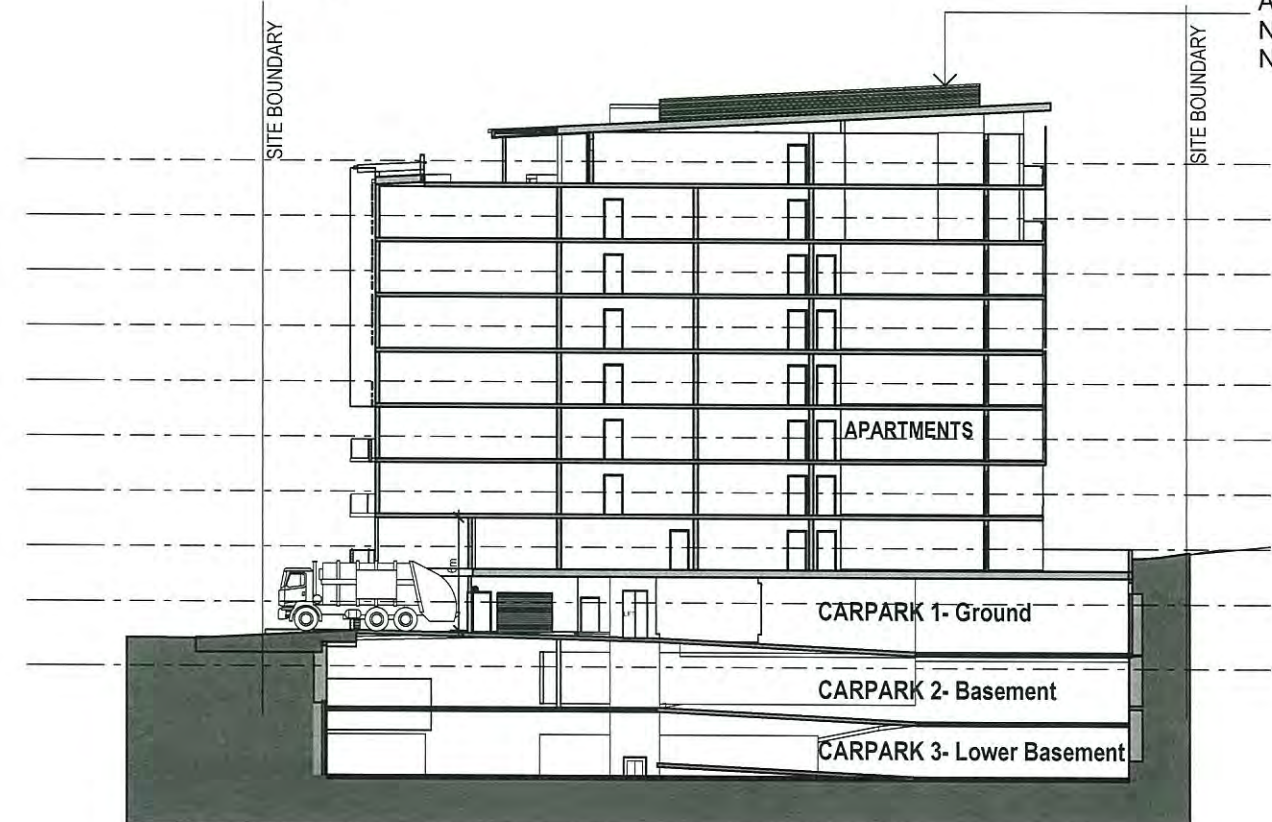
Scale @ A3	Drawn:	Checked:
1:400	SH	EA
Project Number	Drawing Number	Issue
H2943ABB	TP17	E

Printed:- 4/03/2015



1 Section A
1:400

ACOUSTIC BAFFLE SCREEN
AS REQUIRED TO MITIGATE
NUISANCE NOISE TO
NEIGHBOURING PROPERTIES



2 Section B
1:400

BUILDING A



1

Level 1
1:200

CONTINUES- REFER SHEET TP21

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04/03/15	E	EDQ FURTHER ISSUES	EA
23/02/15	D	TRAFFIC ISSUE	EA
28/01/15	C	EDQ ISSUE	EA
6/12/14	B	EDQ ISSUE	EA
31/10/14	A	EDQ ISSUE	EA
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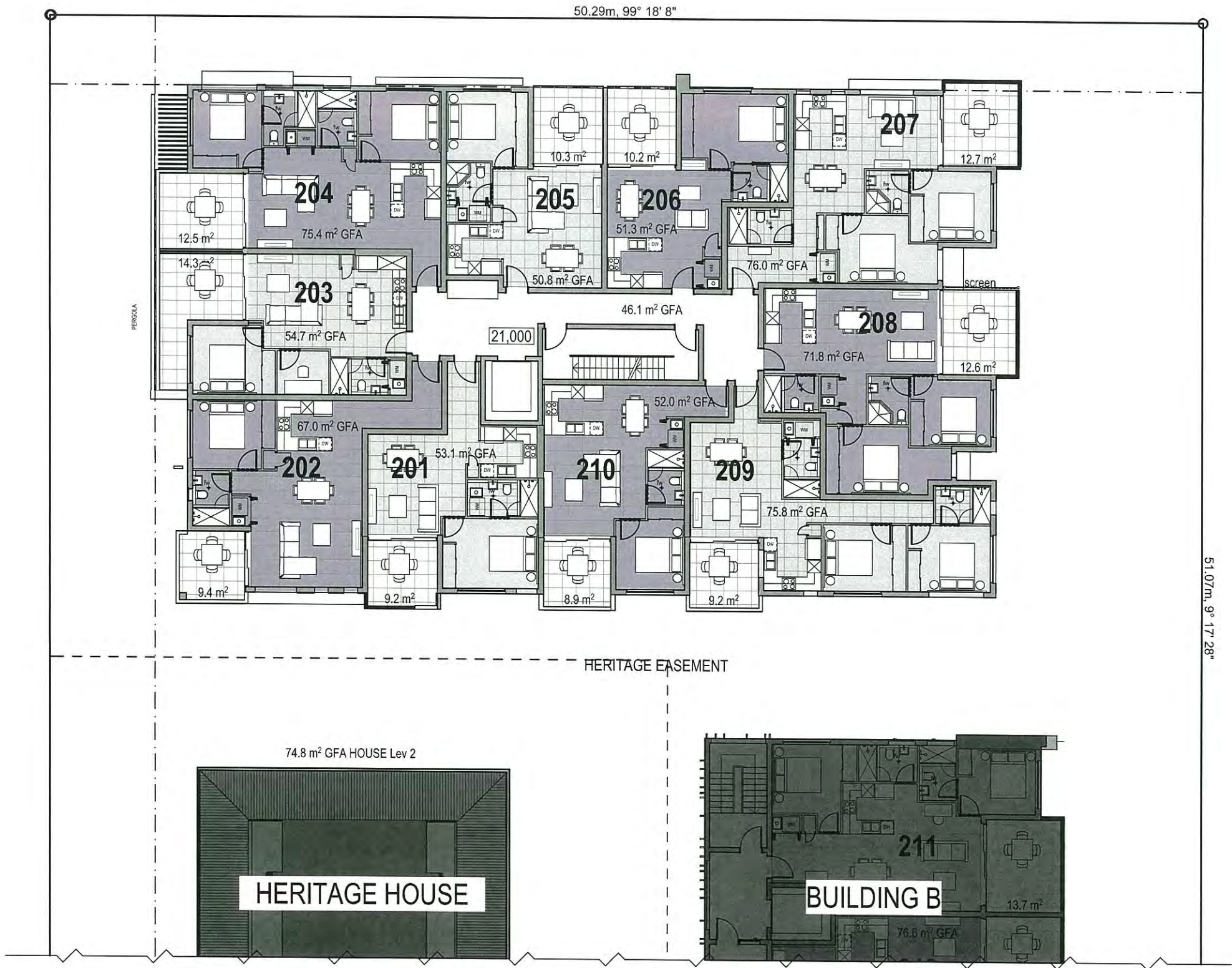
Project
Topaz Apartments

23-39 Abbotsford Road,
Bowen Hills, QLD 4006

Drawing Title
BUILDING A ROOM LAYOUTS-
LEVEL 1

Scale @ A3	Drawn:	Checked:
1:200	SH	EA
Project Number	Drawing Number	Issue
H2943ABB	TP18	F

BUILDING A



HERITAGE HOUSE

BUILDING B

CONTINUES- REFER SHEET TP22

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04/03/15	E	EDQ FURTHER ISSUES	EA
23/02/15	D	TRAFFIC ISSUE	EA
28/01/15	C	EDQ ISSUE	EA
6/12/14	B	EDQ ISSUE	EA
31/10/14	A	EDQ ISSUE	EA

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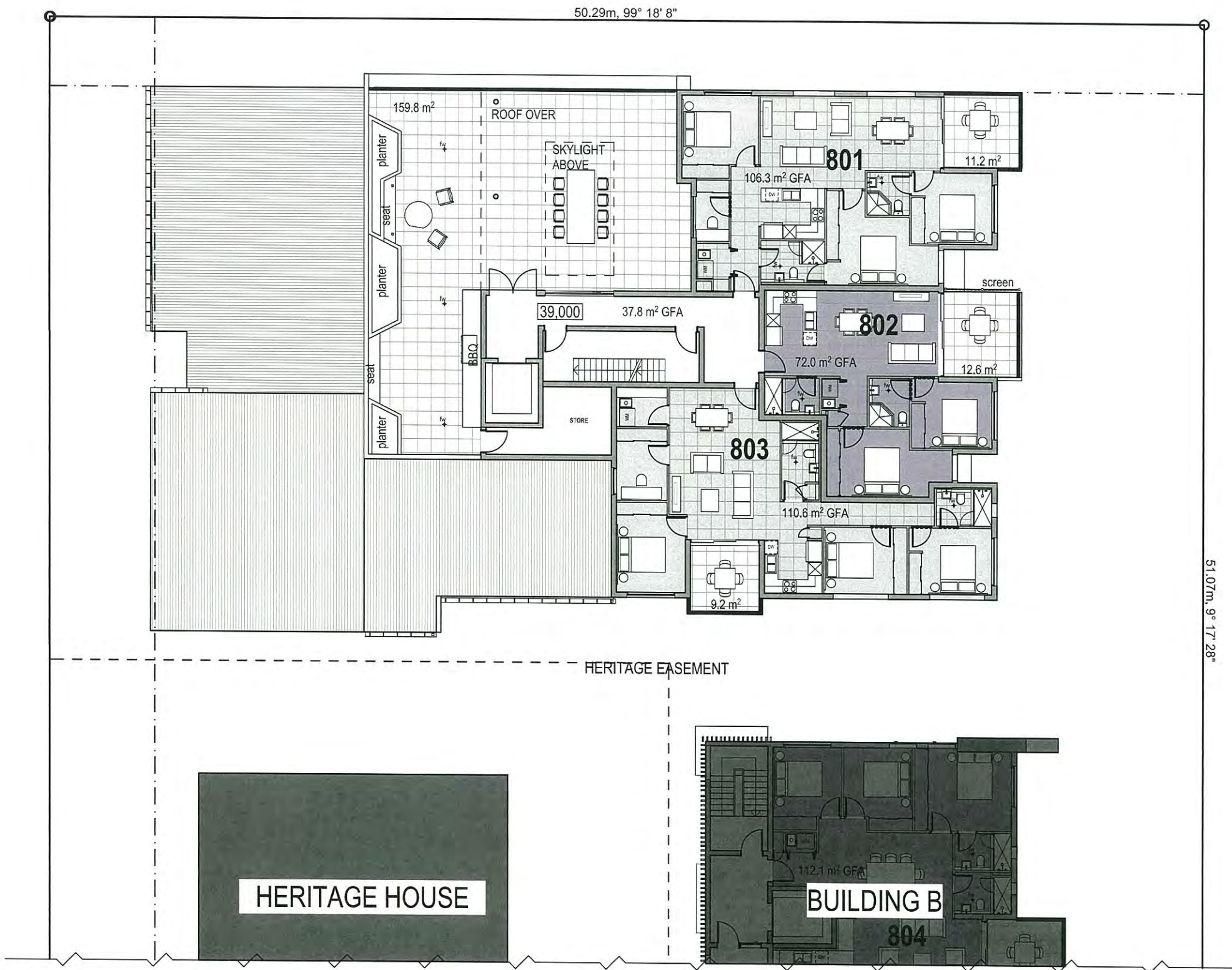
Project
Topaz Apartments

23-39 Abbotsford Road,
Bowen Hills, QLD 4006

Drawing Title
**BUILDING A ROOM LAYOUTS-
LEVEL 2-7 TYPICAL FLOOR**
Scale @ A3 Drawn: SH Checked: EA
1:200 Project Number Drawing Number Issue
H2943ABB TP19 F

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BUILDING A



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23/02/15	D	TRAFFIC ISSUE	EA
28/01/15	C	EDQ ISSUE	EA
6/12/14	B	EDQ ISSUE	EA
31/10/14	A	EDQ ISSUE	EA

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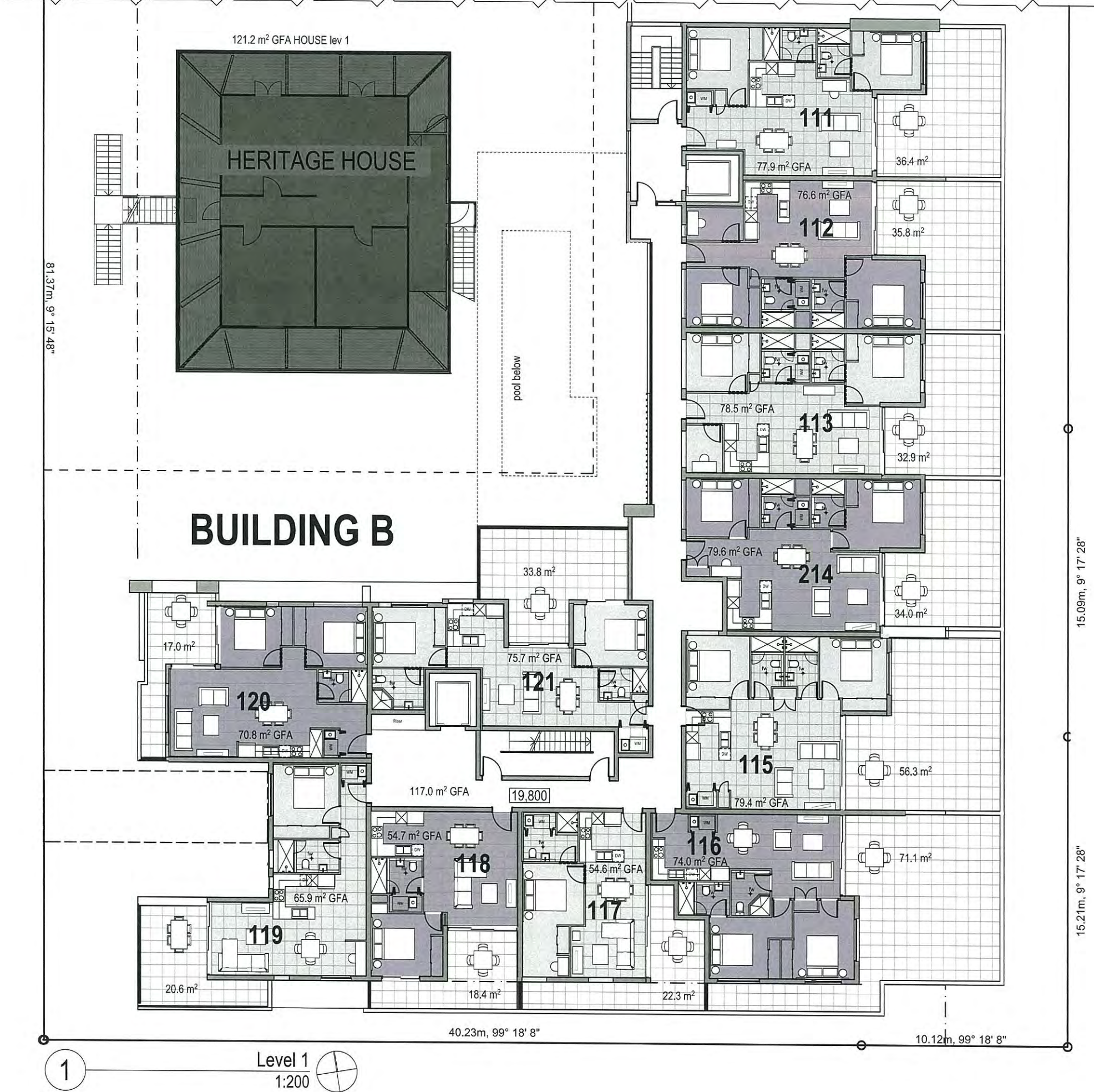
Project
Topaz Apartments

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Bowen Hills, QLD 4006

Drawing Title
**BUILDING A ROOM LAYOUTS-
LEVEL 8**

Scale @ A3 Drawn: SH Checked: EA
1:200

Project Number Drawing Number Issue
H2943ABB TP20 F



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04/03/15	E	EDQ FURTHER ISSUES	EA
23/02/15	D	TRAFFIC ISSUE	EA
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6/12/14	B	EDQ ISSUE	EA
31/10/14	A	EDQ ISSUE	EA
Date	No.	Details	Checked

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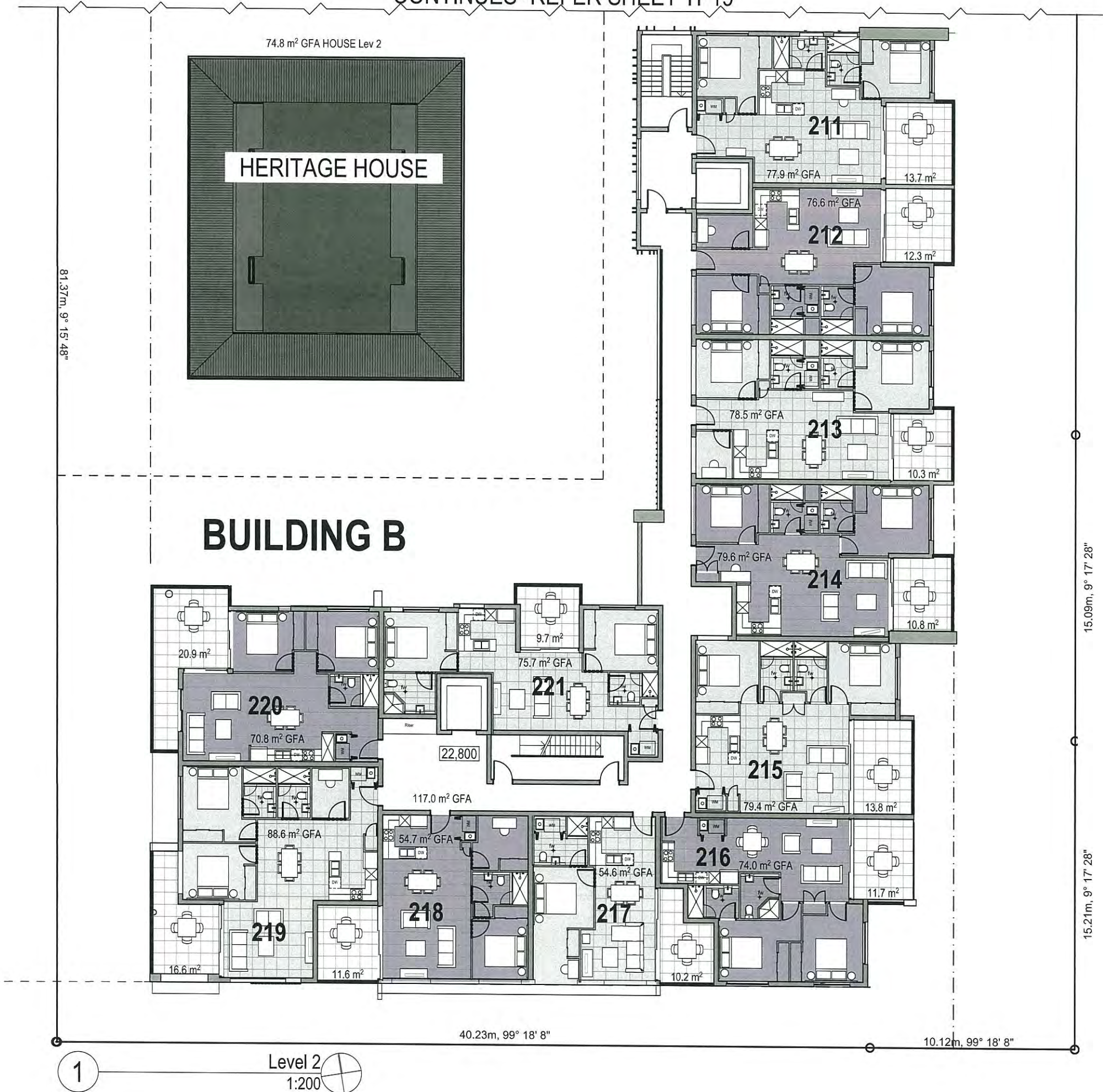
Project:
Topaz Apartments

23-39 Abbotsford Road,
Bowen Hills, QLD 4006

Drawing Title:
BUILDING B ROOM LAYOUTS-
LEVEL 1

Scale @ A3 1:200	Drawn: SH	Checked: EA
Project Number H2943ABB	Drawing Number TP21	Issue F

CONTINUES- REFER SHEET TP19



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04/03/15	E	EDQ FURTHER ISSUES	EA
23/02/15	D	TRAFFIC ISSUE	EA
28/01/15	C	EDQ ISSUE	EA
6/12/14	B	EDQ ISSUE	EA
31/10/14	A	EDQ ISSUE	EA
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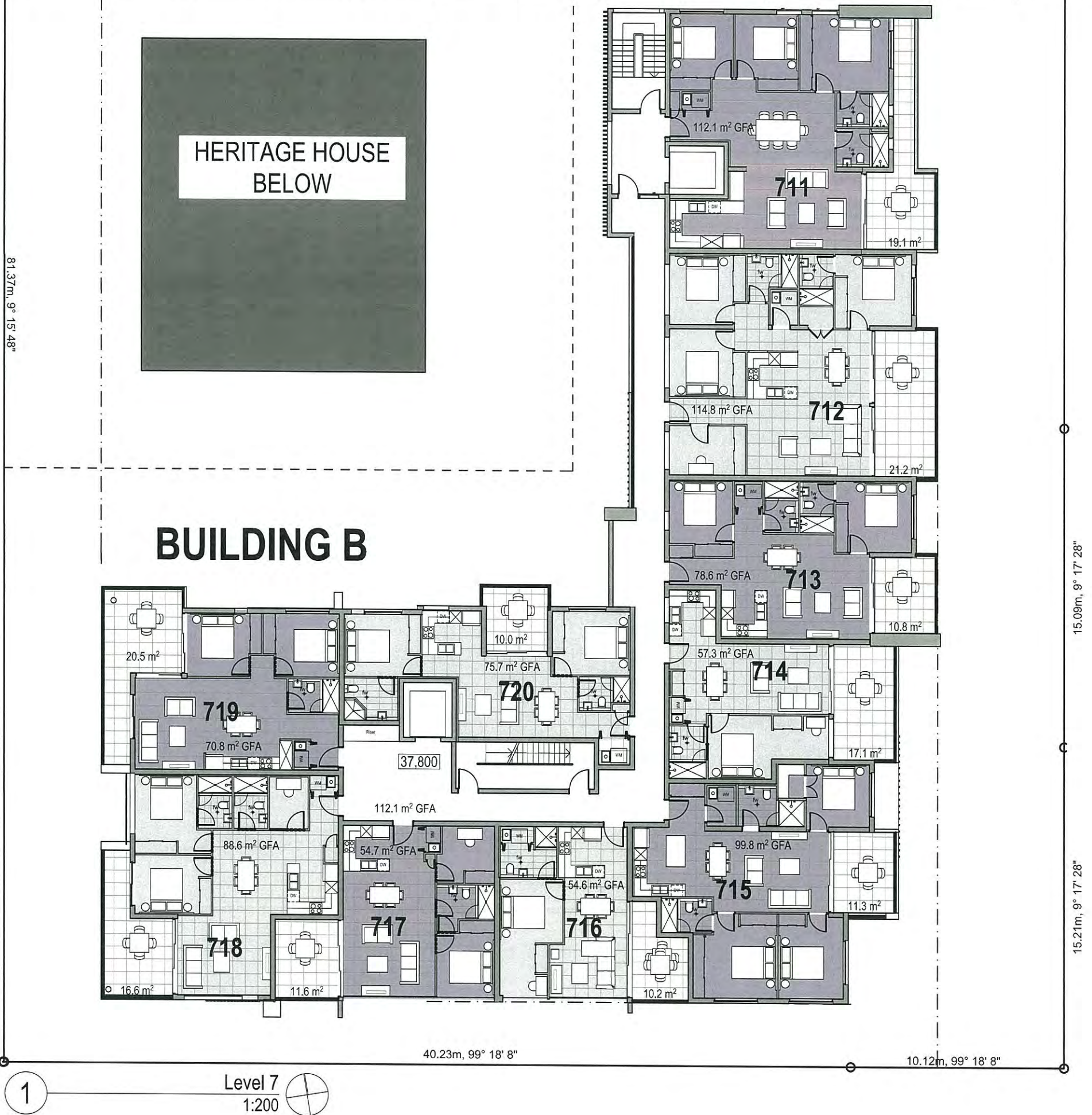
Project:
Topaz Apartments

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Drawing Title:
BUILDING B ROOM LAYOUTS-
LEVEL 2-6 TYPICAL FLOOR

Scale @ A3 Drawn: SH Checked: EA
1:200

Project Number Drawing Number Issue
H2943ABB TP22 F



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04/03/15	E	EDQ FURTHER ISSUES	EA
23/02/15	D	TRAFFIC ISSUE	EA
28/01/15	C	EDQ ISSUE	EA
6/12/14	B	EDQ ISSUE	EA
31/10/14	A	EDQ ISSUE	EA
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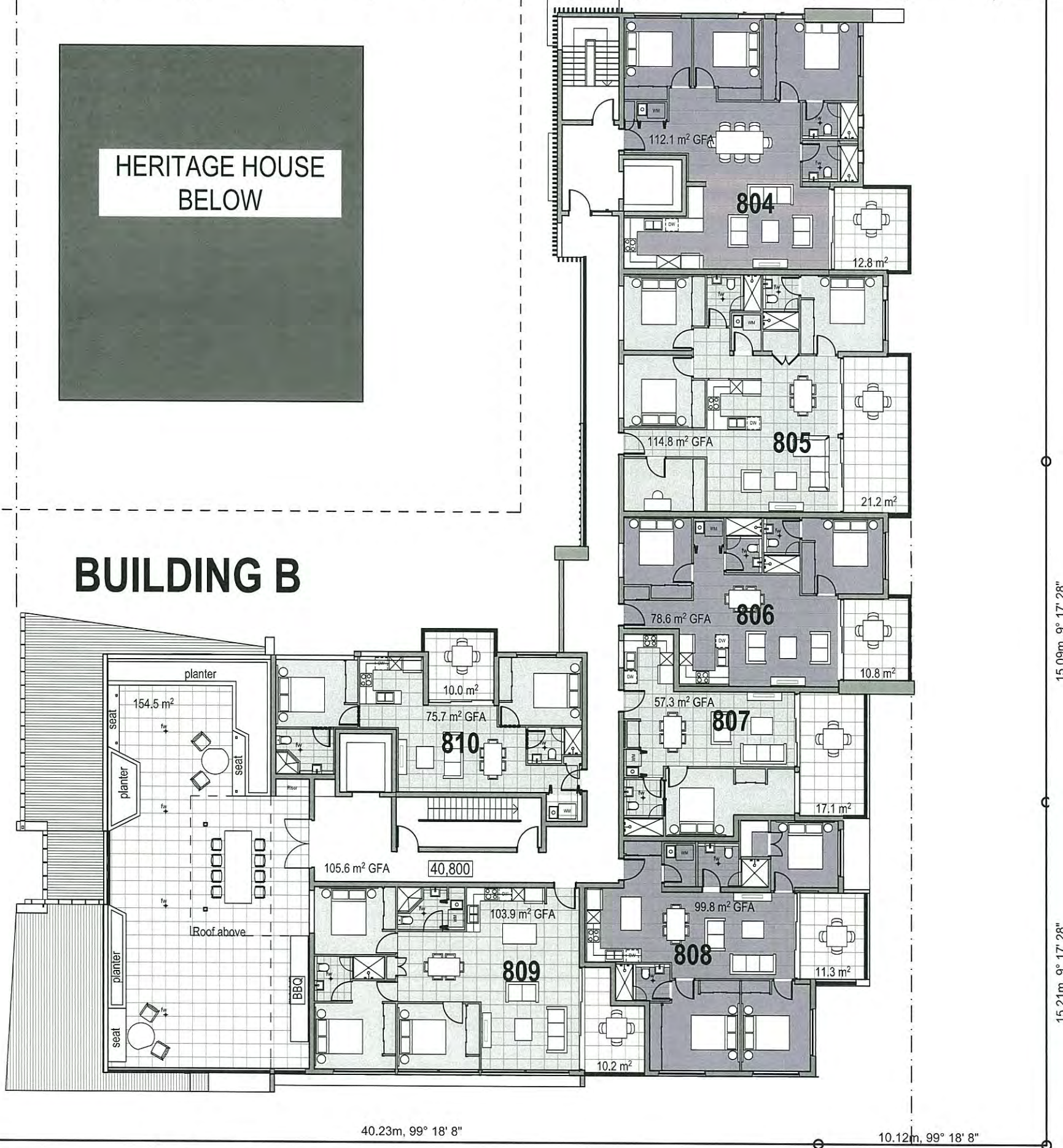
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**BUILDING B ROOM LAYOUTS-
LEVEL 7**

Scale @ A3	Drawn:	Checked:
1:200	SH	EA
Project Number	Drawing Number	Issue
H2943ABB	TP23	F

CONTINUES- REFER SHEET TP20

HERITAGE HOUSE
BELOW

BUILDING B



Level 8
1:200

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23/02/15	D	TRAFFIC ISSUE	EA
28/01/15	C	EDQ ISSUE	EA
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Date	No.	Details	Checked

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Drawing Title
BUILDING B ROOM LAYOUTS-
LEVEL 8

Scale @ A3	Drawn:	Checked:
1:200	SH	EA
Project Number	Drawing Number	Issue
H2943ABB	TP24	F

TOWN PLANNING

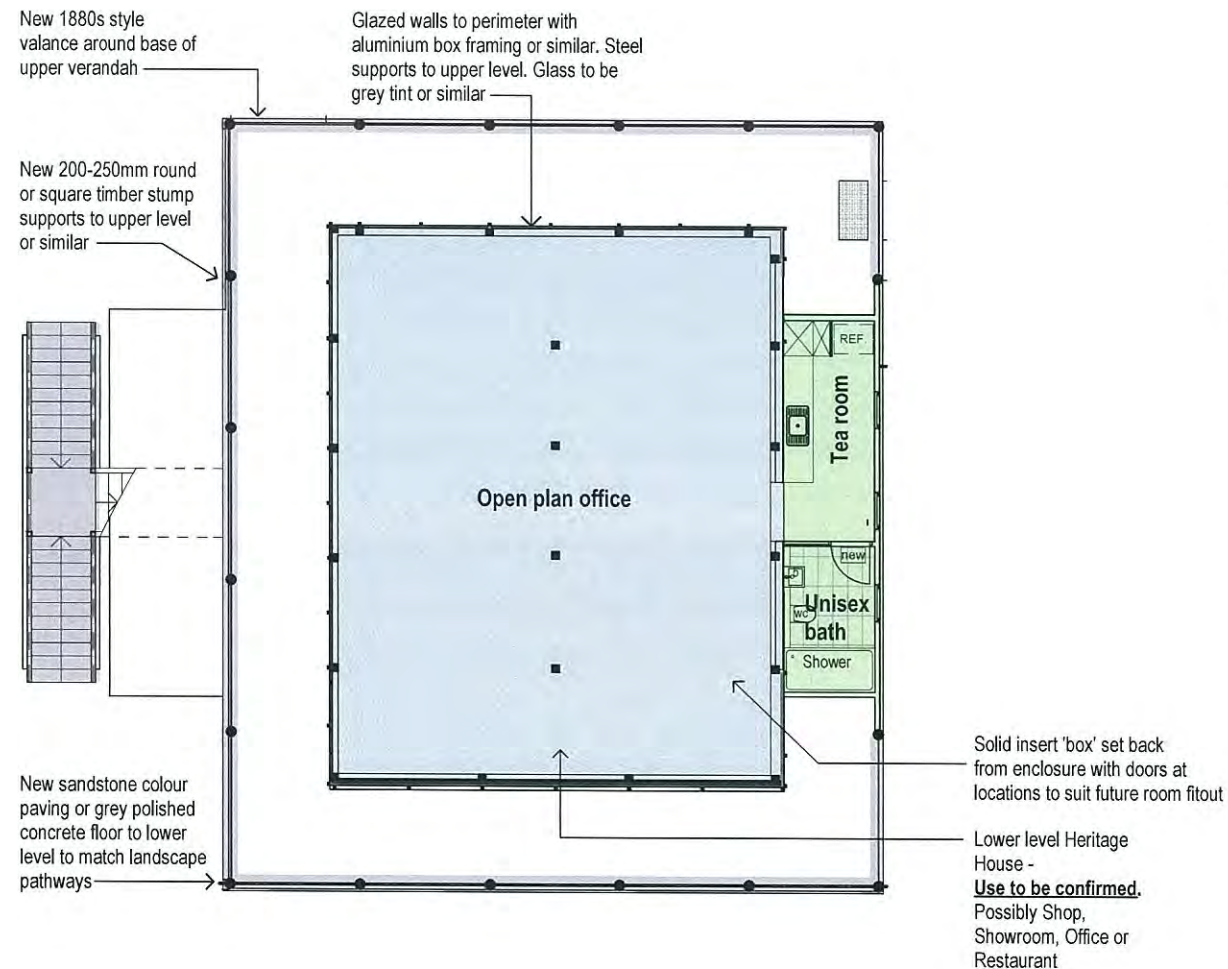
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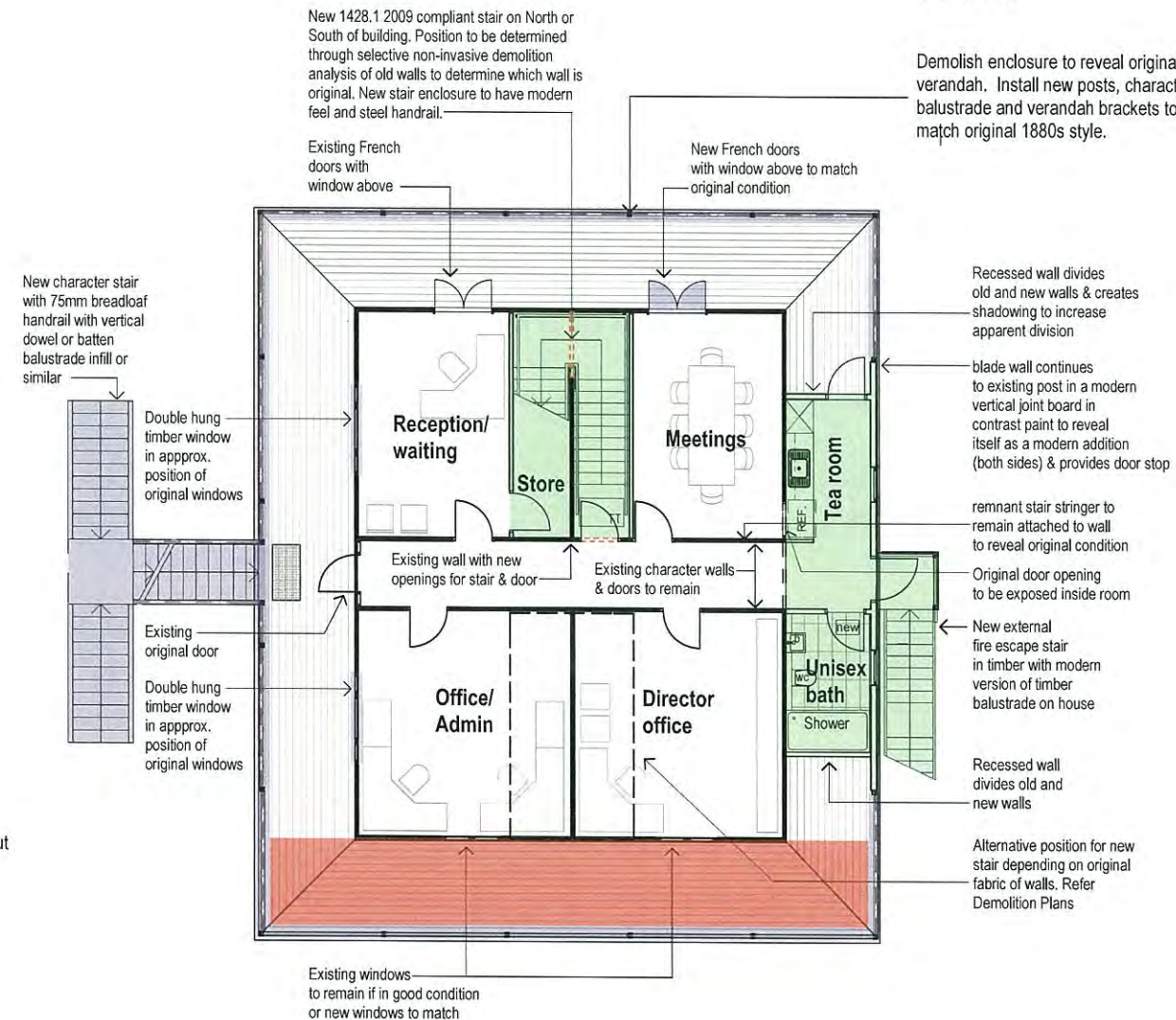
Heritage House -
Use to be confirmed.

Possible room &
furniture layout shown
for small office

Demolish enclosure to reveal original
verandah. Install new posts, character
balustrade and verandah brackets to
match original 1880s style.



1 Heritage House Ground
1:150



2 Heritage House Level 1
1:150

NOTES

Existing VJ walls to remain typically. Where linings have been removed or added, use VJ linings to restore walls to original condition if VJ on adjacent walls in room. New walls at upper levels to be plasterboard. Paint finish to all walls,

Existing VJ ceilings to be retained or revealed where covered with linings. Any asbestos wall or ceiling linings to be removed. New ceilings to upper level to be plasterboard with fibrecement to wet areas.

New shot edge decking to all external verandahs

Refer associated Landscape Plan by CitiCene to review garden setting

All doors to be restored to original condition where possible. New doors at upper level to be plain flush leaf. Relocate suitable existing door from demolished rear building if possible and significant. Paint finish

New doors and windows will be of the same materials as the old house but will be un-ornamented, with square timberwork so that from a distance, they look original and suit the house but on closer inspection they reveal themselves as new modern work.

Original timber flooring to be revealed and restored where possible or new timber flooring to match original to all internal floors at Level 1 and 2

KEY

New building elements to restore house to known original condition

New Commercial infill below existing heritage house

ND = New door

New modern stair, enclosing walls and rear amenities extension

New building elements reflecting style and era of original condition

Existing original walls to be demolished, see notes on drawing

PLANS AND DOCUMENTS
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- 9 APR 2015
MEDQ

04/03/15	E	EDQ FURTHER ISSUES	EA
02/03/15	D	CONSULTANT ISSUE	KH
27/02/15	C	CONSULTANT ISSUE	KH
26/02/15	B	CONSULTANT ISSUE	KH
28/01/15	A	EDQ ISSUE	KH
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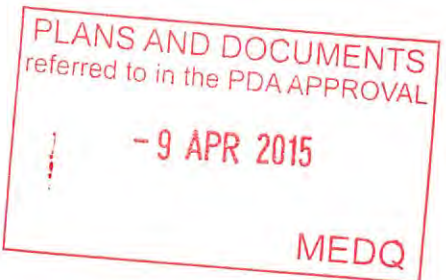
Client
Starhill Property Group
Project
Topaz Apartments
Heritage House
23-39 Abbotsford Road,
Bowen Hills, QLD 4006

Drawing Title
ABBOTSFORD HOUSE
Proposed Floor Plans 1
Scale @ A3 Drawn: SH Checked: KH
1:150
Project Number Drawing Number Issue
H2943ABB TP 101 E

TOWN PLANNING

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04/03/15	E	EDQ FURTHER ISSUES	EA
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27/02/15	C	CONSULTANT ISSUE	KH
26/02/15	B	CONSULTANT ISSUE	KH
28/01/15	A	EDQ ISSUE	KH

Date	No.	Details	Checked
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Project
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Heritage House

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Bowen Hills, QLD 4006

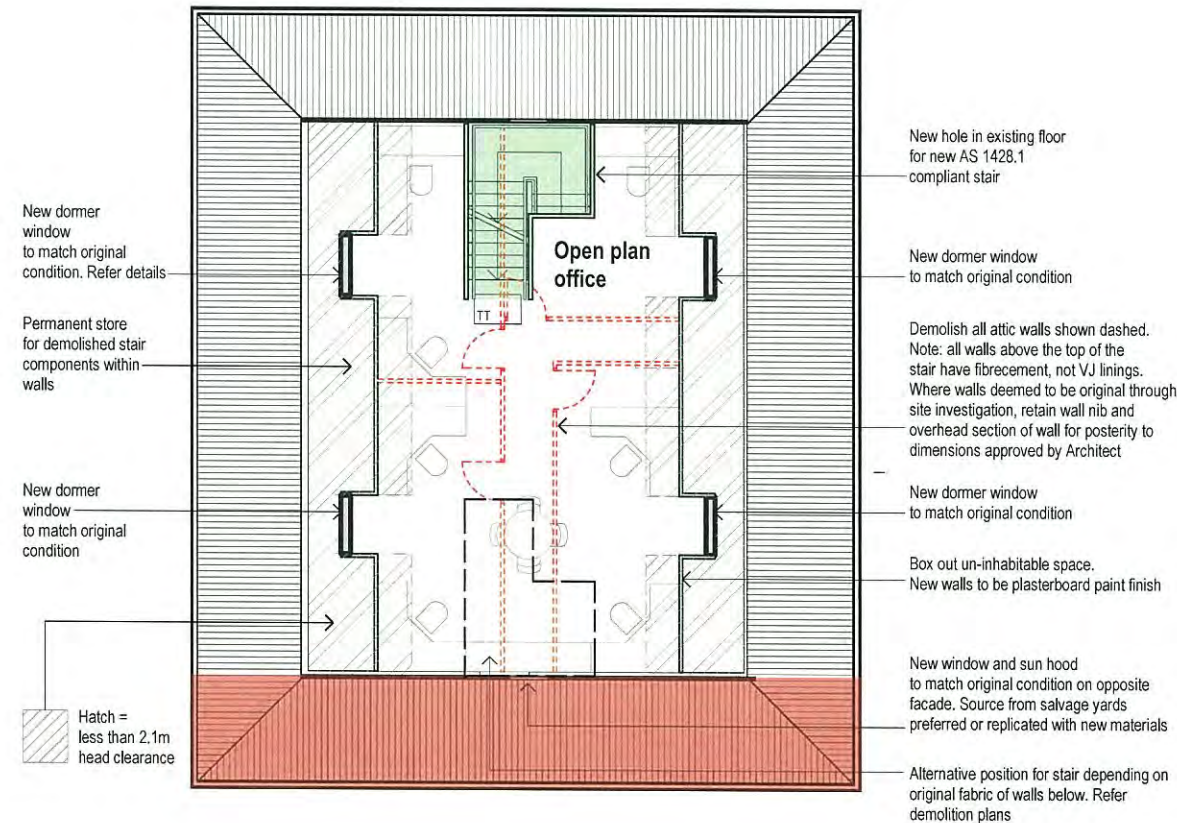
Drawing Title
ABBOTSFORD HOUSE
Proposed Floor Plans 2

Scale @ A3	Drawn:	Checked:
1:150	SH	KH
Project Number	Drawing Number	Issue
H2943ABB	TP 102	E

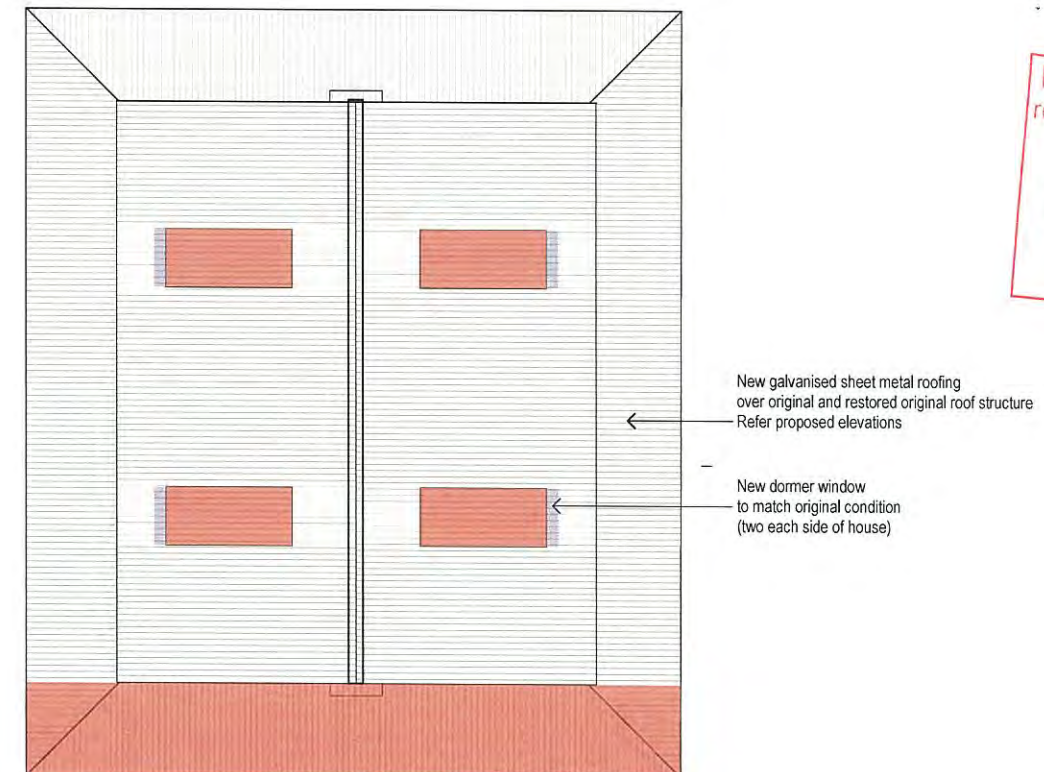
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Heritage House -
Use to be confirmed.

Possible room &
furniture layout shown
for small office



1 Heritage House Level 2
1:150



2 Heritage House Roof
1:150

NOTES

Existing VJ walls to remain typically. Where linings have been removed or added, use VJ linings to restore walls to original condition if VJ on adjacent walls in room. New walls at upper levels to be plasterboard. Paint finish to all walls,

Existing VJ ceilings to be retained or revealed where covered with linings. Any asbestos wall or ceiling linings to be removed. New ceilings to upper level to be plasterboard with fibre cement to wet areas.

New shot edge decking to all external verandahs

Refer associated Landscape Plan by CitiCene to review garden setting

All doors to be restored to original condition where possible. New doors at upper level to be plain flush leaf. Relocate suitable existing door from demolished rear building if possible and significant. Paint finish

New doors and windows will be of the same materials as the old house but will be un-ornamented, with square timberwork so that from a distance, they look original and suit the house but on closer inspection they reveal themselves as new modern work.

Original timber flooring to be revealed and restored where possible or new timber flooring to match original to all internal floors at Level 1 and 2

KEY

New building elements to restore house to known original condition

New Commercial infill below existing heritage house

ND = New door

New modern stair and upper level walls at edges of attic space

New building elements to match style and era of original condition

Existing presumed non-original attic walls to be demolished, see notes on drawing

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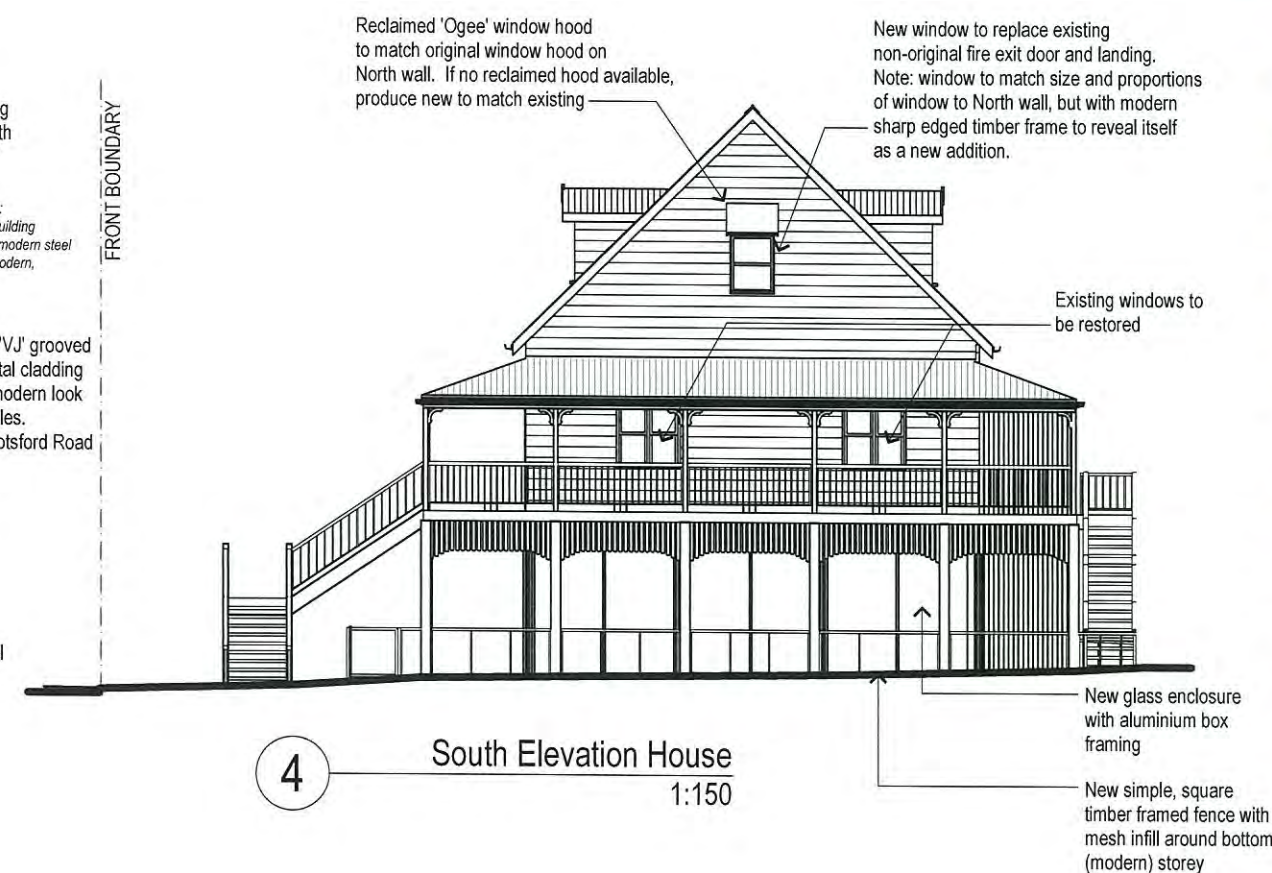
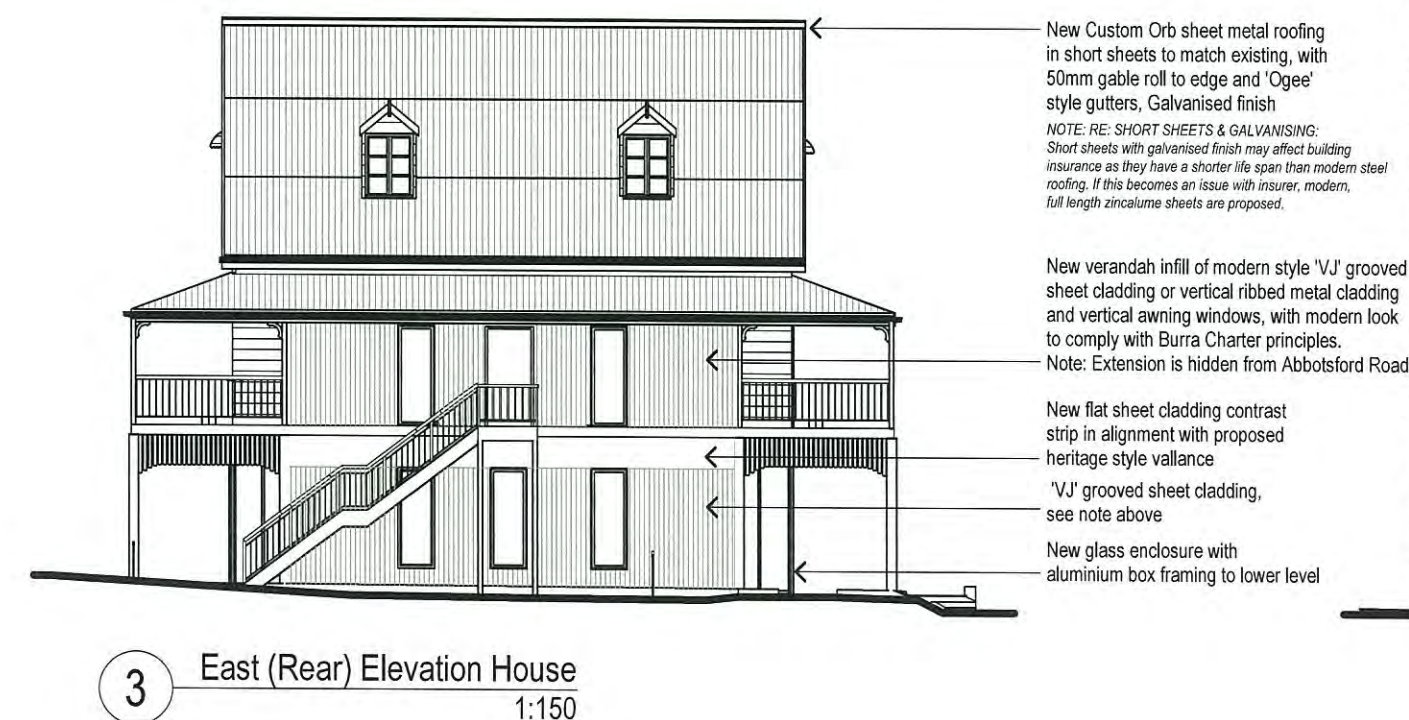
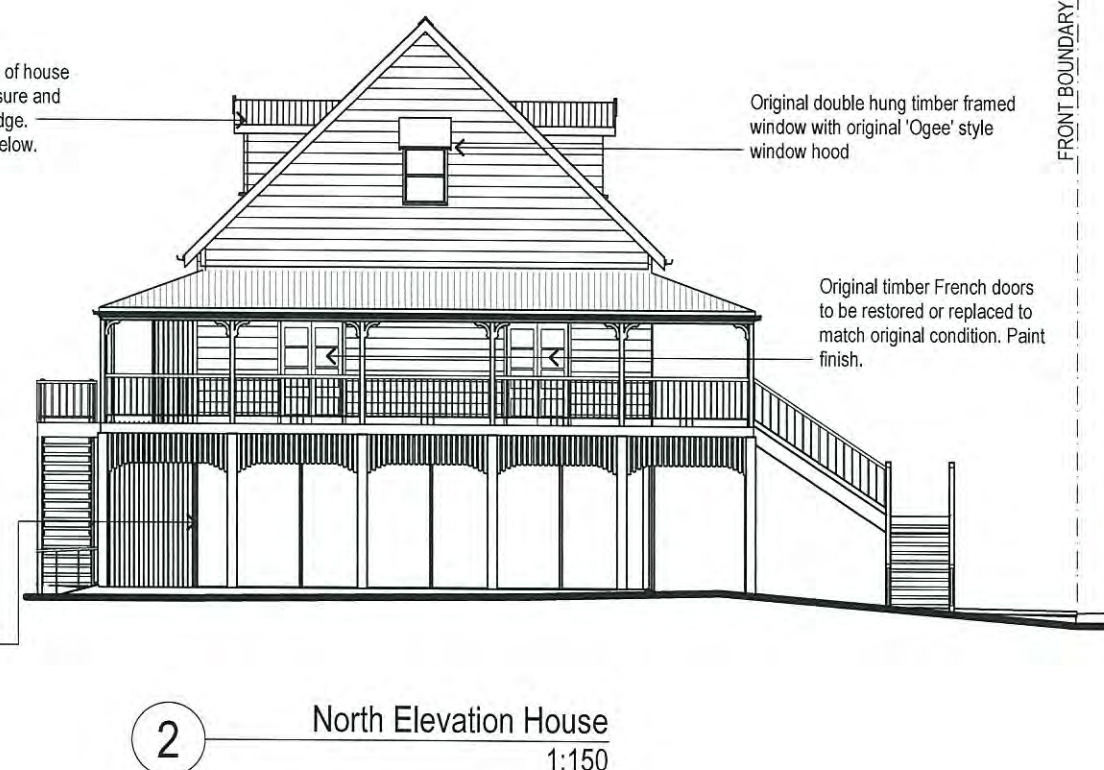
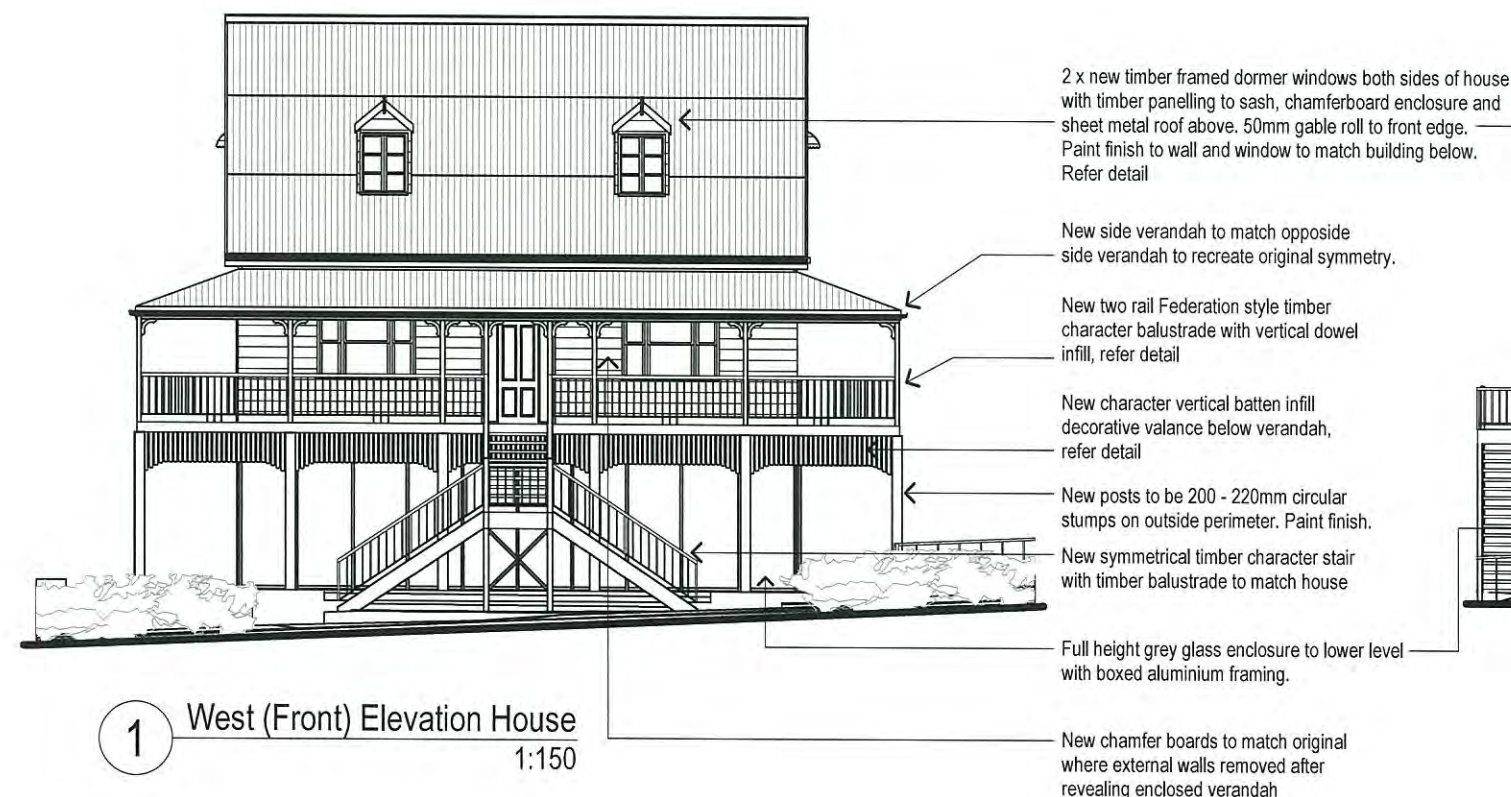
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PLANS AND DOCUMENT
referred to in the PDA APPROV

- 9 APR 2015

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26/02/15	B	CONSULTANT ISSUE	KH
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Client
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Topaz Apartments
Heritage House
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Drawing Title
ABBOTSFORD HOUSE
Elevations

Scale @ A3	Drawn:	Checked:
1:150	SH	KH
Project Number	Drawing Number	Issue
H2943ABB	TP 103	E

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Client
Starhill Property Group

Project
Topaz Apartments
Heritage House

23-39 Abbotsford Road,
Bowen Hills, QLD 4006

Drawing Title
ABBOTSFORD HOUSE Colour Scheme

Scale @ A3 Drawn: 1:227.27, 1:138 Checked: KH
Project Number Drawing Number Issue
H2943ABB TP 104 -E-

Printed - 4/03/2015

COLOUR SCHEME BY SALLY OSBOURNE MVA



DULUX- ROYAL BLUE G29

DULUX- GOLDEN YELLOW G58

DULUX- LIME WHITE O28
HALF STRENGTH

REFER REPORT BY SALLY OSBOURNE MVA FOR ADDITIONAL INFORMATION



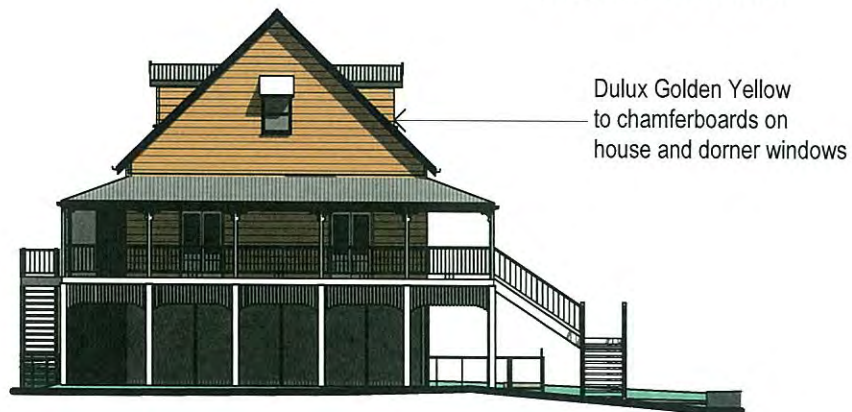
WEST COLOURS



EAST COLOURS



SOUTH COLOURS



NORTH COLOURS

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Client
Starhill Property Group
Project
Topaz Apartments
Heritage House
23-39 Abbotsford Road,
Bowen Hills, QLD 4006

Drawing Title
ABBOTSFORD HOUSE Details

Scale @ A3	Drawn:	Checked:
1:40	SH	KH
Project Number	Drawing Number	Issue
H2943ABB	TP 105	E

Printed - 4/03/2015

"Finlaysons" 42140
Wentworth Pointed finial

Gable roll

Simple contemporary
bargeboard to suggest
original form of dormer

New timber frame window with
contemporary square angled
frame

Chamferboards to
match house

Apron Flashing

Lysaght 145mm
"Ogee" profile
guttering

"Finlaysons" VB 307
timber verandah bracket

10mm chamfer to corners of
post. 45 degree resolution
top and bottom to end
10mm below column cap
and 100mm above handrail

"The Woodworkers" TB5
Dowel 2 Rail Balustrade with
breadloaf profile handrail with
intermediate bottom rail
supports as shown

Metal Stump caps

Round end batten valance with
symmetrical rear framing

1500mm Radius.
Centre offset
900mm from edge

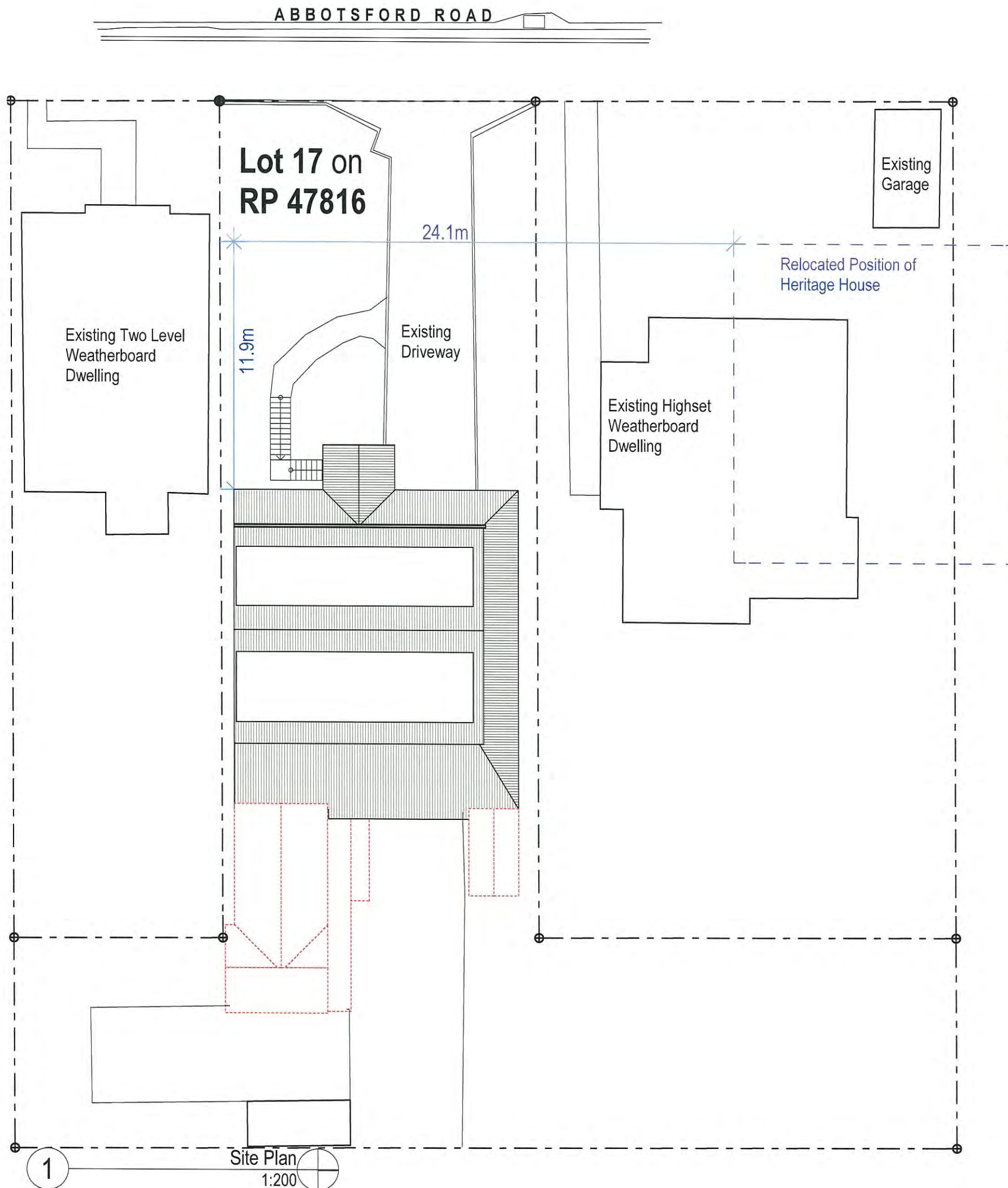
200- 220mm
round timber post
paint finish

West Elevation Detail

1:20 @ A1

2 Dormer Window Detail

1:20 @ A1



Demolition Notes

Where there is ambiguity of originality of walls etc; further investigations on site shall be carried out if required.

Supervised demolition works to be carried out to ensure salvagable materials can be identified and retained for rescue/recycling.

All AC (asbestos cement) sheeting should be identified and will be required to be removed prior to house being relocated. Any AC sheeting deemed to be of heritage significance should be replaced with FC sheeting fixed in place (cover strips, etc) to match the existing.

If historical research provides evidence of original fabric which is not incorporated on the drawings, the drawings may be amended accordingly.

Any non-original door leaves are to be removed and replaced with door leaves to match original doors.

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KEY

- Existing to be retained
- Non-original fabric to be demolished
- Original fabric to be demolished

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Client

Starhill Property Group

Project

Mixed Used Development
25 Abbotsford Rd, Bowen Hills, 4006

Drawing Title

Plans - Site Plan & Notes

Existing & Demolition Drawings

Scale @ A3 Drawn: Checked:
1:200 SH KH

Project Number Drawing Number Issue
H2943ABB TP 110 E

Printed - 3/4/2015

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Date	No.	Details	Checked

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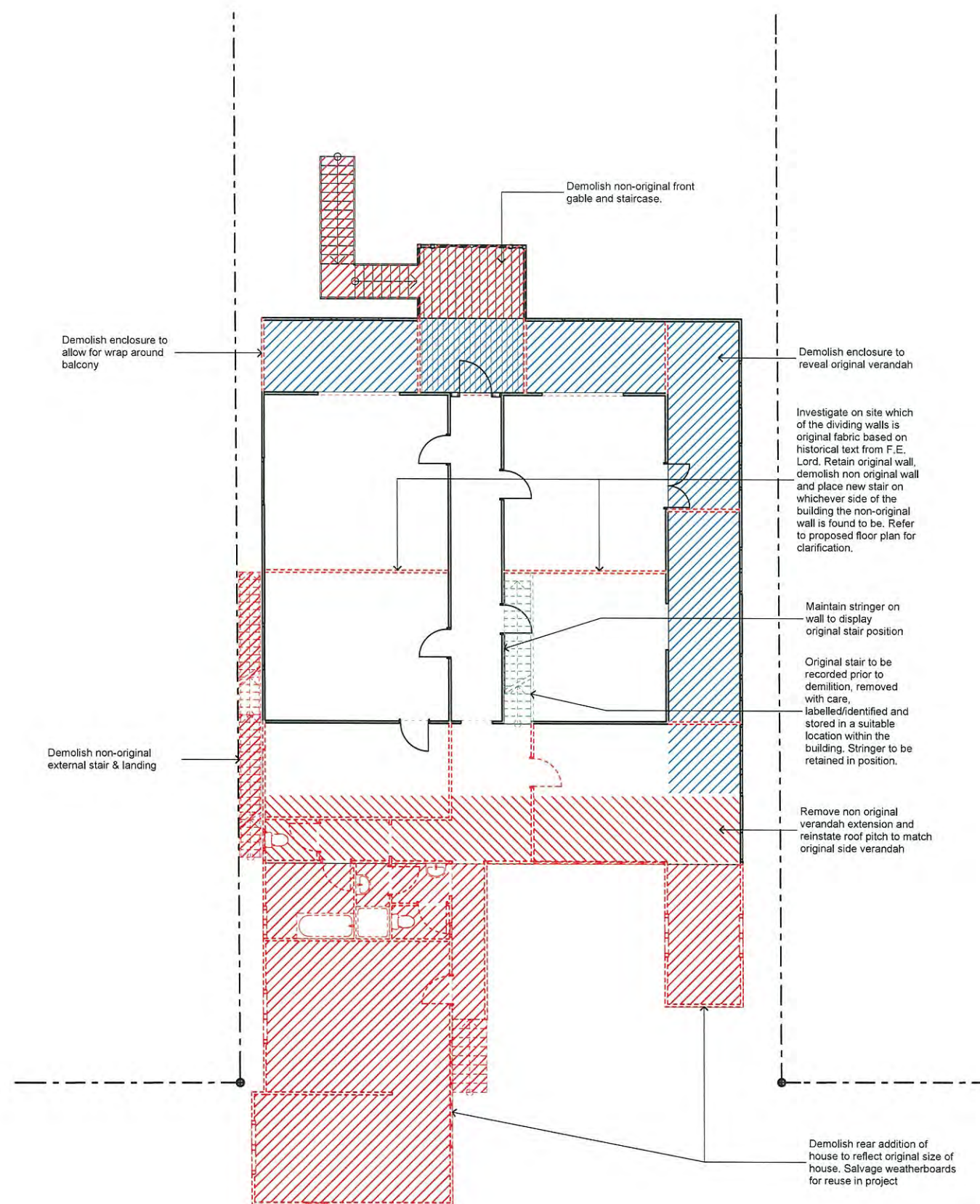
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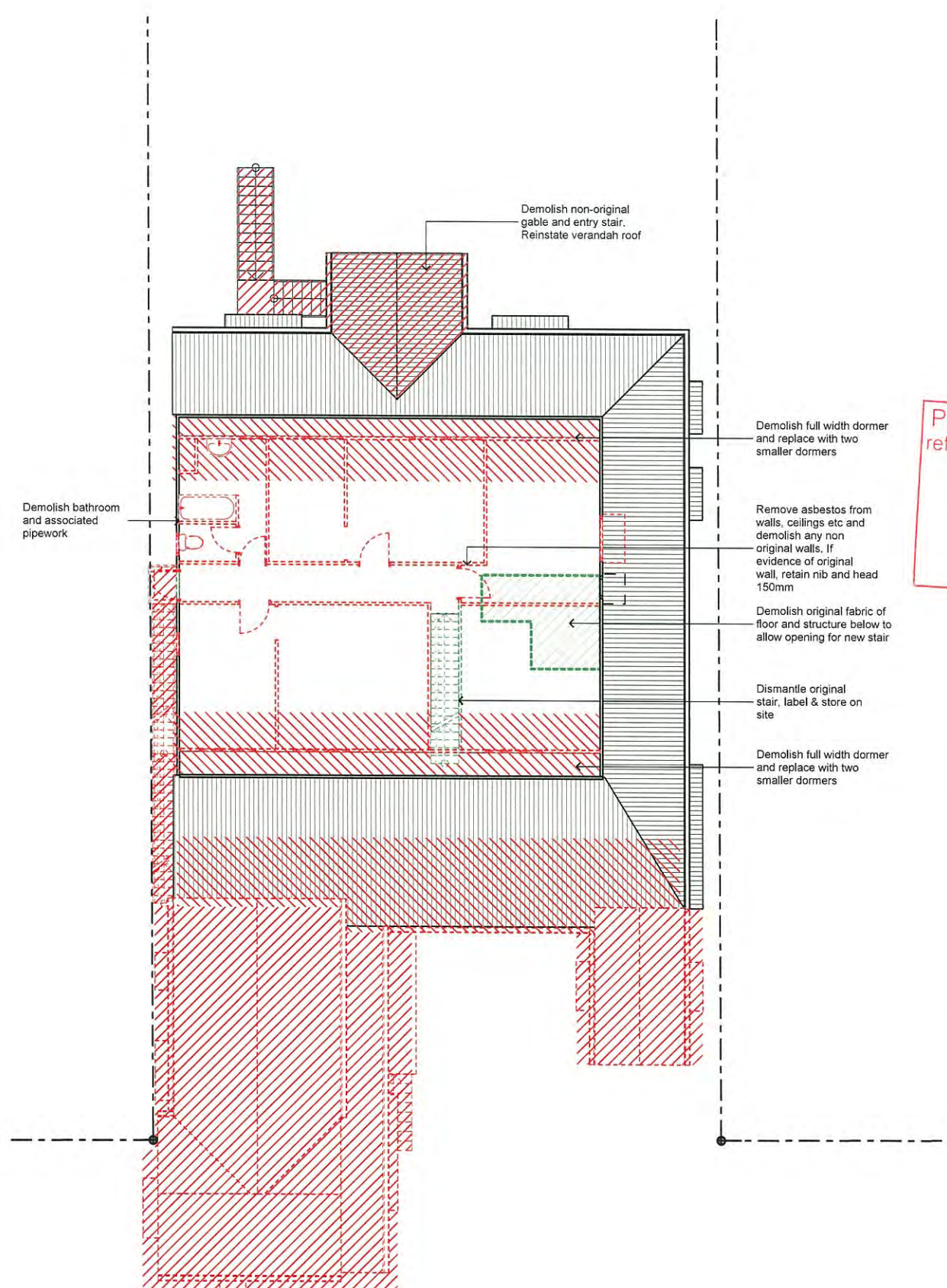
Project
Mixed Used Development
25 Abbotsford Rd, Bowen Hills, 4006

Drawing Title
Plans - Ground Floor Plan
Existing & Demolition Drawings
Scale @ A3 Drawn: Checked:
1:150 SH KH
Project Number Drawing Number Issue
H2943ABB TP 111 E

Printed - 3/4/2015



1 First Floor Plan
1:150



2 Second Floor Plan
1:150

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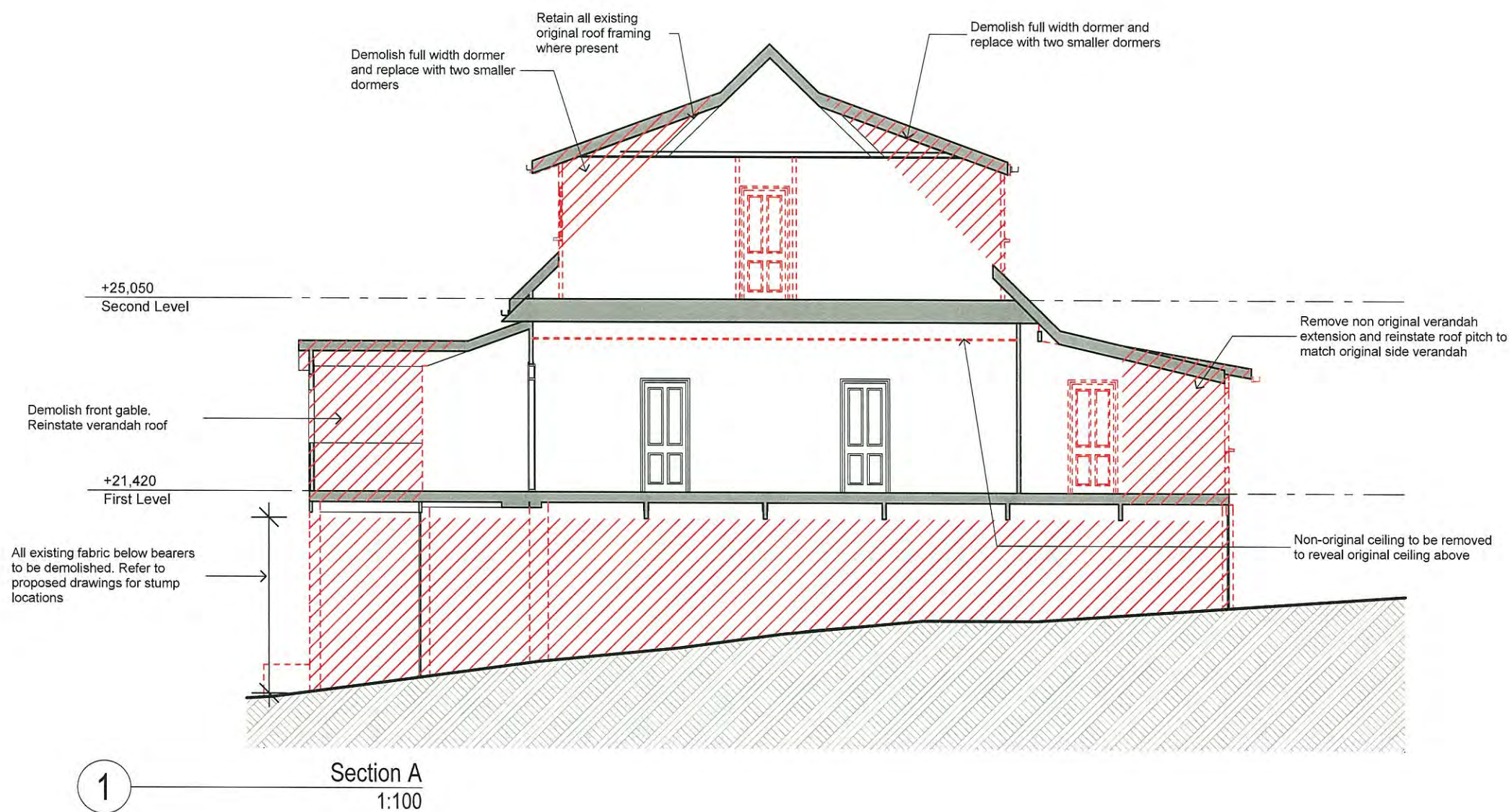
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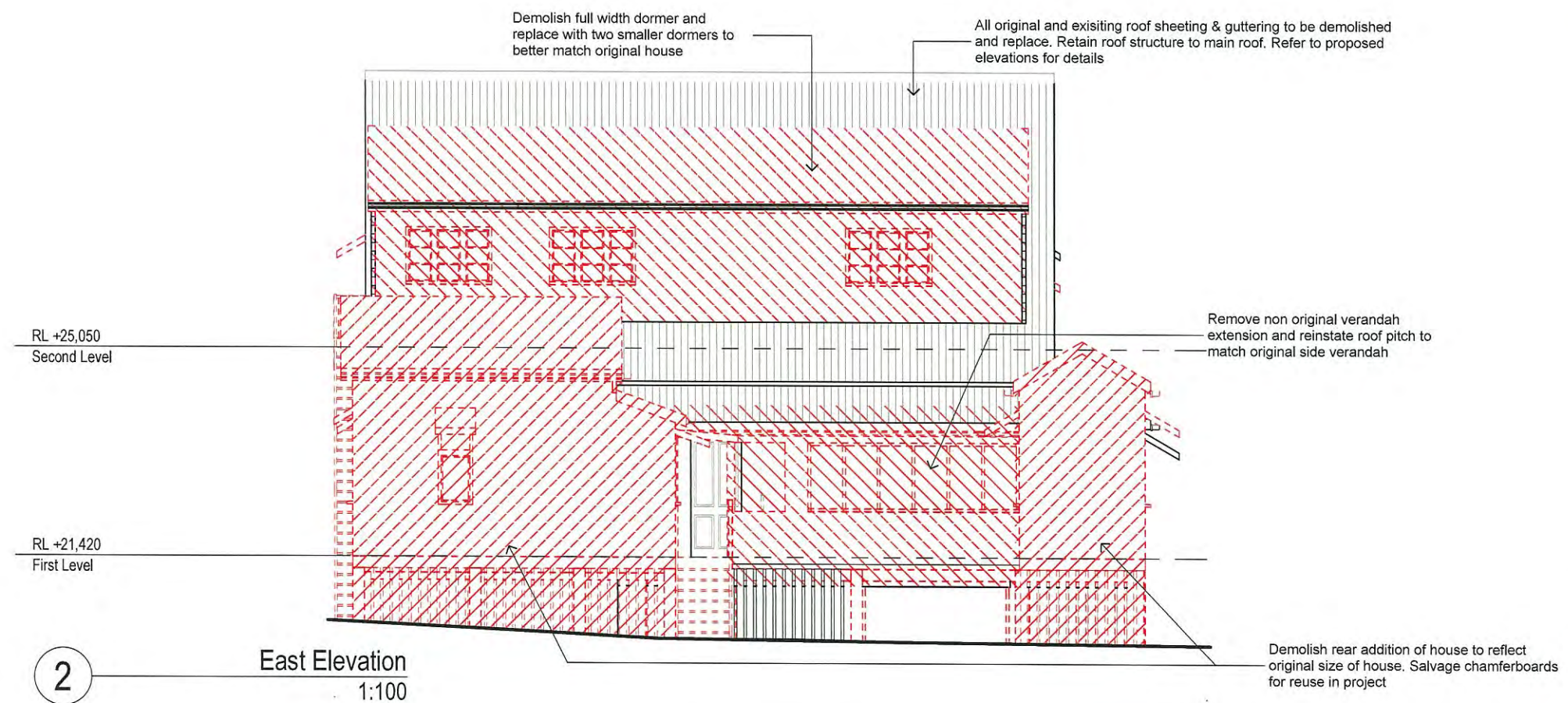
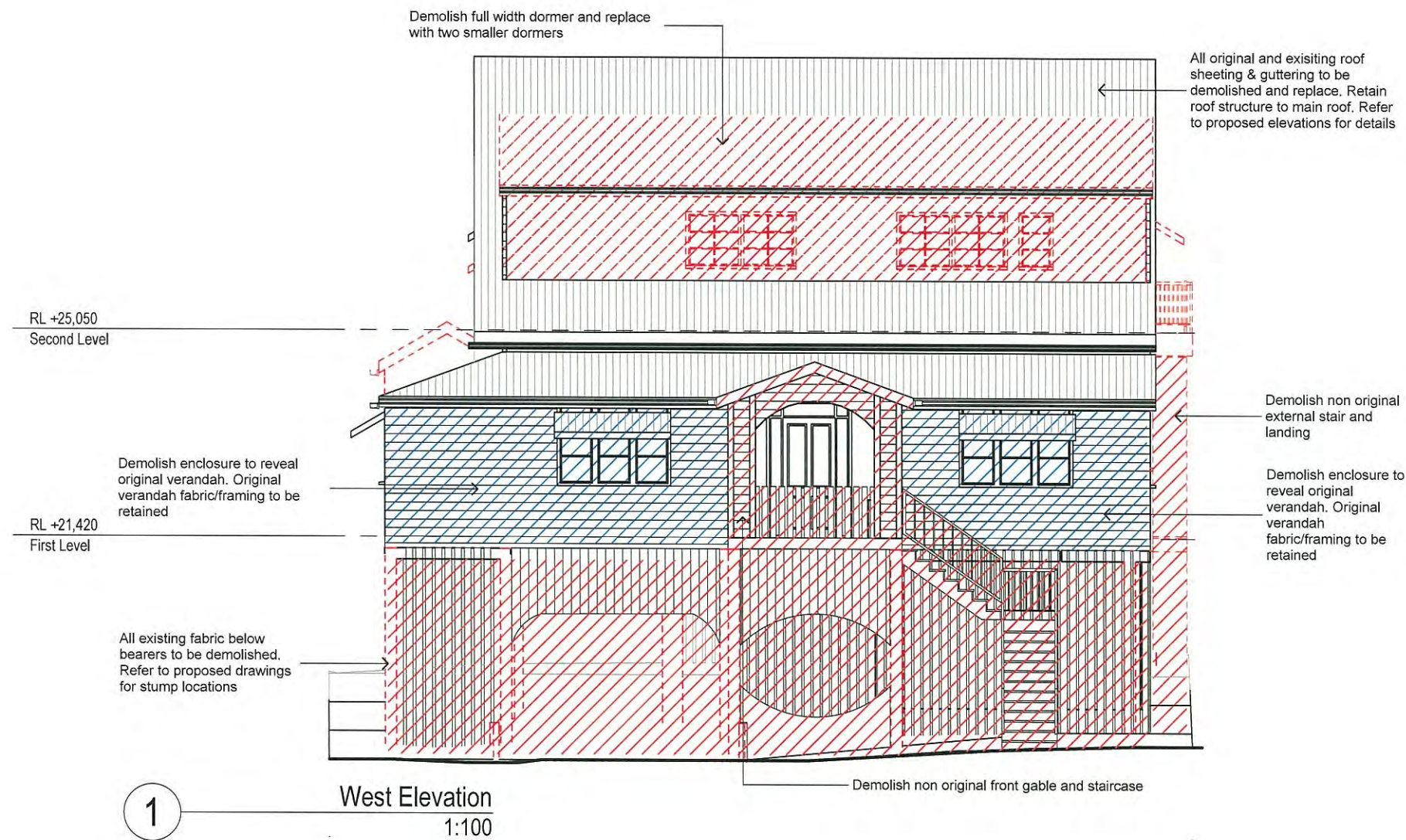
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Client
Starhill Property Group

Project
Mixed Used Development
25 Abbotsford Rd, Bowen Hills, 4006

Drawing Title
Plans - Section A
Existing & Demolition Drawings
Scale @ A3 Drawn: Checked:
1:100 SH KH
Project Number Drawing Number Issue
H2943ABB TP 112 E

Printed - 3/4/2015



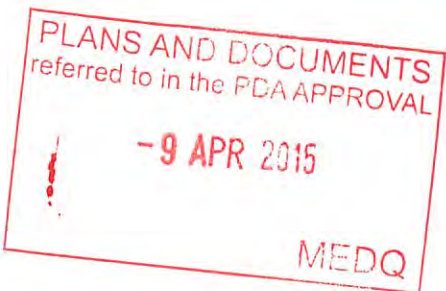
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Project
Mixed Used Development
25 Abbotsford Rd, Bowen Hills, 4006

Drawing Title

Plans - Elevations

Existing & Demolition Drawings

Scale @ A3 Drawn: SH Checked: KH
1:100

Project Number Drawing Number Issue
H2943ABB TP 113 E

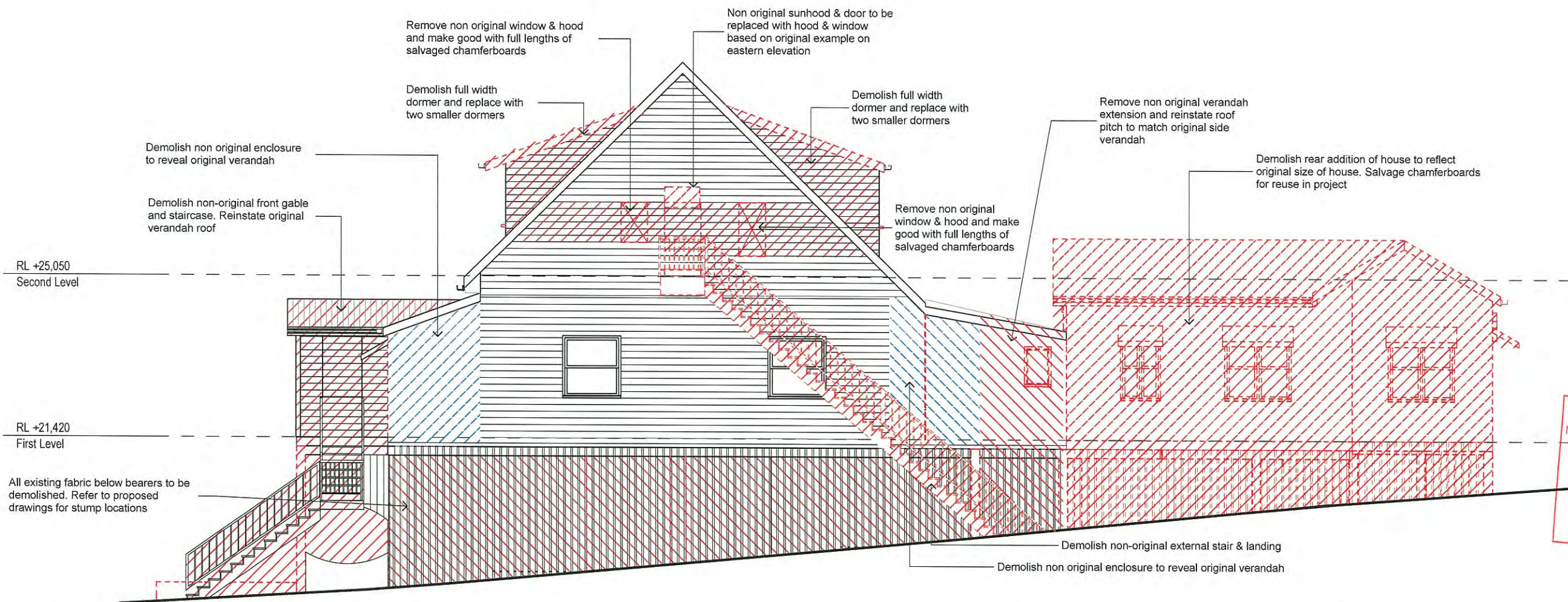
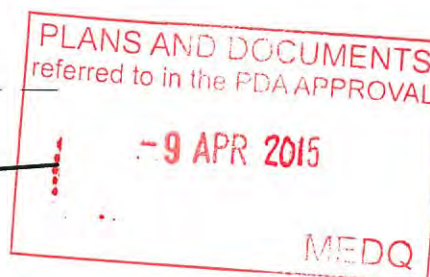
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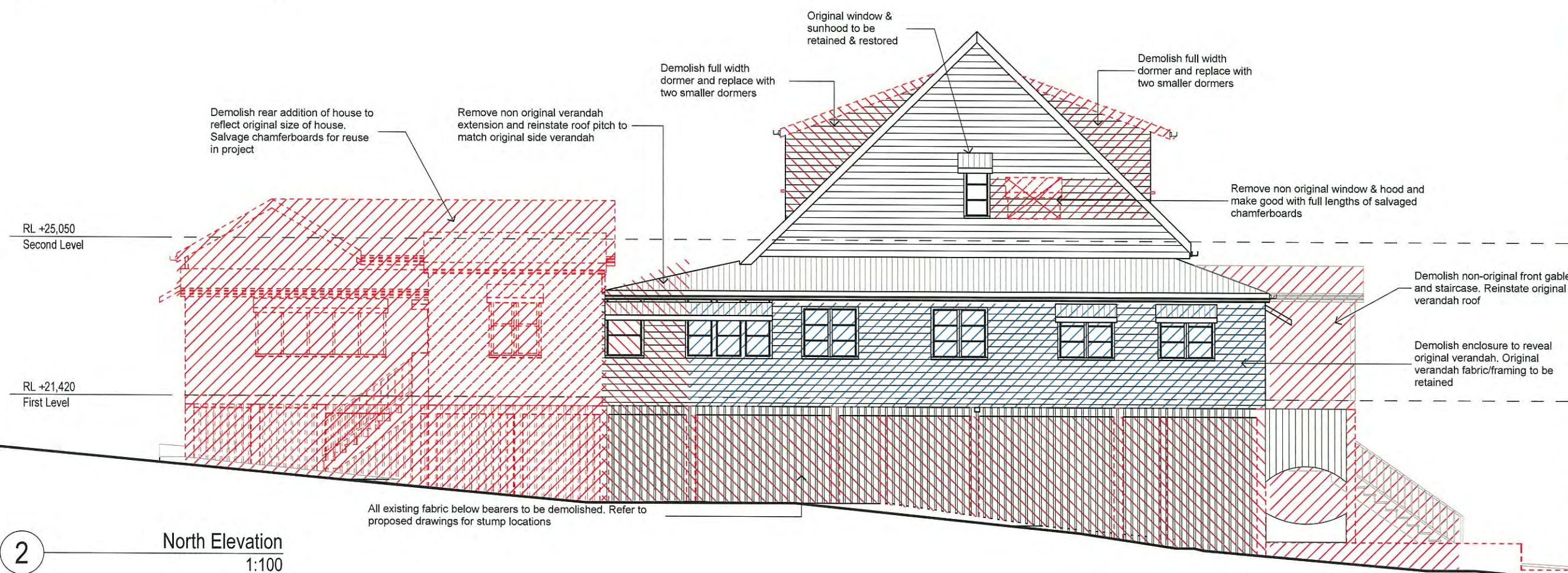
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South Elevation
1:100



North Elevation
1:100

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