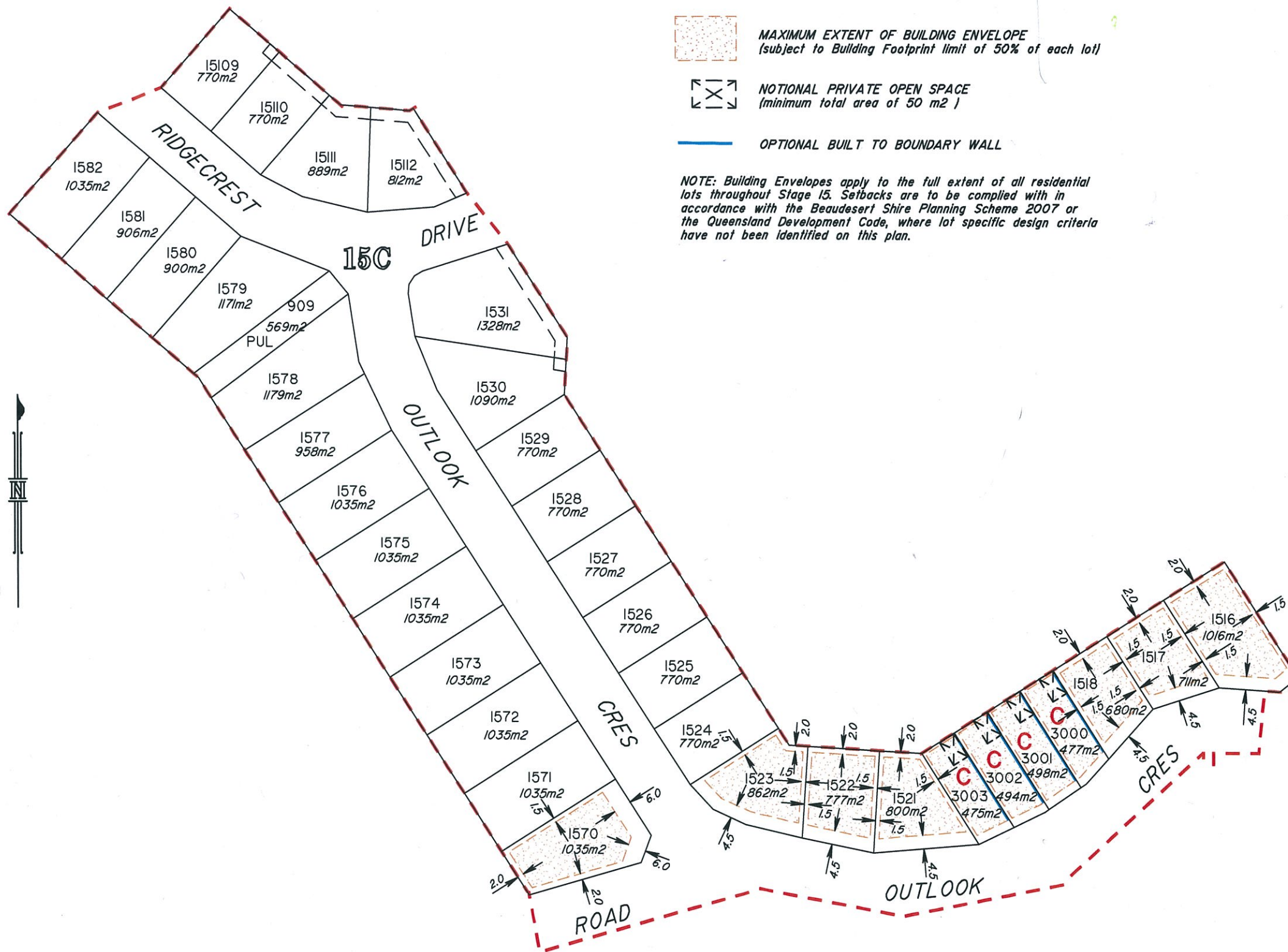




MAXIMUM EXTENT OF BUILDING ENVELOPE
(subject to Building Footprint limit of 50% of each lot)



NOTIONAL PRIVATE OPEN SPACE
(minimum total area of 50 m²)

OPTIONAL BUILT TO BOUNDARY WALL

NOTE: Building Envelopes apply to the full extent of all residential lots throughout Stage 15. Setbacks are to be complied with in accordance with the Beaudesert Shire Planning Scheme 2007 or the Queensland Development Code, where lot specific design criteria have not been identified on this plan.



Courtyard Lot
(See Applicable Notes below)

Notes applicable to Courtyard Lots

1. Housing is to be undertaken in accordance with this Building Envelope Plan.
2. The private open space is:
 - at least 50m² in size,
 - all dimensions are greater than 2.5m,
3. The maximum height of buildings shall not exceed 2 storeys
4. Minimum Road frontage boundary setbacks shall be as per the following setbacks table, unless otherwise dimensioned.

	Walls
Living & Habitable areas	3.0m
Garages and Carports	5.0m
Secondary Road Frontage	2.0m

5. Minimum Side boundary setbacks (other than optional Built to the Boundary walls) shall be as per the following setback table, unless otherwise dimensioned:

	Walls
Ground Floor	1.0m
First Floor	1.5m

the Built-to-Boundary Line is nominated on this Building Envelope Plan. The length of wall built to this boundary should not exceed the greater of 50% the boundary length or 15 metres.

- a. Setbacks to all frontages are reduced by 1.5 m for a verandah, porch, covered first floor balcony or entry portico.
- b. All setbacks shown are minimum and are measured to the building wall.
- c. Easements over infrastructure have not been shown which may affect setbacks. Purchasers must make their own enquiries into the location of easements on their allotments.
- d. Eaves must not protrude into easements.

6. Minimum Rear boundary setbacks shall be as per the following setback table.

	Walls
Ground Floor	0.9m
First Floor	1.0m

Rear patios may be located closer to the rear property boundary than stated, provided that the patio is located not less than 1.5m from the rear property boundary and the patio remains open and not enclosed.

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

-4 AUG 2014

MEDQ



IMPORTANT NOTES:

This plan was prepared for the client under specific instructions as per the Job Number and date of this plan.

It is suitable for the purpose/s of Accompanying an Application to EDQ only and should not be used for any other purpose/s or by any other person/s or corporation/s

and is subject to the following limitations

The title boundaries as shown hereon were not marked at the time of survey and have been determined by plan dimensions only and not by field survey. No search has been undertaken for easements or other encumbrances on title.

The proposed boundaries as shown hereon are preliminary only and are subject to final design, local authority approval and registration in the Department of Natural Resources.

Dimensions, areas, and total number of lots shown hereon are subject to final field survey and local authority approval.

These notes form an integral part of this plan and may not be reproduced in whole or in part without these notes.

AMENDMENTS

DESCRIPTION	DATE

Building Envelope Plan

Flagstone East - Stage 15C

Ridgecrest Drive, Flagstone
Logan City Council

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DRAWN	DATE	CHECKED	DATE
BVD	5-6-14	BVD	5-6-14
PARISH		MACLEAN	
COUNTY		Stanley	
LOCALITY		JIMBOOMBA	
SCALE		REF. NO.	
1:1500		11033-48	