

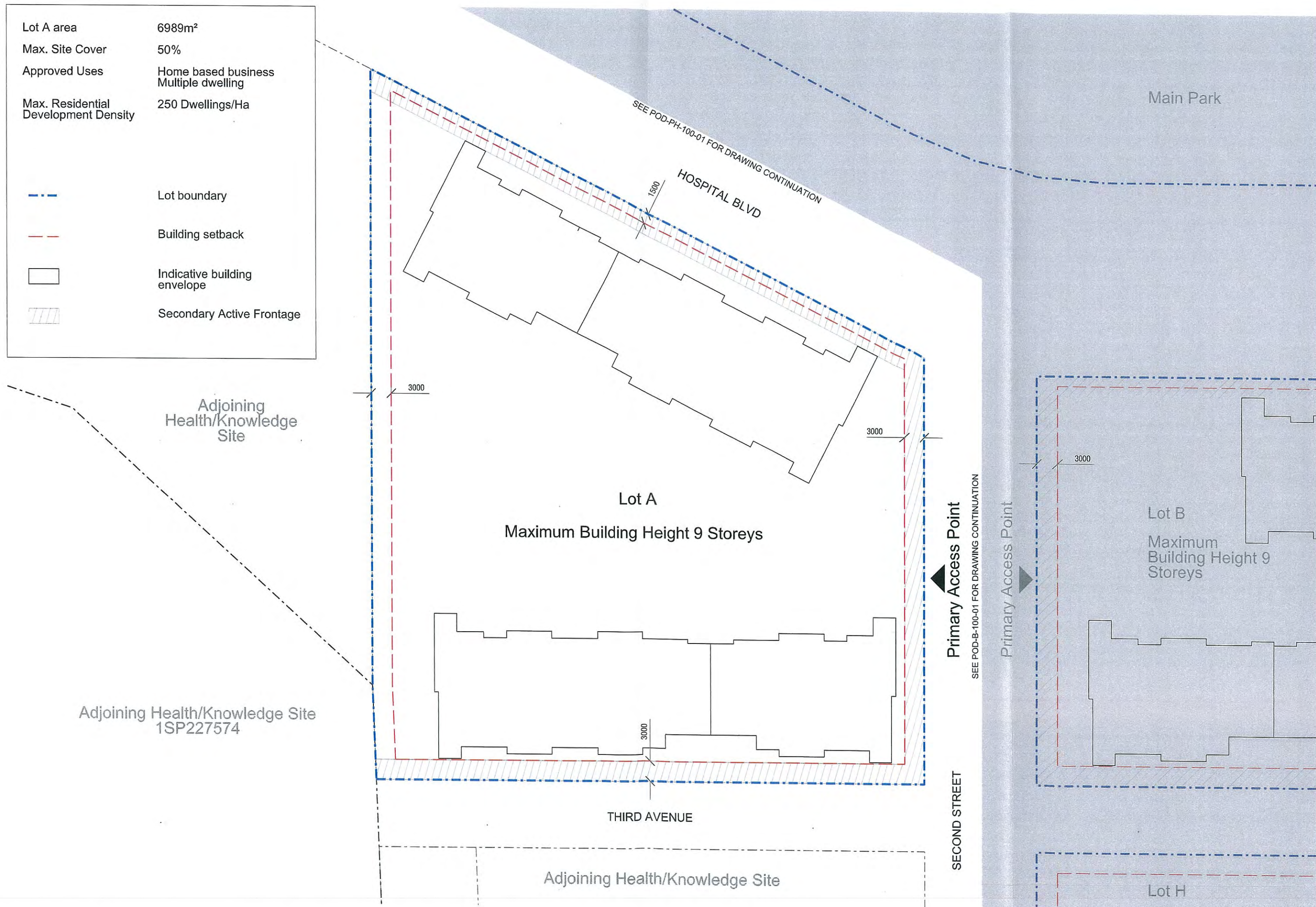
Southport, Gold Coast

FIGURE 5

Built Form Plans

Lot A area 6989m²
 Max. Site Cover 50%
 Approved Uses Home based business
 Multiple dwelling
 Max. Residential Development Density 250 Dwellings/Ha

-  Lot boundary
-  Building setback
-  Indicative building envelope
-  Secondary Active Frontage



Lot B area 8785m²
 Max. Site Cover 50%
 Approved Uses Food & drink outlet
 Home based business
 Hostel
 Indoor sport & recreation
 Multiple dwelling
 Office
 Shop
 Short term accommodation
 Max. Residential Development Density 350 Dwellings/Ha
 Max. Non-Residential GFA 550m²

- Lot boundary
- Building setback
- Indicative Building Envelope
- Primary Active Frontage
- Secondary Active Frontage
- Pedestrian Node

SEE POD-PH-100-01 FOR DRAWING CONTINUATION

HOSPITAL BLVD

Lot B

Maximum Building Height 9 Storeys

THIRD AVENUE

SEE POD-H-100-01 FOR DRAWING CONTINUATION

Lot H

Building Built to Boundary
 MAIN STREET

SEE POD-C-100-01 FOR DRAWING CONTINUATION

Building Built to Boundary



ARKHEFIELD + ARM + ARCHIPELAGO
 418 ADELAIDE STREET
 BRISBANE Q 4000



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PROJECT:
 GOLD COAST 2018 CGV

DRAWING NAME:
 POD - SITE PLAN - LOT B

DRAWING NO:
 POD-B-100-01 [P8]
 SCALE 1:500@A3
 12.06.14
 PROJECT NO.

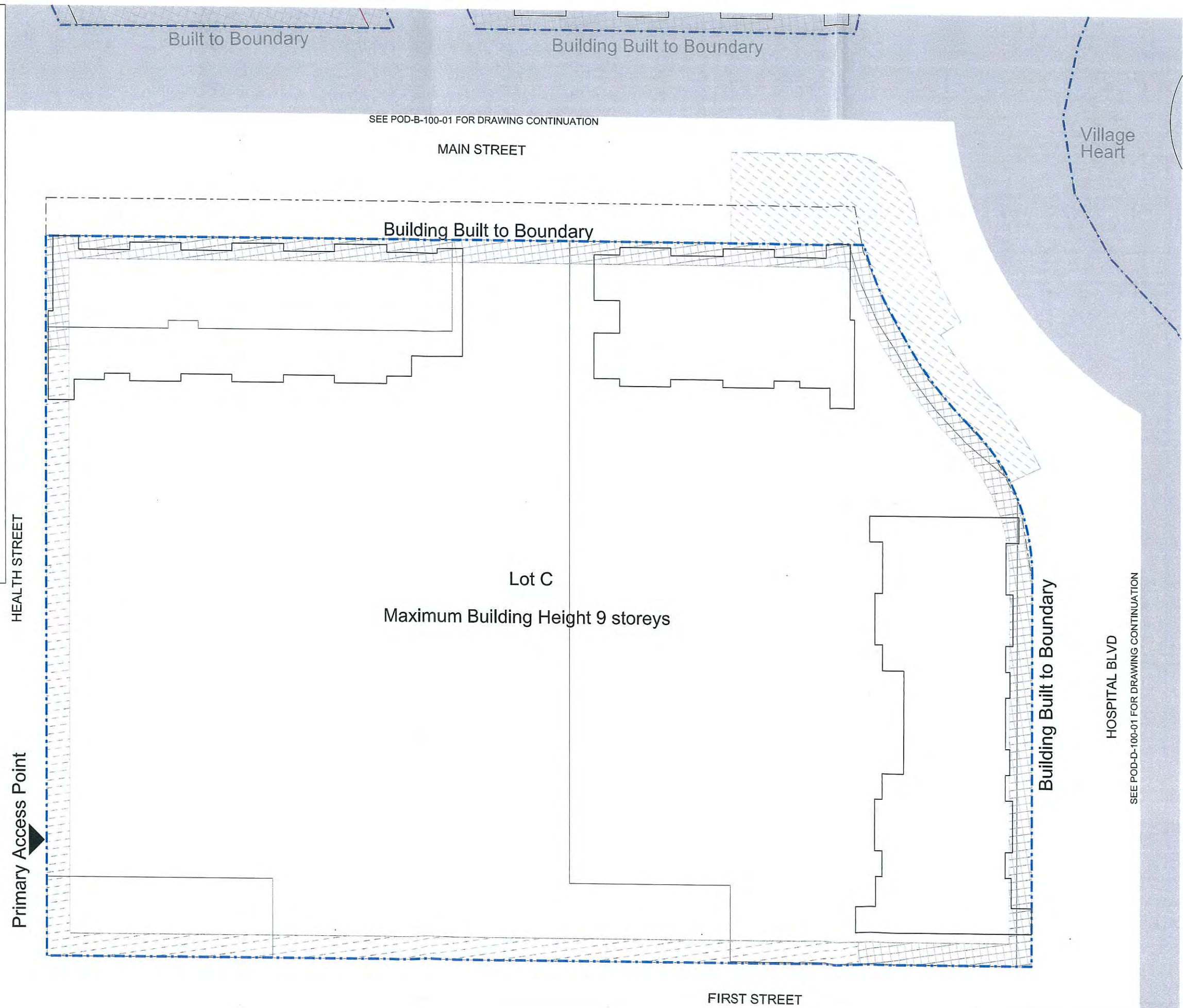


Lot C area 11990m²
 Site Cover 100% of site
 Approved Uses Community use
 Food & drink outlet
 Health care services
 Home based business
 Hostel
 Indoor sport & recreation
 Multiple dwelling
 Office
 Shop
 Shopping centre
 Short term accommodation

Max. Residential Development Density 130 Dwellings/Ha

Max. Non-Residential GFA 9000m²

-  Lot boundary
-  Indicative building envelope ground level
-  Indicative building envelope above ground level
-  Primary Active Frontage
-  Tertiary Frontage
-  Pedestrian Node



Lot D area 12218m²
 Max. Site Cover 50%
 Approved Uses Community use
 Food & drink outlet, where located on the ground floor & within 60m of Village Heart
 Home based business
 Indoor sport and recreation where not within 20 metres of Village Heart
 Multiple dwelling
 Office, where located within 60m of Village Heart
 Sales office
 Shop, where located on the ground floor & within 60m of Village Heart
 Short term accommodation

Max. Residential Development Density 270 Dwellings/Ha

Max. Non-Residential GFA 300m²

-  Lot boundary
-  Building setback
-  Indicative building envelope
-  Cross Block Link Zone
-  Primary Active Frontage
-  Secondary Active Frontage

Village Heart

Main Park

SEE POD-PH-100-01 FOR DRAWING CONTINUATION

4 METRE WIDE CLEAR SPACE

Cross Block Link Zone

AMENDED IN RED

26 JUN 2014

By: PEITA McCULLOUGH (name)
 MEDQ

Primary Access Point

Lot D

Maximum Building Height 9 Storeys

Lot E2

3000

FOURTH AVE

FIRST STREET

HOSPITAL BLVD

Building Built to Boundary

SEE POD-C-100-01 FOR DRAWING CONTINUATION



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PROJECT:
 GOLD COAST 2018 CGV

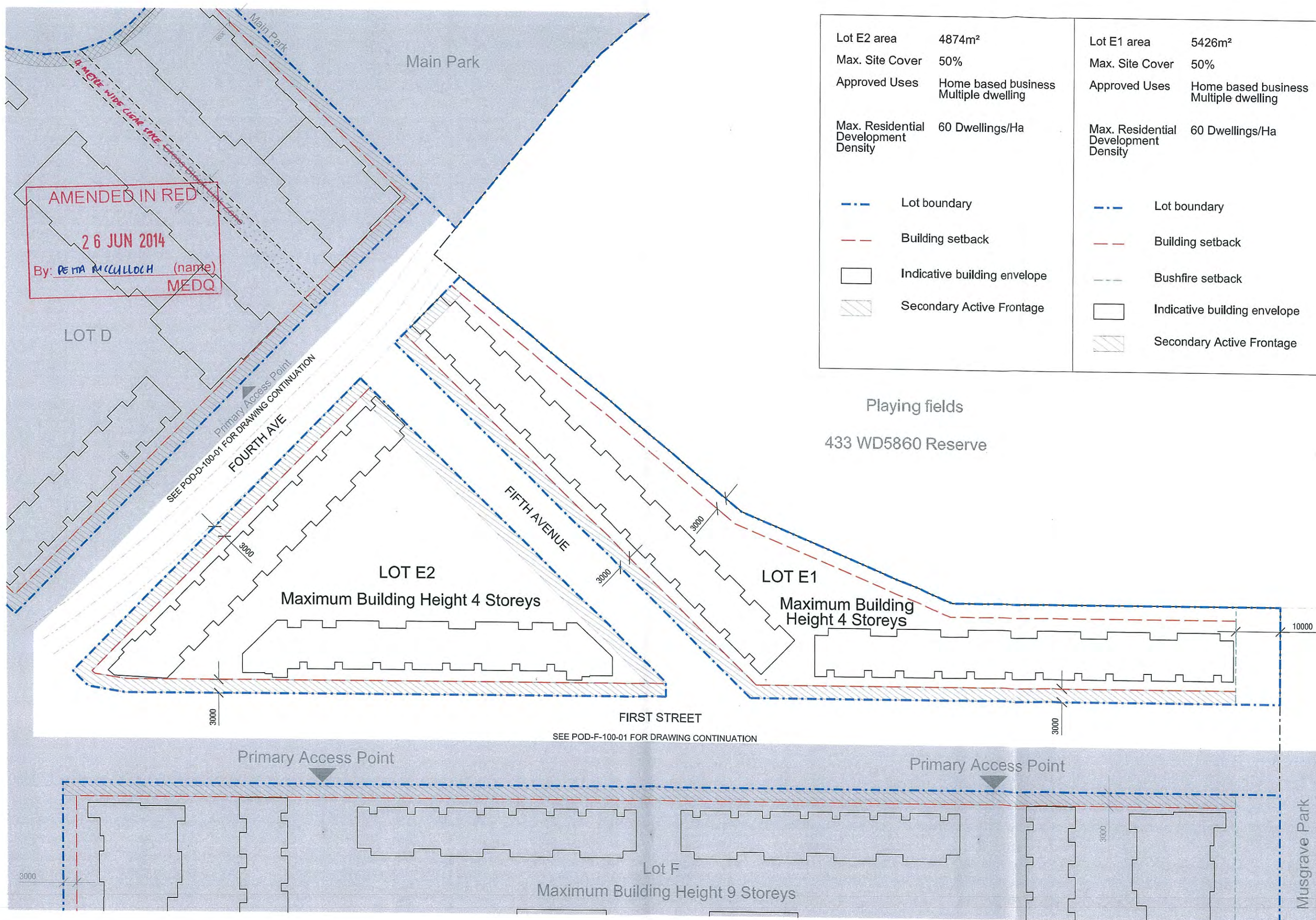
DRAWING NAME:
 POD - SITE PLAN - LOT D

DRAWING NO:
 POD-D-100-01 [P10] PROJECT NO.

SCALE 1:500@A3
 12.06.14

0 2.5 5 10 SCALE 1:500 @ A3 20m

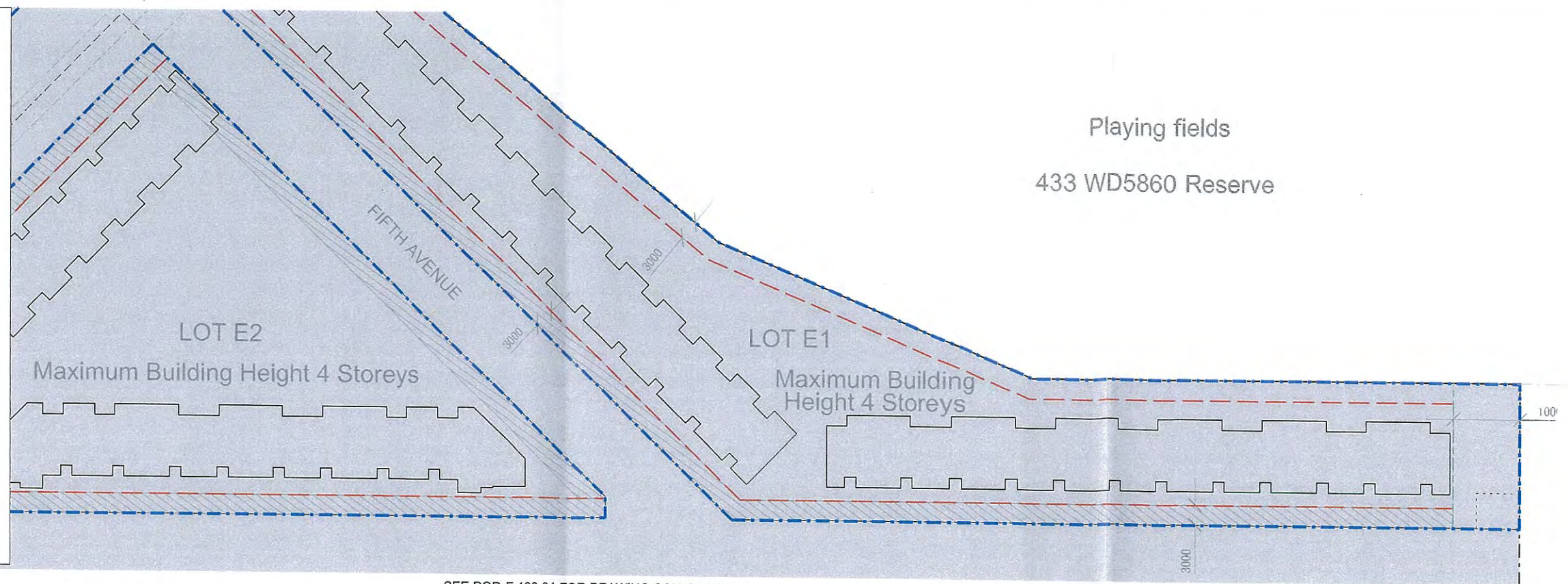




Lot F area 20608m²
 Max. Site Cover 50%
 Approved Uses Home based business
 Multiple dwelling

Max. Residential Development Density 200 Dwellings/Ha

-  Lot boundary
-  Building setback
-  Indicative building envelope
-  Bushfire setback
-  Secondary Active Frontage



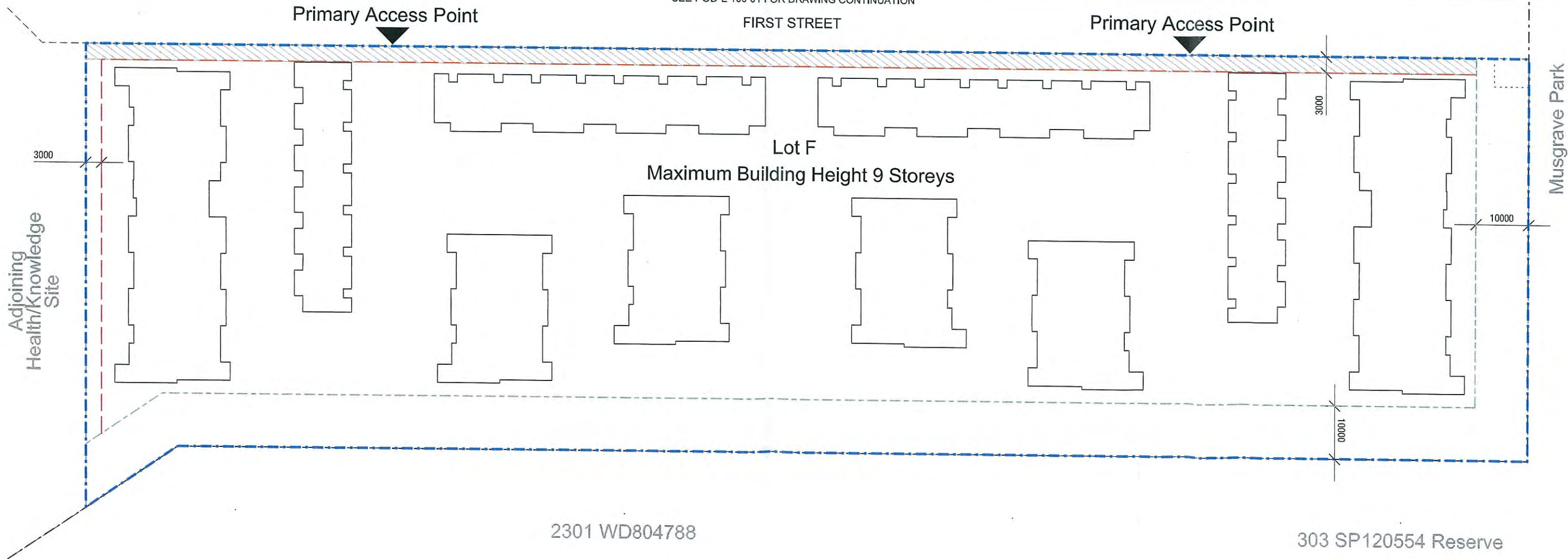
Playing fields
 433 WD5860 Reserve

SEE POD-E-100-01 FOR DRAWING CONTINUATION

Primary Access Point

FIRST STREET

Primary Access Point



2301 WD804788

303 SP120554 Reserve



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 418 ADELAIDE STREET
 BRISBANE Q 4000



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PROJECT:
 GOLD COAST 2018 CGV

DRAWING NAME:
 POD - SITE PLAN - LOT F

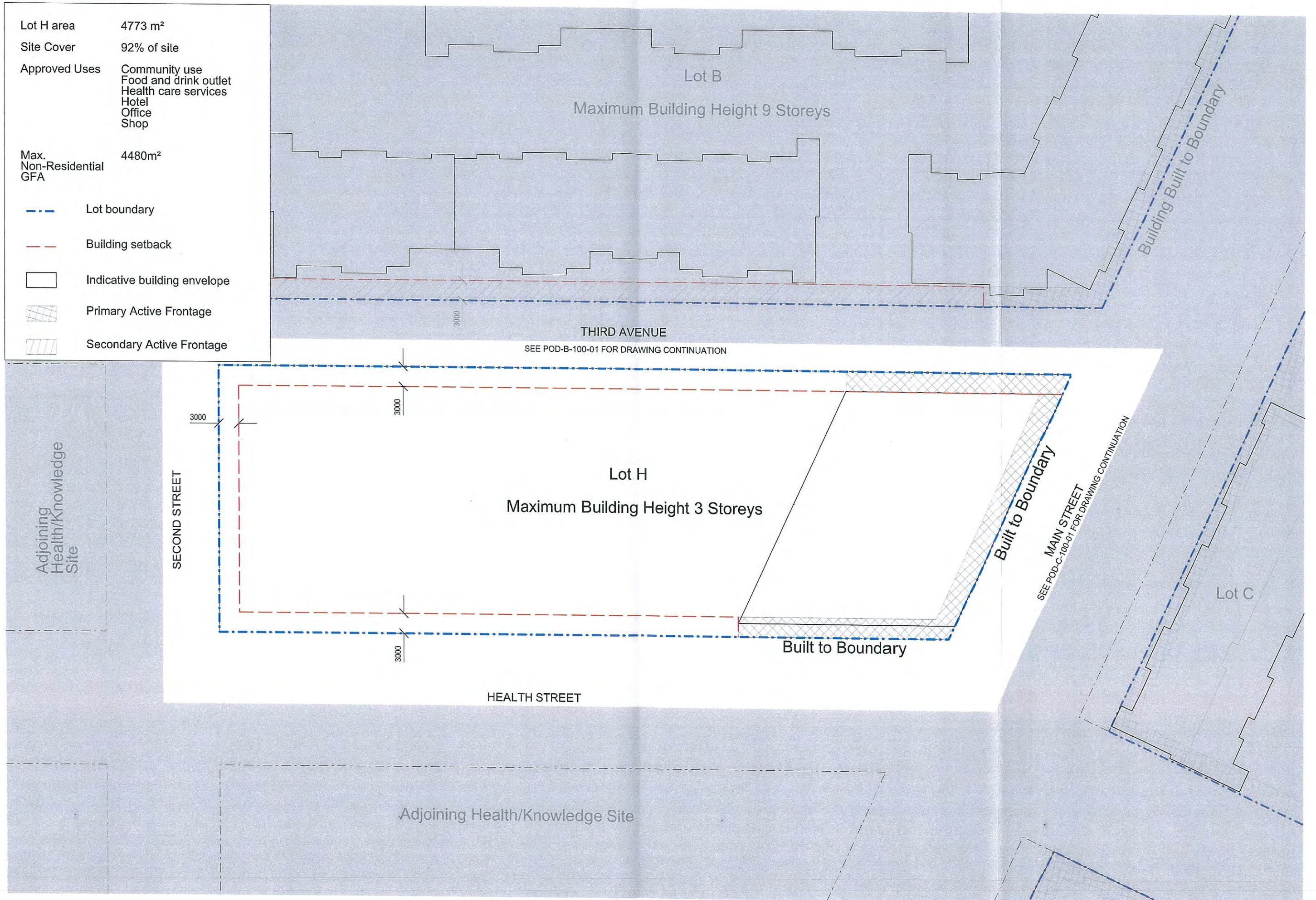
DRAWING NO:
 POD-F-100-01 [P9]
 SCALE 1:750@A3
 12.06.14
 PROJECT NO.



Lot H area 4773 m²
 Site Cover 92% of site
 Approved Uses Community use
 Food and drink outlet
 Health care services
 Hotel
 Office
 Shop

Max. Non-Residential GFA 4480m²

- Lot boundary
- Building setback
- Indicative building envelope
- Primary Active Frontage
- Secondary Active Frontage



Lot J area 5224 m²
 Site Cover 92% of site
 Approved Uses Community use
 Food and drink outlet
 Health care services
 Hotel
 Office
 Shop

Max. Non-Residential GFA 3450m²

- Lot boundary
- Building setback
- Indicative building envelope
- Primary Active Frontage

Adjoining Health/Knowledge Site

MAIN STREET

Built to Boundary

Built to Boundary

Built to Boundary

Lot J

Maximum Building Height 3 Storeys

FIRST AVENUE

3000

3000

3000

Adjoining Health/Knowledge Site

HEALTH STREET

SEE POD-C-100-01 FOR DRAWING CONTINUATION

Lot C

Adjoining Health/Knowledge Site

Primary Access Point



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 BRISBANE Q 4000



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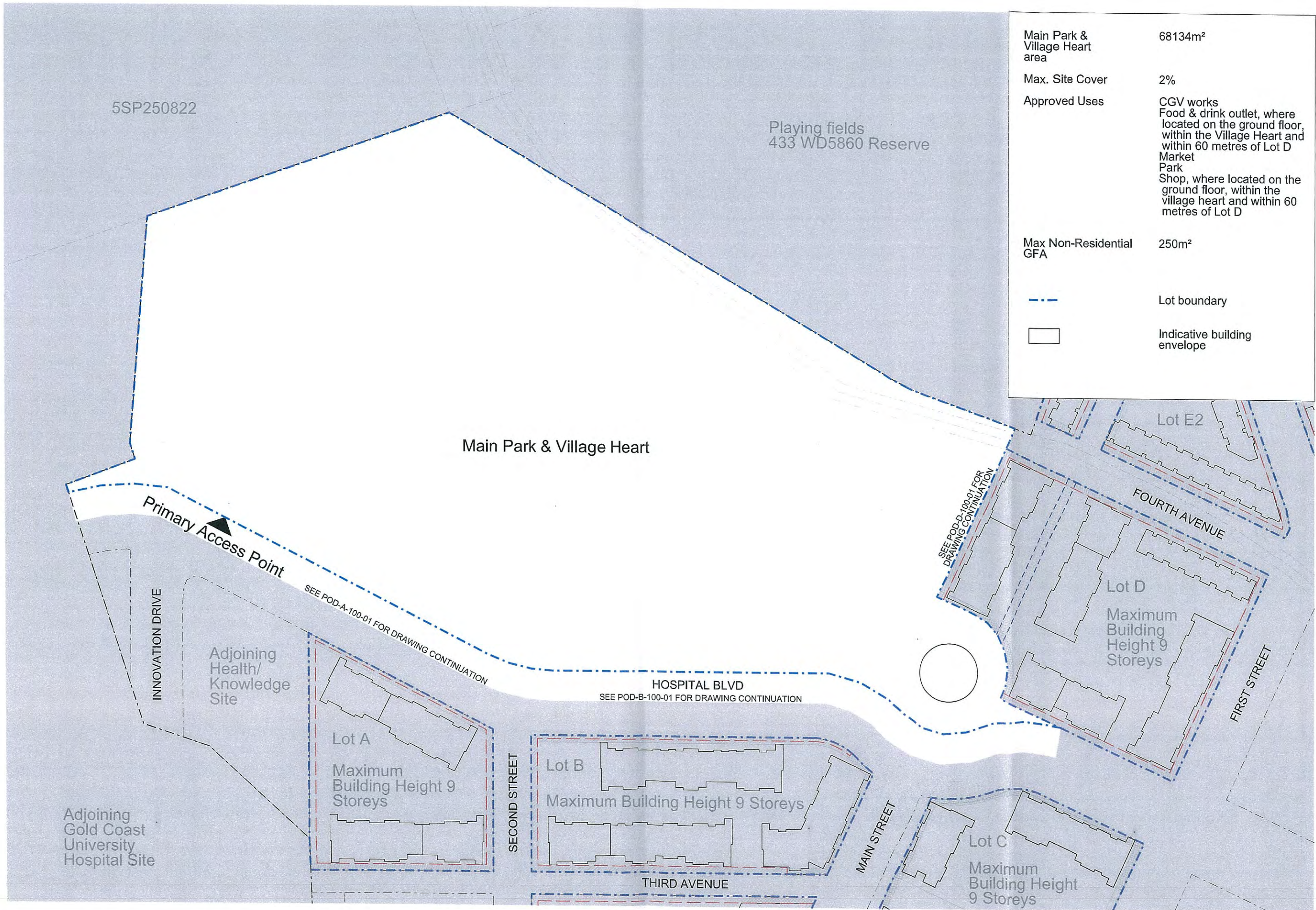
PROJECT:
 GOLD COAST 2018 CGV

DRAWING NAME:
 POD - SITE PLAN - LOT J

DRAWING NO: SCALE 1:500@A3
 POD-J-100-02 [P6] PROJECT NO.

0 2.5 5 10 SCALE 1:500 @ A3 20m





Main Park & Village Heart area	68134m ²
Max. Site Cover	2%
Approved Uses	CGV works Food & drink outlet, where located on the ground floor, within the Village Heart and within 60 metres of Lot D Market Park Shop, where located on the ground floor, within the village heart and within 60 metres of Lot D
Max Non-Residential GFA	250m ²