

Sheet
1 of
3

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Surveyors + Planners

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Experience, Resources... Results

Rev	Date
A	Proposed Easement Added 27/06/2014
B	Shape of Easement Changed 14/08/2014
C	Add 3d View 26/08/2014
D	Amend Easement 11/09/2014
E	Updated Base Image & Amend Easement 16/09/2014

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

19 NOV 2014

MEDQ

- NOTES:
1. Location of easement is Diagrammatic Only.
 2. Vertical extents of easement are bounded by the podium level slab extending upwards for approximately 10m.
 3. Easement is designed to allow traffic flow through the proposed access way.
 4. Easement is subject to approval by Department of State Development (EDQ), Infrastructure and Planning prior to survey.
 5.  Denotes Proposed Easement

TITLE

Proposal Plan
showing proposed
Volumetric Access
Easement over
Lot 815 on SP172649

Client Wentworth Equities		
Local Government BRISBANE CITY COUNCIL		
Locality HAMILTON		
Comp File -		
Drawn DJA	Surv'd -	Approved CWW
Date Created 27/05/14	Job Ref. 10391	
SCALE @ A3 1:500	PLAN No. 6	Rev. E

Plot Date: 16/09/2014 10391_006_PRO_E.DWG

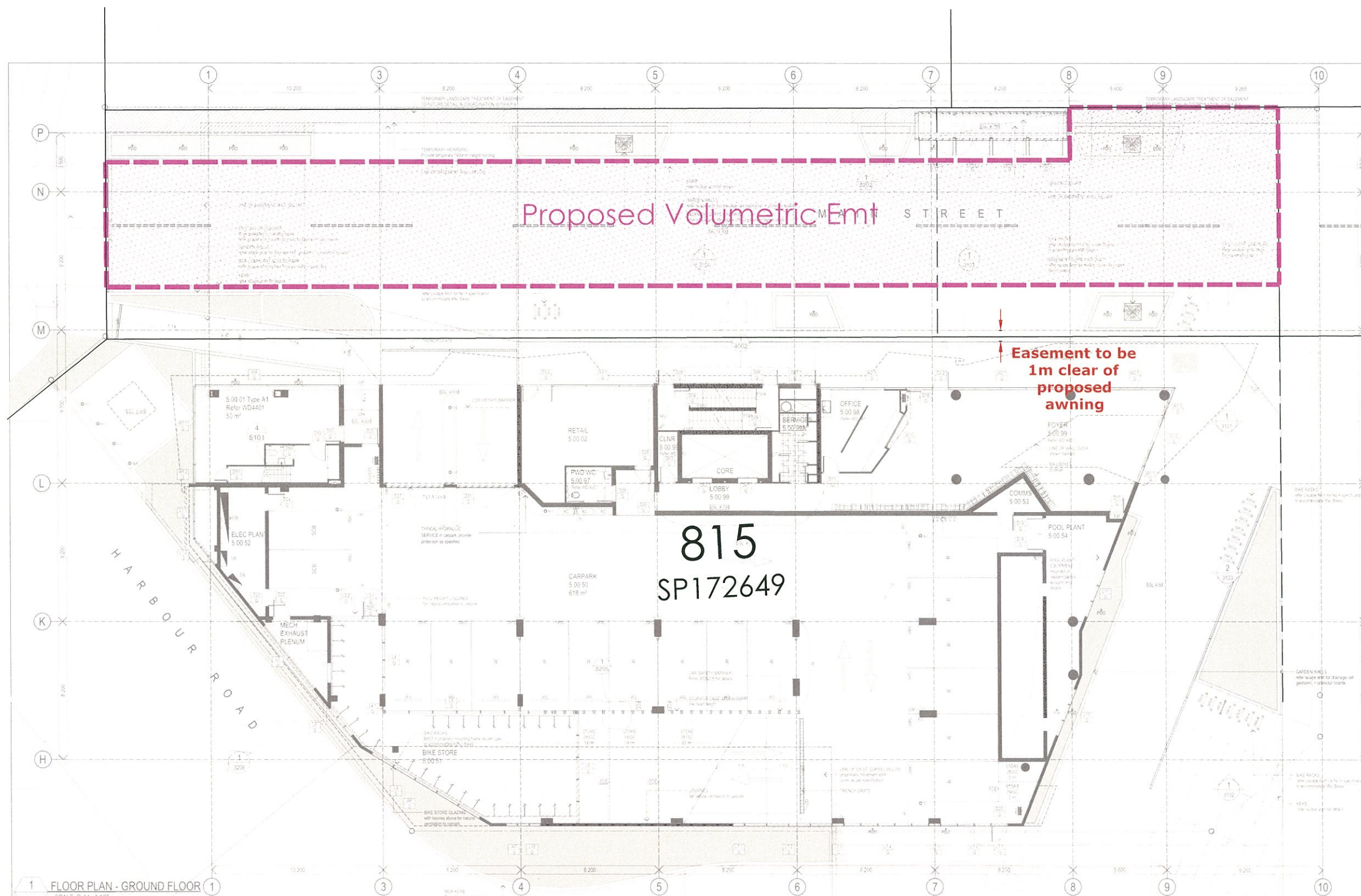
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BRISBANE CITY COUNCIL			
Locality			
HAMILTON			
Comp File			
-			
Drawn		Surv'd	Approved
DJA		-	CWW
Date Created		Job Ref.	
27/05/14		10391	
SCALE @ A3		PLAN No.	Rev.
1:250		6	E



1 FLOOR PLAN - GROUND FLOOR
SCALE @ A1: 1:100

General Notes

1. Confirm details of vehicle, levels, setbacks and other dimensions on site prior to and during the works. Notify architect of any discrepancies. Rectified before proceeding.
2. All construction to comply with the building code of Australia and applicable Australian Standards.
3. Do not scale from this drawing. Use figured dimensions.
4. A signed original of this drawing is retained in CPA Office for verification purposes.
5. These drawings are the copyright of Coffey Parker Architects Pty Ltd and may not be used, altered or copied without written authority.
6. Builder and/or Subcontractor to supply one sample each of the proprietary items, finishes, samples materials & shop drawings for sign off prior to placement of order, fabrication or construction.
7. Once approved one signed item is to be held by the Builder and one duplicate item to be forwarded to Client's Representative.



Issue / Revision	Amendments	Date	In	Issue / Revision	Amendments	Date	In



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PROXIMITY.
HAMILTON

Client	OAKSTEAD HARBOUR PROJECT PTY LTD	Scale	As Shown	Date	DATE	Job	4606
Project	PROXIMITY HAMILTON (BLDG 5)	Drawn	DP/SM/UB	Checked	DP	Appr	
Location	37B HARBOUR ROAD, HAMILTON	Drawing Title	FLOOR PLAN - GROUND FLOOR	Drawing no.	WD 2010	Issue	01

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Comp File

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Date Created **27/05/14** Job Ref. **10391**

SCALE @ A3 **1:500** PLAN No. **6**

Rev. **E**

Plot Date: 16/09/2014 10391_006_PRO_E.DWG

HERCULES STREET

645
SL2184

1
SP231749

3
SP172658

EASEMENT No 712867368

Proposed Volumetric Emt

Common Property
'Portside Wharf Commercial'
CTS36242
SP248964

815
SP172649

