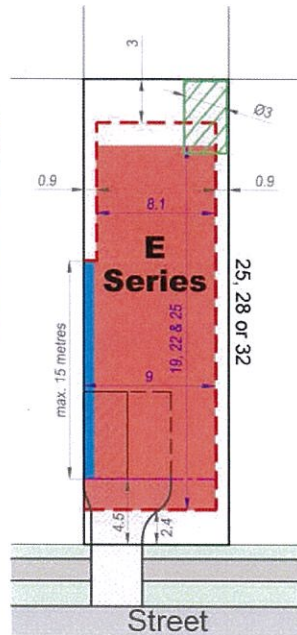
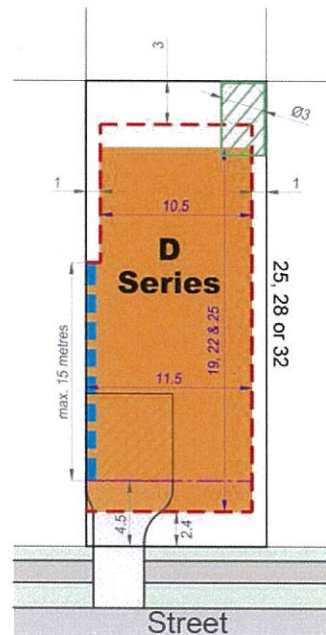


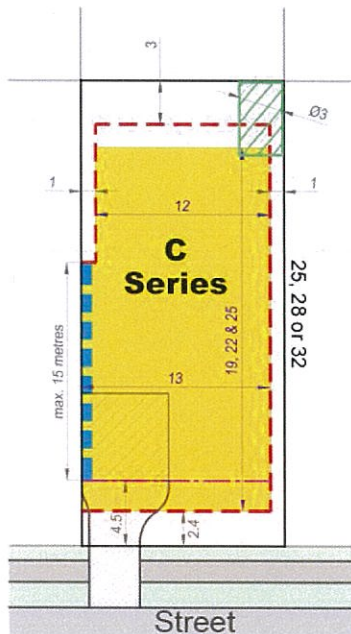
Villa Allotment
10m – <12.5m Wide



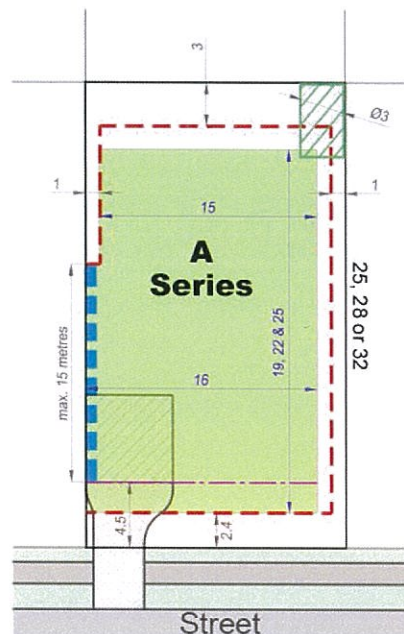
Premium Villa Allotment
12.5m – <14m Wide



Courtyard Allotment
14m – <16m Wide



Premium Traditional Allotment
18m+ Wide



Legend

- Maximum Building Envelope
- Building Setback Dimensions
- Recommended Built to Boundary Wall
- Optional Built to Boundary Wall
- Garage Setback to Front Boundary
- Stockland product envelope series
- Building product dimensions
- Preferred private open space location 15m² min. with min. dimension of 3m
- Garage location
- Single garage for single storey dwelling Double garage when 2 storey dwelling
- Indicative driveway location



SCALE 1 : 500 @ A4



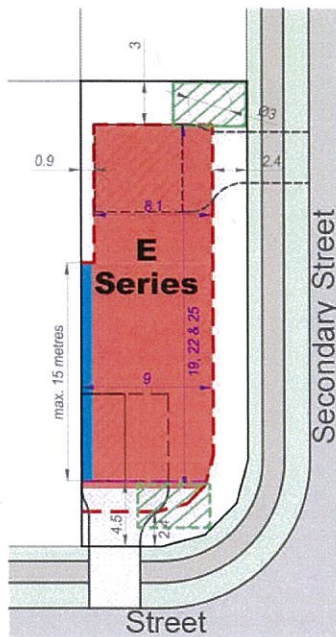
Standard Detached Allotments Diagrams

Caloundra South - Precinct 1

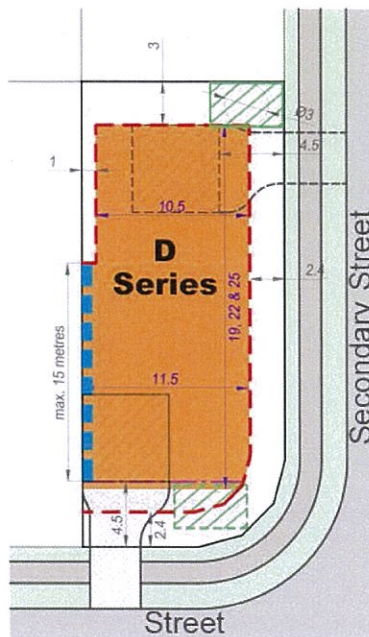
Stockland

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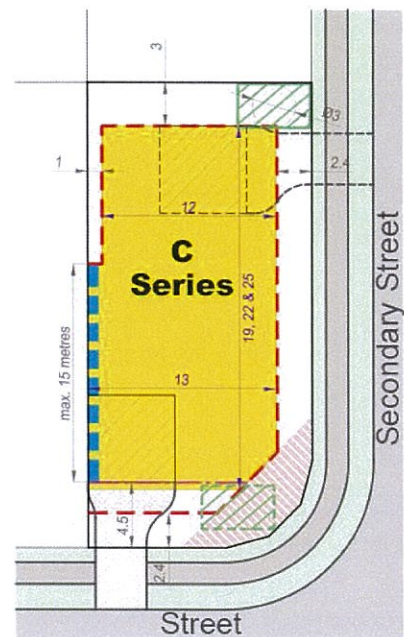
Villa Allotment
11.5m – <14m Wide



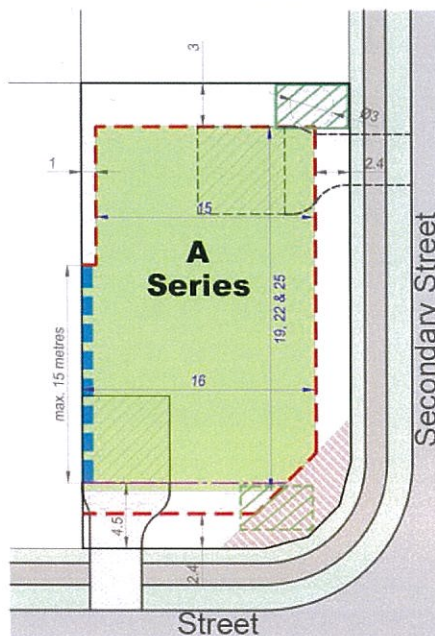
Premium Villa Allotment
14m – <15.5m Wide



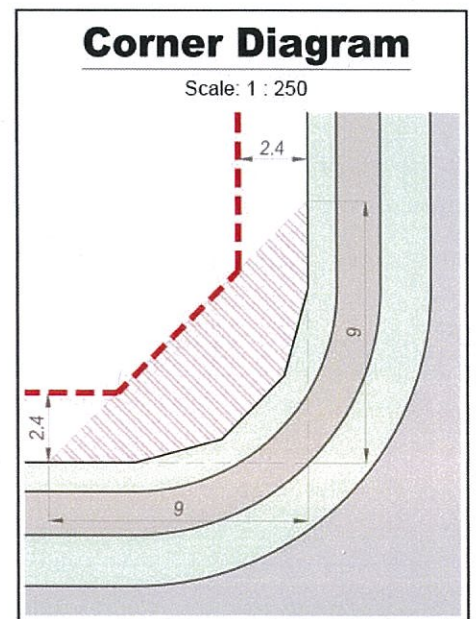
Courtyard Allotment
15.5m – <17.5m Wide



Premium Traditional Allotment
18.5m+ Wide



PLANS AND DOCUMENTS
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Legend

- Maximum Building Envelope
- Building Setback Dimensions
- Recommended Built to Boundary Wall
- Optional Built to Boundary Wall
- Garage Setback to Front Boundary
- Corner setback
- Stockland product envelope series
- Building product dimensions
- Preferred private open space location 15m² min. with min. dimension of 3m
- Alternative location for private open space
- Garage location
- Single garage for single storey dwelling
- Double garage when 2 storey dwelling
- Indicative driveway location
- Alternative garage location on secondary street: double garage permissible



SCALE 1:500 @ A4
0 5 10 15 20 25

Detached Corner Allotments Diagrams
Caloundra South - Precinct 1

Stockland

Notes General

1. All development is to be undertaken in accordance with the Development Approval.
2. Building setbacks and built-to-boundary wall locations shown are subject to future proposed easements and/or underground services.
3. Maximum building height is 9m.

Setbacks

4. Setbacks are as per the Plan of Development Table unless otherwise specified.
5. Where Built to Boundary walls are not adopted side setbacks shall be in accordance with the Allotment Setback Table.
6. Built to Boundary wall shall be no more than 85% of the length of the boundary and may be higher than 3.5 metres where in accordance with approved house plans and where appropriate building staging and construction techniques are demonstrated.
7. Boundary setbacks are measured to the wall of the structure. Eaves should not encroach closer than 450mm to the lot boundary except in the case of:
 - The Primary Street Frontage where eaves should not be closer than 2000mm;
 - Terrace Allotments where the Built to Boundary wall may be a common wall or no setback is required; and
 - Walls that are Built to Boundary.
8. First floor setbacks must not exceed the minimum ground floor setbacks.

Site Cover and Amenity

9. Site cover for each lot is not to exceed 75% of the lot, unless the dwelling is in accordance with approved house plans and where appropriate building staging and construction techniques have been demonstrated.
10. Private amenity space, must be provided and is not less than 15m² with a minimum dimension of 3.0m and is directly accessible from a ground floor living area.

Privacy & Overlooking

11. Buildings must be sited and designed to provide adequate visual privacy for neighbours:
 - Where the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5 m:
 - a. a permanent window and a balcony has a window/balcony screen extending across the line of sight from the sill to at least 1.5m above the adjacent floor level; or
 - b. a window has a sill height more than 1.5m above the adjacent floor level, or

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c. a window has obscure glazing below 1.5m; where: Window and Window/Balcony Screen has the same meaning as in the Queensland Development Code.

Fencing

12. Fencing on all Primary Street Frontages and Primary Park Frontages to be either 50% transparent or not to exceed 1.2m in height.

Parking and Driveways

13. For all allotments the following applies:
 - Double garages will not be permitted on a single storey dwelling;
 - Double garages may be permitted where the dwelling is more than one storey in height, and where:
 - the garage is setback at least 1m behind the main facade, excluding balconies, of the dwelling AND
 - the garage doors are articulated, comprise a mix of materials and colours, or are staggered.
 - The maximum width of a driveway at the lot boundary & where crossing the verge:
 - serving a double garage shall be 4.8m; and
 - serving a single garage shall be 3.0m.
14. Parking spaces on driveways do not have to comply with gradients in AS2890.
15. A maximum of one driveway per dwelling is permitted.
16. Driveways should avoid on-street works such as dedicated on-street parking bays, drainage pits and service pillars.
17. The minimum distance of a driveway from an intersection of one street with another street shall be 6.0 metres.

Access Deeds

17. Access Deeds are required to be established on all dwellings where there are adjoining built to boundary walls. These deeds will permit periodic maintenance access on to the roof of the dwelling on the adjoining lot, and permit roof water and waste to be deposited from time to time on to the roof.

Rainwater Tanks

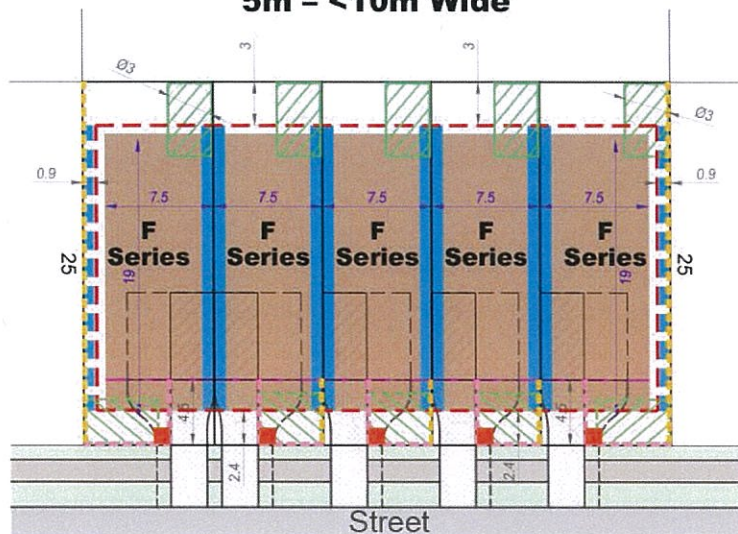
18. All terraces dwellings must have a min 3000 litre rainwater tank. All tanks to residential dwellings must collect a minimum 50% roof area capture. All tanks must supply water to toilets, laundry, hot water and have a connection for external usage and must have a backup supply from the main potable water system.

Definitions

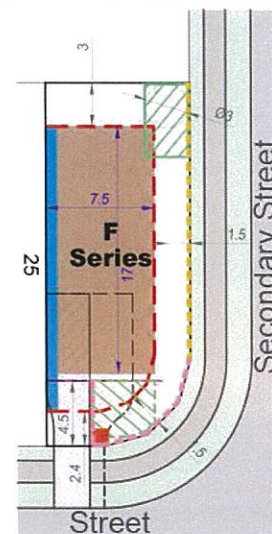
Site Cover - the total area of the roof of the dwelling expressed as a percentage of the lot area, but which excludes eave overhangs

Plan of Development Table	Terrace Allotments	
	5m – <10m Wide	
	Ground Floor	First Floor
Front/Primary Frontage	2.4	2.4
Garage	4.5	n/a
Rear	3.0	3.0
Side - General Lots		
Built to Boundary	0.0	1.0
Non Built to Boundary	0.9	0.9
Corner Lots - Secondary Frontage & Shared Boundaries with Open Space	2.4	2.4
Garage and On-site Car Parking		
On site parking requirements (minimum)	1 space to be covered and enclosed Single or tandem garage acceptable. Double garages are only permitted on two storey dwellings.	
Garage location	Garages are to be located along the built to boundary wall.	
Site Cover (maximum)	75%	

Terrace Allotment 5m – <10m Wide



Corner Terrace Allotment 10m – <11.5m Wide



Legend

- Maximum Building Envelope
- Building Setback Dimensions
- Recommended Built to Boundary Wall
- Optional Built to Boundary Wall
- Garage Setback to Front Boundary

- Corner setback
- Stockland product envelope series
- Building product dimensions
- Preferred private open space location 15m² min. with min. dimension of 3m
- Alternative location for private open space

- Garage location
- Single garage for single storey dwelling
Double garage when 2 storey dwelling
- Indicative driveway location
- Preferred letterbox location
- Low fencing 1.2-1.4m high
- Screen fencing up to 1.8m high

Notes

General

- All development is to be undertaken in accordance with the Development Approval.
- Building setbacks and built-to-boundary wall locations shown are subject to future proposed easements and/or underground services.
- Maximum building heights are 9m for all dwellings.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified.
- Built to Boundary walls are recommended. Where Built to Boundary walls are not adopted side setbacks shall be in accordance with the Allotment Setback Table.
- Built to Boundary walls are to have a maximum length of the built to boundary wall is constrained by the applicable boundary setbacks for the lot and may be higher than 3.5 metres where in accordance with approved house plans and where appropriate building staging and construction techniques are demonstrated.
- Boundary setbacks are measured to the wall of the structure. Eaves may extend up to the street boundary for Type A and B Urban lots, and up to 2000mm from the street boundary for Type C and D Urban Lots.
- First floor setbacks must not exceed the minimum ground floor setbacks.

Parking and Driveways

- Double garages are not be permitted. Driveways are to have the following widths:
 - Single driveway: minimum 3.0m and maximum 3.5m;
 - Shared double driveway: mandatory where shown on plan
- Parking spaces on driveways do not have to comply with gradients in AS2890.
- A maximum of one driveway per dwelling is permitted.
- Driveways should avoid on-street works such as dedicated on-street parking bays, drainage pits and service pillars.
- The minimum distance of a driveway from an intersection of one street with another street shall be 5.5 metres.
- The minimum distance between driveways on the same lot shall be 3.0 metres at the boundary.

Privacy & Overlooking

- Buildings must be sited and designed to provide adequate visual privacy for neighbours:
 - Where the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5 m:
 - a permanent window and a balcony has a window/balcony screen extending across the line of sight from the sill to at least 1.5m above the adjacent floor level; or
 - a window has a sill height more than 1.5m above the adjacent floor level; or
 - a window has obscure glazing below 1.5m;
 where: Window and Window/Balcony Screen has the same meaning as in the Queensland Development Code.

Site Cover and Amenity

- Site cover for each lot is not to exceed that shown in the Plan of Development table except where the dwelling is in accordance with approved house plans and where appropriate building staging and construction techniques have been demonstrated.
- Private amenity space is provided, may be roofed and must meet the following requirements:
 - Type A: 8m² at ground level;
 - Type B: 9m² at ground level;
 - Type C & D: 12m² at ground level;

Fencing

- Fencing to all street and park frontages must not be higher than 1.2m or must be 50% transparent. Urban lots may have fencing along the street to 1.5m to provide appropriate privacy.

Access Deeds

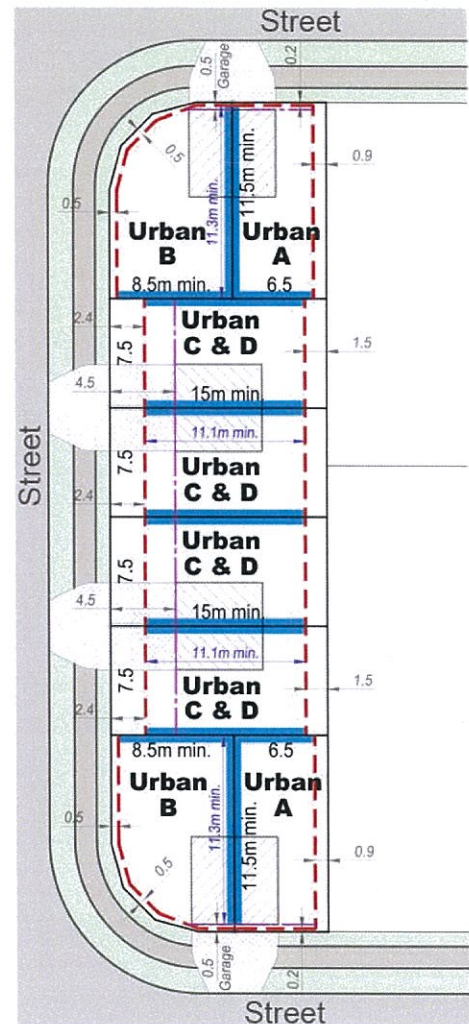
- Access Deeds are required to be established on all dwellings where there are adjoining built to boundary walls. These deeds will permit periodic maintenance access on to the roof of the dwelling on the adjoining lot, and permit roof water and waste to be deposited from time to time on to the roof.

Rainwater Tanks

- All urban dwellings must have a min. 3000 litre rainwater tank. All tanks to residential dwellings must collect a minimum 50% roof area capture. All tanks must supply water to toilets, laundry, hot water and have a connection for external usage and must have a backup supply from the main potable water system.

Definitions

Site Cover - the total area of the roof of the dwelling expressed as a percentage of the lot area, but which excludes eave overhangs.



Plan of Development Table	Urban Allotments Type A & B		Urban Allotments Type C & D	
	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	0.2	0.2	2.4	2.4
Garage	0.5	n/a	4.5	n/a
Rear	0.0	0.0	1.5	1.5
Side - General Lots				
Built to Boundary	0.0	0.0	0.0	0.0
Non Built to Boundary	0.9	0.9	0.9	0.9
Corner Lots - Secondary Frontage & Shared Boundaries with Open Space	0.5	0.5	0.5	0.5
Garage and On-site Car Parking				
On site parking requirements (minimum)	1 space to be covered and enclosed Single or tandem garage acceptable. Double garages are not permitted.		1 space to be covered and enclosed Single or tandem garage acceptable. Double garages are not permitted.	
Garage location	Garages are to be located along the built to boundary wall.		Garages are to be located along the built to boundary wall.	
Site Cover (maximum)	85%		85%	

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Legend

- Maximum building envelope
- Recommended built to boundary wall
- Garage setback to front boundary
- Garage location
- Building envelope dimensions
- Setback dimensions
- Indicative driveway location



SCALE 1 : 500 @ A4



Plan of Development Table	Villa Allotments 10m		Premium Villa Allotments 12.5m		Courtyard Allotments 14m		Premium Traditional Allotments 18m+		Multiple Residential (Duplex) Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4
Garage	4.5	n/a	4.5	n/a	4.5	n/a	4.5	n/a	4.5	n/a
Rear	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	1.0 *	1.0 *
Side - General Lots										
Built to Boundary	0.0	1.0	0.0	1.0	0.0	1.0	0.0	1.0	0.0	1.0
Non Built to Boundary	0.9	0.9	1.0	1.0	1.0	1.0	1.0	1.5	1.0	1.0
Corner Lots - Secondary Frontage & Shared Boundaries with Open Space	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4
Garage and On-site Car Parking										
On site parking requirements (minimum)	1 space to be covered and enclosed Single Garages (up to 4.5m in width) or tandem garages are acceptable. Double Garages (greater than 4.5m in width) are only permitted 2 storey dwelling.		1 space per dwelling to be covered and enclosed Single, tandem or double garage acceptable.		1 space per dwelling to be covered and enclosed Single, tandem or double garage acceptable.		1 space per dwelling to be covered and enclosed Single, tandem or double garage acceptable.		1 space per dwelling to be covered and enclosed Single, tandem or double garage acceptable. Double garages are not permitted on the same street frontage.	
Garage location	Garages are to be located along the built to boundary wall.		Garages are to be located along the built to boundary wall		Garages are to be located along the built to boundary wall.		Garages are to be located along the western or southern boundary where appropriate.		Garages are to be located along the built to boundary wall.	
Site Cover (maximum)	60%		60%		60%		60%		75%	

Note: * second side setback as no rear setback applies.

Development Controls

General

1. All development inclusive of Single and Multiple Residential (Duplex) Allotments is to be undertaken in accordance with the Development Approval.
2. Building setbacks and built-to-boundary wall locations shown are subject to future proposed easements and/or underground services.
3. Maximum building heights are 9m for all dwellings.

Setbacks

4. Setbacks are as per the Plan of Development Table unless otherwise specified. In the case of Courtyard and Premium Traditional Corner Lots (including where duplex dwellings are constructed on one of these lot types), an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high. The setback is measured as the line that joins the points on the front and side street boundaries of the lot that is located 9m back from the point of intersection of these two boundaries.
5. Corner lots (lots with two primary street frontages and not a secondary frontage to a shared driveway or pedestrian linkage) are interpreted as having two front boundaries and two side boundaries for the purposes of determining building setbacks (ie. no rear boundary setback applies).
6. Built to Boundary walls are recommended where road frontage widths are less than 15 metres. Built to Boundary walls are optional for lots with road frontage widths equal to, or in excess of 11 metres. Where Built to Boundary walls are not adopted side setbacks shall be in accordance with the Allotment Setback Table.
7. Built to Boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres. Boundary setbacks are measured to the wall of the structure. Eaves should not encroach closer than 450mm to the lot boundary except in the case of:
 - The Primary Street Frontage where eaves should not be closer than 2000mm;
 - Walls that are Built to Boundary.
8. First floor setbacks must not exceed the minimum ground floor setbacks.

Parking and Driveways

9. For all allotments the following applies:
 - Double garages will not be permitted on a single storey dwelling, on a lot less than 12.5m wide;
 - Double garages may be permitted on a lot 7.5m or wider and less than 12.5m wide where the dwelling is more than one storey in height, and where:
 - the garage is setback at least 1m behind the main facade, excluding balconies, of the dwelling AND
 - the garage doors are articulated, comprise a mix of materials and colours, or are staggered.
 10. The maximum width of a driveway at the lot boundary & where crossing the verge:
 - serving a double garage shall be 4.8m; and
 - serving a single garage shall be 3.0m.
- Parking spaces on driveways do not have to comply with gradients in AS2890.
11. A maximum of one driveway per dwelling is permitted.
 12. Driveways should avoid on-street works such as dedicated on-street parking bays, drainage pits and service pillars.
 13. The minimum distance of a driveway from an intersection of one street with another street shall be 6.0 metres.
 14. The minimum distance between driveways on the same lot shall be 3.0 metres at the boundary.

Site Cover and Amenity

15. Site cover for each lot is not to exceed that shown in the Plan of Development table except where the dwelling is in accordance with approved house plans and where appropriate building staging and construction techniques have been demonstrated.
16. Private amenity space is provided for all dwellings and is not less than 15m² with a minimum dimension of 3.0m and is directly accessible from a ground floor living area.

Privacy & Overlooking

17. Buildings must be sited and designed to provide adequate visual privacy for neighbours:
 - Where the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5 m:
 - a. a permanent window and a balcony has a window/balcony screen extending across the line of sight from the sill to at least 1.5m above the adjacent floor level; or
 - b. a window has a sill height more than 1.5m above the adjacent floor level; or
 - c. a window has obscure glazing below 1.5m;
- where: Window and Window/Balcony Screen has the same meaning as in the Queensland Development Code.

Fencing

18. Fencing to all street and park frontages must not be higher than 1.2m or must be 50% transparent.

Rainwater Tanks

19. All detached dwellings must have a min. 5000 litre rainwater tank. All attached dwellings (duplex dwellings) must have a min. 3000 litre rainwater tank per dwelling. All tanks to residential dwellings must collect a minimum 50% roof area capture. All tanks must supply water to toilets, laundry, hot water and have a connection for external usage and must have a backup supply from the main potable water system.

Definitions

Site Cover – the total area of the roof of the dwelling expressed as a percentage of the lot area, but which excludes eave overhangs.

