

Our ref: DEV2014/561

25 June 2014

Economic Development Queensland
C/- Ms Ashleigh Cox
GHD
GPO Box 668
BRISBANE QLD 4001

Dear Ashleigh

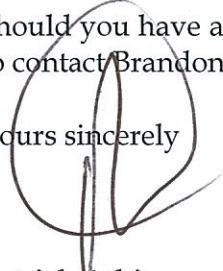
**SECTION 89(1)(a) PDA DEVELOPMENT APPROVAL FOR A PDA
DEVELOPMENT APPLICATION FOR A PDA DEVELOPMENT PERMIT FOR
OPERATIONAL WORKS (TIDAL WORKS - STORMWATER OUTLET) AT 221
AND 221B MACARTHUR AVENUE, HAMILTON DESCRIBED AS LOT 1303 ON
SP195300 AND LOT 2 ON SP224040**

On 25 June 2014 the Minister for Economic Development Queensland (MEDQ) approved the Priority Development Area (PDA) development application pursuant to s.85(4)(b) of the *Economic Development Act 2012*. MEDQ has decided to grant all of the PDA development approval applied for subject to PDA development conditions set out in the attached PDA Development Approval Package.

The PDA development application and the decision notice can also be viewed in the MEDQ Development Approvals Register via the MEDQ website <http://www.dsdiq.qld.gov.au/infrastructure-and-planning/priority-development-area-development-approvals.html>.

Should you have any queries in relation to the decision notice, please do not hesitate to contact Brandon Bouda on 3452 7422.

Yours sincerely



Patrick Atkinson
Director - PDA Development Assessment

PDA Decision Notice - Approval

Site information		
Name of urban development area (PDA)	Northshore Hamilton	
Site address	221 and 221B MacArthur Avenue, Hamilton	
Lot on plan description	Lot number	Lot description
	1303	SP195300
	2	SP224040
PDA development application details		
MEDQ reference number	DEV2014/561	
Lodgement date	7 April 2014	
Type of application	☒ New development involving:- ☐ Material change of use ☐ Preliminary approval ☐ Development permit ☐ Reconfiguring a lot ☐ Preliminary approval ☐ Development permit ☒ Operational work ☐ Preliminary approval ☒ Development permit ☐ Changing a PDA development approval ☐ Extending the currency period of a PDA approval	
Description of proposal applied for	New stormwater outlet involving tidal works	

PDA development approval details			
Decision of the MEDQ		The MEDQ has decided to grant all of the PDA development approval applied for, subject to PDA development conditions forming part of this decision notice.	
Decision date		25 June 2014	
Currency period		2 years from decision date	
Plans and specification			
The plans and specifications approved by the MEDQ and referred to in the PDA development conditions concerning the PDA development approval are detailed below.			
Approved plans, reports and specifications		Number (if applicable)	Date (if applicable)
1.	Locality Plan	C100 Revision A	03.02.14 (as Amended in Red dated 25 Jun 2014)
PDA Development Conditions			
1	Carry out the approved development Carry out and complete the development generally in accordance with the approved plan/s, drawing/s and document/s.	Prior to the commencement of use	
2	Vegetation interference works Vegetation interference works are to be conducted by a qualified arborist in accordance with the Department of Agriculture, Fisheries and Forestry's 'Code for self-assessable development: Minor impact works in a declared fish habitat area or involving the removal, destruction or damage of marine plants Code Number: MP06 July 2011.'	At all times during site works	
3	Soil Erosion and Sediment Control a) Submit to PDA Development Assessment Division DSDIP an Erosion and Sediment Control (E&SC) Plan, certified by a Register Professional Engineer Queensland that complies with Brisbane City Council's "Erosion and Sediment Control Standard" (Version 9 or later). b) The E&SC shall be monitored by a Register Professional Engineer Queensland.	a) Prior to commencement of site works b) During site works	
4	Stormwater Outlet Works a) Submit to the Principal Engineer PDA Development Assessment Division DSDIP detailed engineering plans for the proposed stormwater outlet, certified by a Registered Professional Engineer Queensland, located	a) Prior to commencement of works	

	as indicated on the Locality Plan, Drawing No. C000 Revision A dated 03.02.14 (as Amended in Red by dated 25 June 2014) prepared by Bornhorst+Ward. b) Construct the stormwater outlet in accordance with the certified plans required under part (a) of this condition. c) Submit to the PDA Development Assessment Division DSDIP 'as-constructed' plans and asset register in a format acceptable to Brisbane City Council certified by a Registered Professional Engineer Queensland.	b) Prior to 'on maintenance' c) Prior to 'on maintenance'
5	Construction Management Plan a) Submit to the PDA Development Assessment Division DSDIP a site based construction management plan prepared by a suitably qualified professional and reviewed by the Principal Consultant that will include: - provision for the management of traffic during and outside of construction work hours; - provision for parking and materials delivery during and outside of construction hours of work; - management of noise and dust generated from the work sites during and outside construction work hours; - management of groundwater and surface water collection, treatment and disposal to accepted environmental standards; - if found, management of acid sulphate and contaminated soils including removal, treatment and replacement in accordance with site remediation plans prepared and approved specifically for the site. Any acid sulphate soil found shall be managed, treated and removed in accordance with the Queensland Acid Sulphate Soil Technical Manual, Soil Management Guidelines V3.8 or later. b) All work shall be undertaken in accordance with the construction management plan which must be current and available on site at all times during the construction period.	a) Prior to commencement of works b) At all times during construction

6	Department of Transport and Main Roads – Marine Safety Queensland Notify the Vessel Traffic Services – Marine Safety Queensland of the works to be undertaken, estimated date of completion and any other information required of the Vessel Traffic Services.	Prior to the commencement of site works
7	Alterations to Existing Services a) Where alterations to public utility mains, existing mains, drainage infrastructure, service or installations are required, the developer is required to meet the costs of the alteration/s. b) Any alterations are to be carried out in accordance with the applicable Brisbane City Council or Queensland Urban Utilities standard and completed prior to commencement of use.	As indicated
8	Repair damage to existing infrastructure Repair any damage to existing infrastructure (including damage to the wharf, removal of concrete slurry from footways, roads, kerb and channel and stormwater gullies and drain lines) that may occur during any works carried out in association with the approved development.	Prior to commencement of use
9	Certification of Operational Works All operational works undertaken on the site must comply with all requirements of and fulfil all responsibilities outlined in the <i>Certification Procedures Manual</i> .	As indicated

ADVICE

Please note that in order to lawfully undertake development, it may be necessary to obtain approvals other than this PDA development approval, some specific advices are outlined below. Other advices may include other approvals under the *Economic Development Act 2012* as well as the *Sustainable Planning Act 2009* (eg for building work), the *Plumbing and Drainage Act 2002*, the *Commonwealth Environmental Protection and Biodiversity Act 1999*, and the *Economic Development (Vegetation Management) Bylaw 2013*. Carrying out development may also be subject to 'duty of care' legislation such as the *Aboriginal Cultural Heritage Act 2003*. For advice on other approvals that may be necessary in relation to your proposal, please seek professional advice.

Noise and Dust Emissions

All development involving the emission of noise and dust from building/construction activities requires that the emission be in accordance with the requirements of the *Environmental Protection Act 1994*. Pursuant to *Division 3 Section 440R of the Environmental Protection Act 1994*, a builder or building contractor must not carry out building work on a building site in a way that makes or causes audible noise to be made from the building work on

- (a) Sundays or public holidays, at any time; or
- (b) Saturdays or business days, before 6.30 a.m. or after 6.30 p.m.

