Land Budget				
Land Use	Stage 2	Stage 3	Overall	
	Area	Area	Area	Percentage
Area of Subject Site	**2.388 ha**	**2.374 ha**	**4.762 ha**	**100.0%**
Saleable Area				
Residential Allotments	1.235 ha	1.379 ha	2.614 ha	54.9%
Total Area of Allotments	**1.235 ha**	**1.379 ha**	**2.614 ha**	**54.9%**
Road				
Local Roads	0.636 ha	0.587 ha	1.223 ha	25.7%
Pedestrian Connections-Thresholds	—	0.051 ha	0.051 ha	1.1%
Total Area of New Road	**0.636 ha**	**0.638 ha**	**1.274 ha**	**26.8%**
Open Space				
Active Park	—	0.357 ha	0.357 ha	7.5%
Detention / Open Space	0.517 ha	—	0.517 ha	10.9%
Total Open Space	**0.517 ha**	**0.357 ha**	**0.874 ha**	**18.4%**

Road Lengths			
Road Type	Length	Length	Length
4m Wide Access Strip	63m	110m	173m
Shared Access Driveway	71m	—	71m
6.5m Wide New Laneway	63m	120m	183m
16m Wide New Road	198m	279m	477m
17m Wide New Road	78m	—	78m
Total Length of New Road	**473m**	**509m**	**982m**

DEVELOPMENT STATISTICS

		Minimum Dimension	Allotments	Allotment %	Dwellings	Dwelling %
House Allotments						
T28	Terrace Allotment - 210m²	7.5m x 28m	5	7%	5	6%
V2	Villa Allotment - 250m²	10m x 25m	4	5%	4	5%
V1	Villa Allotment - 320m²	10m x 32m	5	7%	5	6%
C2	Courtyard Allotment - 310m²	12.5m x 25m	5	7%	5	6%
C1	Courtyard Allotment - 400m²	12.5m x 32m	4	5%	4	5%
P2	Premium Courtyard Allotment - 375m²	15m x 25m	6	8%	6	7%
P1	Premium Courtyard Allotment - 480m²	15m x 32m	13	18%	13	16%
T2	Traditional Allotment - 500m²	20m x 25m	1	1%	1	1%
T1	Traditional Allotment - 640m²	20m x 32m	3	4%	3	4%
Total House Allotments			**46**	**62%**	**46**	**55%**
House Allotments - Laneway						
L2	Laneway Villa - 320m²	10m x 32m	—	0%	—	0%
L4	Laneway Villa - 280m²	10m x 28m	—	0%	—	0%
L6	Laneway Terrace - 240m²	7.5 x 32m	8	11%	8	10%
L7	Laneway Double Terrace - 175m²	6.25 x 28m	14	19%	14	17%
Total Laneway House Allotments			**22**	**30%**	**22**	**27%**
Multiple Residential Allotments						
D	Duplex Allotment 450-599m²	18x32m	3	4%	6	7%
T	Triplex Allotment 600-749m²	24x32m	1	1%	3	4%
Q	Quadplex Allotment 750m² +	24x32m	1	1%	4	5%
Total Multiple Residential Allotments			**5**	**7%**	**13**	**16%**
Multiple Residential Allotments - Laneway						
L5	Laneway Duplex - 420m²	15m x 28m	1	1%	2	2%
Total Laneway Multiple Residential Allotments			**1**	**1%**	**2**	**2%**
TOTAL			**74**	**100%**	**83**	**100%**

REVISION
A: 01/08/11 Amend lot numbers.
B: 01/09/11 Amend lots facing park

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Capricorn survey group.
Adjoining information: DCDB.
Contours: Capricorn survey group.

CLIENT **URBAN LAND DEVELOPMENT AUTHORITY**

PROJECT **HILLCLOSE HARVEY ROAD CLINTON**

SUBDIVISION PLAN STAGE 2 & 3 LAYOUT OVER LOT 900 ON SP 246026

Level Datum
Origin

Date	1 Sept 2011
Comp By.	WNW/KCH
DWG Name.	102361-35-PRO
Local Authority	URBAN LAND DEVELOPMENT AUTHORITY
Locality	CLINTON
Job Reference	102361
Scale	1 : 500
Sheet	A1
Plan Ref	102361 - 35
Rev	B

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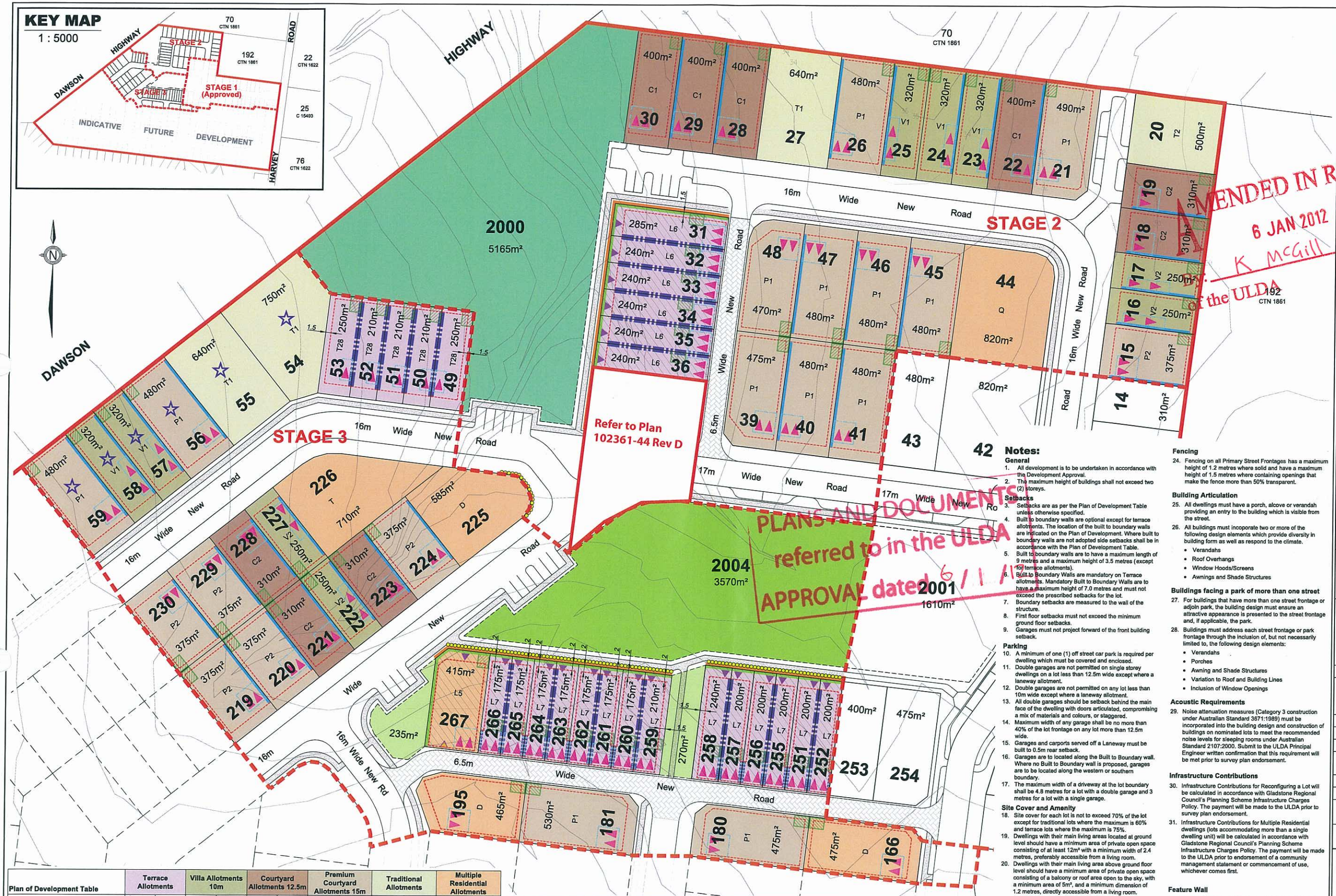

Plan of Development Table	Terrace Allotments		Villa Allotments 10m		Courtyard Allotments 12.5m		Premium Courtyard Allotments 15m		Traditional Allotments		Multiple Residential Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	3.0m *	3.0m *	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	3.0m	3.0m
Garage	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	5.5m	n/a	4.5m	n/a
Rear	1.2m	1.2m	1.2m	1.2m	1.2m	2.0m	1.2m	2.0m	1.2m	2.0m	1.2m	2.0m
Side - General Lots												
Built to Boundary	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	0.0m	1.0m
Non Built to Boundary	0.9m *	0.9m *	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.2m	2.0m	1.0m	1.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	3.0m	3.0m	3.0m	3.0m
Laneway Lots												
Rear of Lot (from laneway boundary)	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	0.5m	n/a	n/a	0.5m	0.5m
Site Cover (maximum)	75%		70%		70%		70%		60%		70%	

*Denotes - Setbacks are as per the Plan of Development Table unless otherwise specified.

Legend

- Site Boundary
- Stage Boundary
- Laneways
- Indicative 1.5m Footpath
- Laneway Allotments

Park / Open Space

- Proposed Park / Open Space
- Proposed Detention / Open Space
- Pedestrian Linkage / Road Reserve

Development Controls

- Preferred Primary Open Space Location (min 12m²)
- Maximum Building location Envelope
- Optional Built to Boundary Wall
- Optional Garage Built to Boundary Wall
- Mandatory Built to Boundary Wall for Terraces
- No Vehicle Access
- Primary Frontage
- Letterbox Location for Primary Dwelling (on a laneway)
- Letterbox Location for Secondary Dwelling (on a laneway)
- Preferred Garage Location
- Acoustic Performance Required (See Note 29)
- Feature Wall Required

Notes:

General

1. All development is to be undertaken in accordance with the Development Approval.
2. The maximum height of buildings shall not exceed two (2) storeys.

Setbacks

3. Setbacks are as per the Plan of Development Table unless otherwise specified.
4. Built to boundary walls are optional except for terrace allotments. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
5. Built to boundary walls are to have a maximum length of 9 metres and a maximum height of 3.5 metres (except for terrace allotments).
6. Built to Boundary Walls are mandatory on Terrace allotments. Mandatory Built to Boundary Walls are to have a maximum height of 7.0 metres and must not exceed the prescribed setbacks for the lot.
7. Boundary setbacks are measured to the wall of the structure.
8. First floor setbacks must not exceed the minimum ground floor setbacks.
9. Garages must not project forward of the front building setback.

Parking

10. A minimum of one (1) off street car park is required per dwelling which must be covered and enclosed.
11. Double garages are not permitted on single storey dwellings on a lot less than 12.5m wide except where a laneway allotment.
12. Double garages are not permitted on any lot less than 10m wide except where a laneway allotment.
13. All double garages should be setback behind the main face of the dwelling with doors articulated, compromising a mix of materials and colours, or staggered.
14. Maximum width of any garage shall be no more than 40% of the lot frontage on any lot more than 12.5m wide.
15. Garages and carports served off a Laneway must be built to 0.5m rear setback.
16. Garages are to located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located along the western or southern boundary.
17. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.

Site Cover and Amenity

18. Site cover for each lot is not to exceed 70% of the lot except for traditional lots where the maximum is 60% and terrace lots where the maximum is 75%.
19. Dwellings with their main living areas located at ground level should have a minimum area of private open space consisting of at least 12m² with a minimum width of 2.4 metres, preferably accessible from a living room.
20. Dwellings with their main living area above ground floor level should have a minimum area of private open space consisting of a balcony or roof area open to the sky, with a minimum area of 5m², and a minimum dimension of 1.2 metres, directly accessible from a living room.

Multiple Residential Allotments

21. Multiple Residential Allotments are not permitted to be developed with only one single dwelling.
22. Multiple Residential Allotments have the following number of dwellings:
    - Duplex - 420-599m² - 2 dwellings
    - Triplex - 600-749m² - 3 dwellings
    - Quadplex - 750m² + - 4 dwellings
23. Where Multiple Residential Allotments encompass more than one frontage they are to be designed to address (entries) each street frontage.

Fencing

24. Fencing on all Primary Street Frontages has a maximum height of 1.2 metres where solid and have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.

Building Articulation

25. All dwellings must have a porch, alcove or verandah providing an entry to the building which is visible from the street.
26. All buildings must incoporate two or more of the following design elements which provide diversity in building form as well as respond to the climate.
    - Verandahs
    - Roof Overhangs
    - Window Hoods/Screens
    - Awnings and Shade Structures

Buildings facing a park of more than one street

27. For buildings that have more than one street frontage or adjoin park, the building design must ensure an attractive appearance is presented to the street frontage and, if applicable, the park.
28. Buildings must address each street frontage or park frontage through the inclusion of, but not necessarily limited to, the following design elements:
    - Verandahs
    - Porches
    - Awning and Shade Structures
    - Variation to Roof and Building Lines
    - Inclusion of Window Openings

Acoustic Requirements

29. Noise attenuation measures (Category 3 construction under Australian Standard 3671:1989) must be incorporated into the building design and construction of buildings on nominated lots to meet the recommended noise levels for sleeping rooms under Australian Standard 2107:2000. Submit to the ULDA Principal Engineer written confirmation that this requirement will be met prior to survey plan endorsement.

Infrastructure Contributions

30. Infrastructure Contributions for Reconfiguring a Lot will be calculated in accordance with Gladstone Regional Council's Planning Scheme Infrastructure Charges Policy. The payment will be made to the ULDA prior to survey plan endorsement.
31. Infrastructure Contributions for Multiple Residential dwellings (lots accommodating more than a single dwelling unit) will be calculated in accordance with Gladstone Regional Council's Planning Scheme Infrastructure Charges Policy. The payment will be made to the ULDA prior to endorsement of a community management statement or commencement of use, whichever comes first.

Feature Wall

32. Feature wall treatment to be implemented and agreed with the ULDA Hillclose Development Team.

Definitions:

Laneway Allotment - Allotments serviced by a laneway.

REVISION
A: 21/07/2011 Amend Note 8
B: 01/08/11 Amend Lot Numbers and POS Locations
C: 01/09/11 Amend lots facing park
D: 07/09/11 Amended Notes and Setbacks

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Capricorn survey group.
Adjoining information: DCDB.
Contours: Capricorn survey group.
Trees: Capricorn survey group.

CLIENT **URBAN LAND DEVELOPMENT AUTHORITY**

PROJECT **HILLCLOSE HARVEY ROAD CLINTON**

PLAN OF DEVELOPMENT STAGE 2 & 3 LAYOUT OVER LOT 900 ON SP 246026

Level Datum	
Origin	
Date	7 Sept 2011
Comp By.	WNW/KCH
DWG Name.	102361-35-PRO
Local Authority	URBAN LAND DEVELOPMENT AUTHORITY
Locality	CLINTON
Job Reference	102361
Scale	1 : 500
Sheet	A1
Plan Ref	102361 - 36
Rev	D

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Land Budget

Land Use	Stage 2A	Stage 3A	Overall	
	Area	Area	Area	Percentage
Area of Subject Site	**0.059 ha**	**0.818 ha**	**0.877 ha**	**100.0%**
Saleable Area				
Residential Allotments	0.052 ha	0.280 ha	0.333 ha	37.9%
Total Area of Allotments	**0.052 ha**	**0.280 ha**	**0.333 ha**	**37.9%**
Road				
Local Roads	—	0.115 ha	0.115 ha	13.1%
Pedestrian Connections-Thresholds	0.007 ha	—	0.007 ha	0.8%
Total Area of New Road	**0.007 ha**	**0.115 ha**	**0.122 ha**	**13.9%**
Open Space				
Detention / Open Space	—	0.423 ha	0.423 ha	48.2%
Total Open Space	—	**0.423 ha**	**0.423 ha**	**48.2%**

Road Lengths			
Road Type	**Length**	**Length**	**Length**
4m Wide Access Strip	17m	—	17m
7m Wide Road Reserve	—	117m	117m
Total Length of New Road	**17m**	**117m**	**134m**

DEVELOPMENT STATISTICS

Allotment Type		
Single Family Dwellings	**Total Allotments**	**Total Dwellings**
Urban Lot 10	13	13
Terrace Allotment	5	5
Premium Courtyard Allotment	1	1
TOTAL	**19**	**19**

Note
All dimensions and areas are approximate only, and are subject to survey and Council approval.

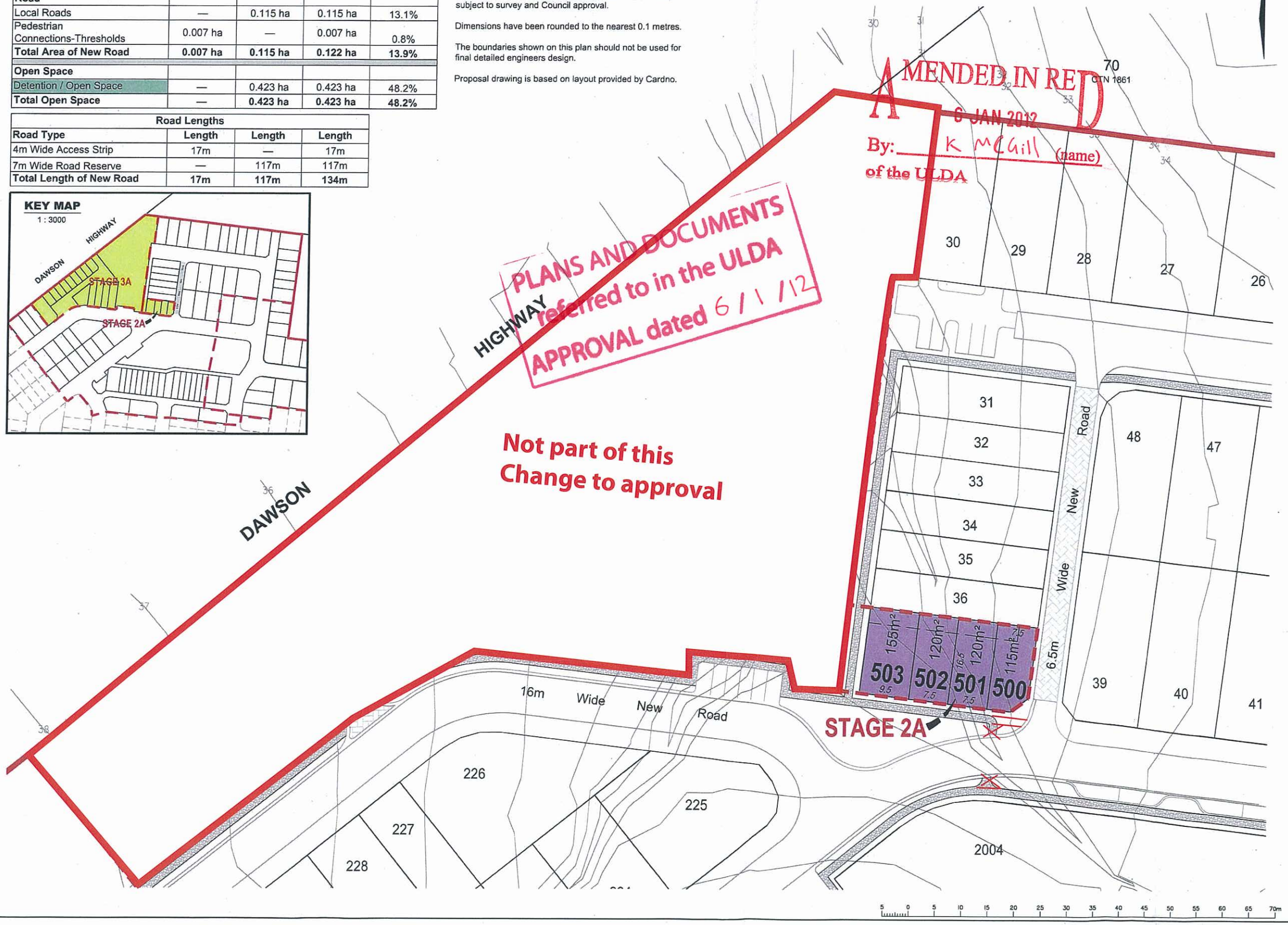
Dimensions have been rounded to the nearest 0.1 metres.

The boundaries shown on this plan should not be used for final detailed engineers design.

Proposal drawing is based on layout provided by Cardno.

Legend

- Detention Basin
- Indicative 1.5m Footpath
- 7m Wide New Road Reserve



REVISION
A: Amend layout
B: Add Emt's

CLIENT **URBAN LAND DEVELOPMENT AUTHORITY**

PROJECT
HILLCLOSE
HARVEY ROAD, CLINTON

SUBDIVISION LAYOUT - STAGE 2A & 3A
CANCELLING LOTS 37, 38, 49-56 & 2000
ON RPS PLAN REF: 102361-35B

Level Datum	
Origin	
Date	06 December 2011
Comp By.	KCH/TJE
DWG Name.	102361-43-PRO
Local Authority	URBAN LAND DEVELOPMENT AUTHORITY
Locality	CLINTON
Job Reference	102361
Scale	1 : 500
Sheet	A2
Plan Ref	**102361-43**
Rev	**B**

urban land development authority

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Plan of Development Table	Urban Lot 10		Terrace Allotments		Premium Courtyard Allotments 15m	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	1.5m	1.5m	3.0m	3.0m	3.0m	3.0m
Garage	4.5m	n/a	4.5m	n/a	4.5m	n/a
Rear	0.9m	0.9m	1.2m	1.2m	1.2m	2.0m
Side - General Lots						
Built to Boundary	0m	0m	0.0m	0.0m	0.0m	1.0m
Non Built to Boundary	1.0m	1.0m	0.9m	0.9m	1.0m	1.5m
Corner Lots - Secondary Frontage	2.0m	2.0m	1.5m	1.5m	2.0m	2.0m
Site Cover (maximum)	85%		75%		70%	

Note
All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded to the nearest 5sqm.

The boundaries shown on this plan should not be used for final detailed engineers design.

Proposal drawing is based on layout provided by Cardno.

PLANS AND DOCUMENTS referred to in the ULDA APPROVAL dated 6 / 1 /12

AMENDED IN RED
6 JAN 2012
By: K McGill (name)
of the ULDA

Notes:

General

1. All development is to be undertaken in accordance with the Development Approval.
2. The maximum height of buildings shall not exceed two (2) storeys.

Setbacks

3. Setbacks are as per the Plan of Development Table unless otherwise specified.
4. For Urban Lot 10 Typologies, open balconies may project forward of the minimum front setback to 0.5m from the front property boundary.
5. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
6. Optional built to boundary walls are to have a maximum length of 9 metres and a maximum height of 3.5 metres.
7. Mandatory Built to Boundary Walls (for Terrace and Urban Lots) are to have a maximum height of 7.0 metres and must not exceed the prescribed setbacks for the lot.
8. Boundary setbacks are measured to the wall of the structure.
9. First floor setbacks must not exceed the minimum ground floor setbacks.
10. Garages must not project forward of the front building setback.
11. Eaves should not encroach (other then where buildings are built to boundary) closer then 450mm to the lot boundary, exceptions include:
    - Primary Street frontage for Villa Allotments, where eaves should not be closer than 2400mm: and
    - Urban Lot 10 Allotments

Parking

12. A minimum of one (1) off street car park is required per dwelling which must be covered and enclosed.
13. Double garages are not permitted on any lot less than 10m wide.
14. All double garages should be setback behind the main face of the dwelling with doors articulated, compromising a mix of materials and colours, or staggered.
15. Maximum width of any garage shall be no more than 40% of the lot frontage on any lot more than 12.5m wide.
16. Garages are to located along the Built to Boundary wall or along the western or southern boundary where no Built to Boundary wall is proposed.
17. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.

Site Cover and Amenity

18. Site cover must be in accordance with the Plan of Development table unless approved by the ULDA.
19. Private open space is required for all dwellings and subject to ULDA approval. Plans demonstrating adequate private open space areas for each dwelling are to be provided to the ULDA for approval.

Fencing

20. Fencing on all Primary Street Frontage has a maximum height of 1.2 metres where solid and have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.
21. Primary Street Frontage fencing treatment is required on all boundaries of Lots 504-508.

Building Articulation

22. All dwellings must have a porch, alcove or verandah providing an entry to the building which is visible from the street.
23. All buildings must incorporate two or more of the following design elements which provide diversity in building form as well as respond to the climate.
    - Verandahs
    - Roof Overhangs
    - Window Hoods/Screens
    - Awnings and Shade Structures

Buildings facing a park and/or more than one street

24. For buildings that have more than one street frontage and/or adjoin park, the building design must ensure an attractive appearance is presented to the street frontage and, if applicable, the park.
25. Buildings must address each street frontage or park frontage through the inclusion of, but not necessarily limited to, the following design elements:
    - Verandahs
    - Porches
    - Awning and Shade Structures
    - Variation to Roof and Building Lines
    - Inclusion of Window Openings

Acoustic Requirements

26. Noise attenuation measures (Category 2 construction under Australian Standard 3671:1989) must be incorporated into the building design and construction of buildings on nominated lots to meet the recommended noise levels for sleeping rooms under Australian Standard 2107:2000. Submit to the ULDA Principal Engineer written confirmation that this requirement will be met prior to survey plan endorsement.

Infrastructure Contributions

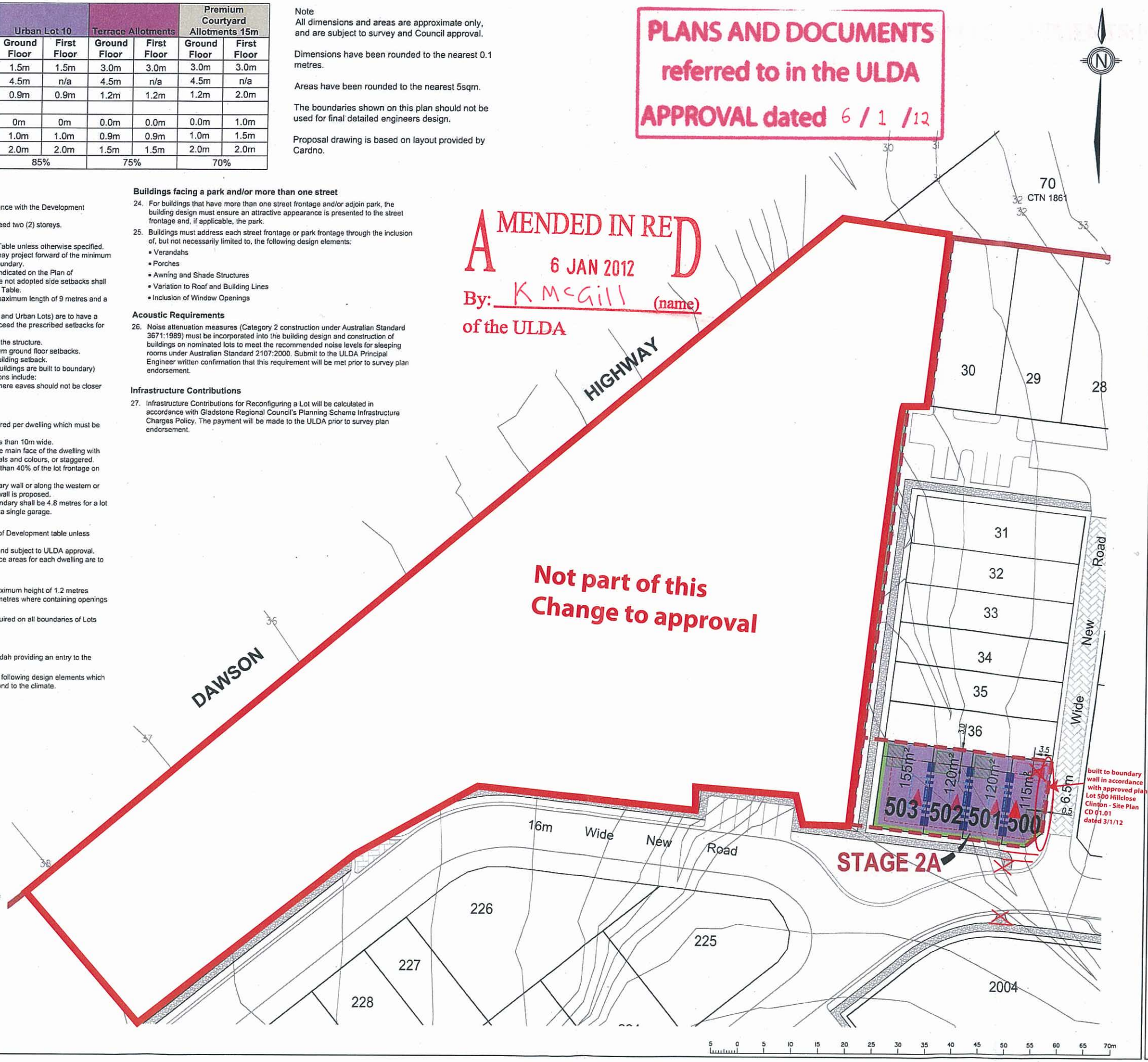
27. Infrastructure Contributions for Reconfiguring a Lot will be calculated in accordance with Gladstone Regional Council's Planning Scheme Infrastructure Charges Policy. The payment will be made to the ULDA prior to survey plan endorsement.

Legend

- Detention Basin
- Indicative 1.5m Footpath
- 7m Wide New Road Reserve

DEVELOPMENT CONTROLS

- Preferred Primary Open Space
- Maximum Building Location Envelope
- Optional Built to Boundary Wall
- Mandatory Built to Boundary Wall
- Preferred Garage Location
- Preferred Carport Location
- Acoustic Performance Required (See Note 26)
- Primary Frontage
- Primary Street Frontage Fencing Requirement (See Notes 20 & 21)



REVISION
B: Amend notes 18 and 24
C: Amend Lot 510 BTB wall
D: Add Emts and amend development controls

CLIENT **URBAN LAND DEVELOPMENT AUTHORITY**

PROJECT
HILLCLOSE
HARVEY ROAD, CLINTON

PLAN OF DEVELOPMENT - STAGES 2A & 3A CANCELLING LOTS 37, 38, 49-56 & 2000 ON RPS PLAN REF: 102361-35B

Level Datum	
Origin	
Date	6 December 2011
Comp By.	KCH/TJE
DWG Name.	102361-43-PRO
Local Authority	URBAN LAND DEVELOPMENT AUTHORITY
Locality	CLINTON
Job Reference	102361
Scale	1 : 500
Sheet	A2
Plan Ref	102361-44
Rev	D

urban land development authority

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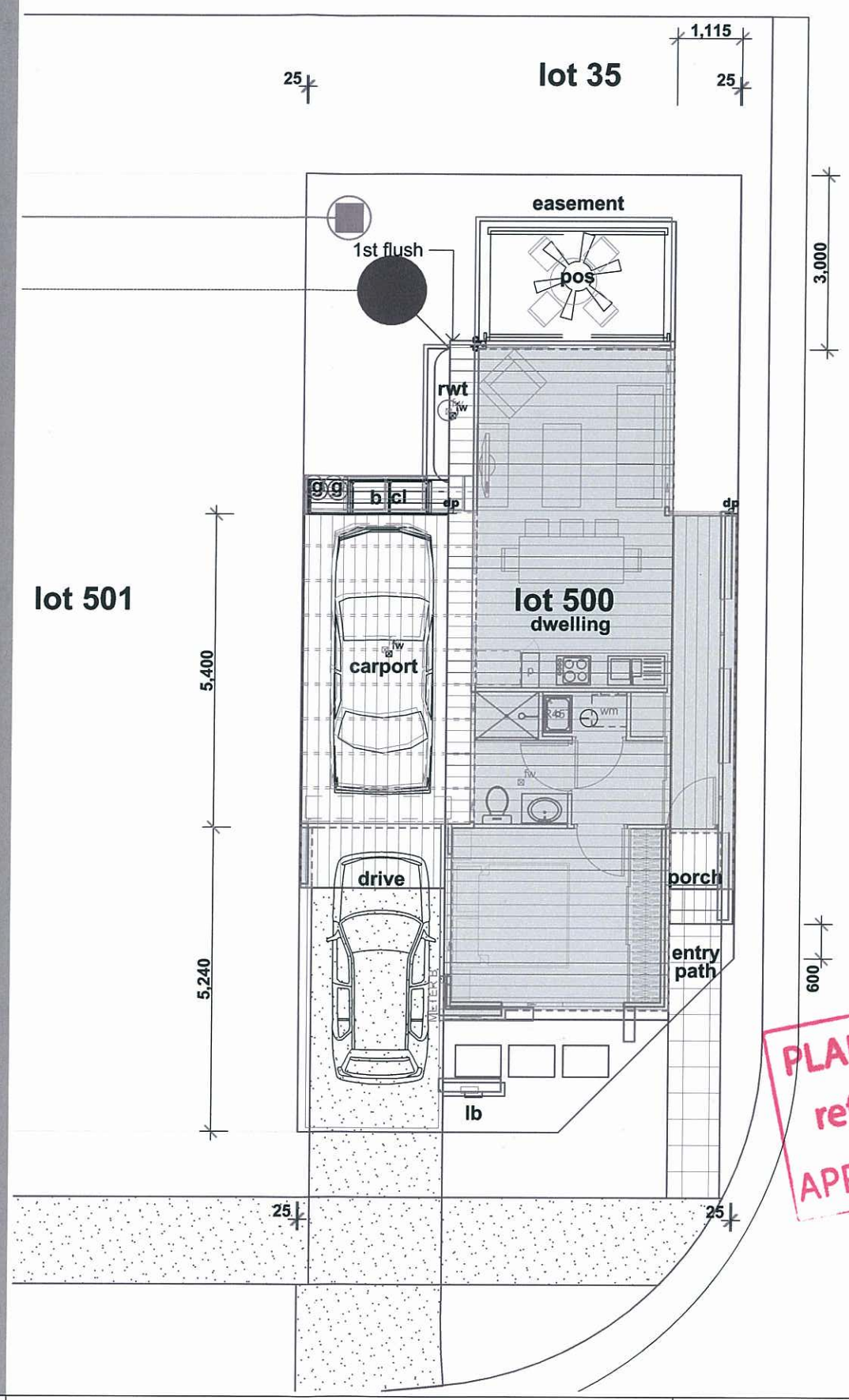
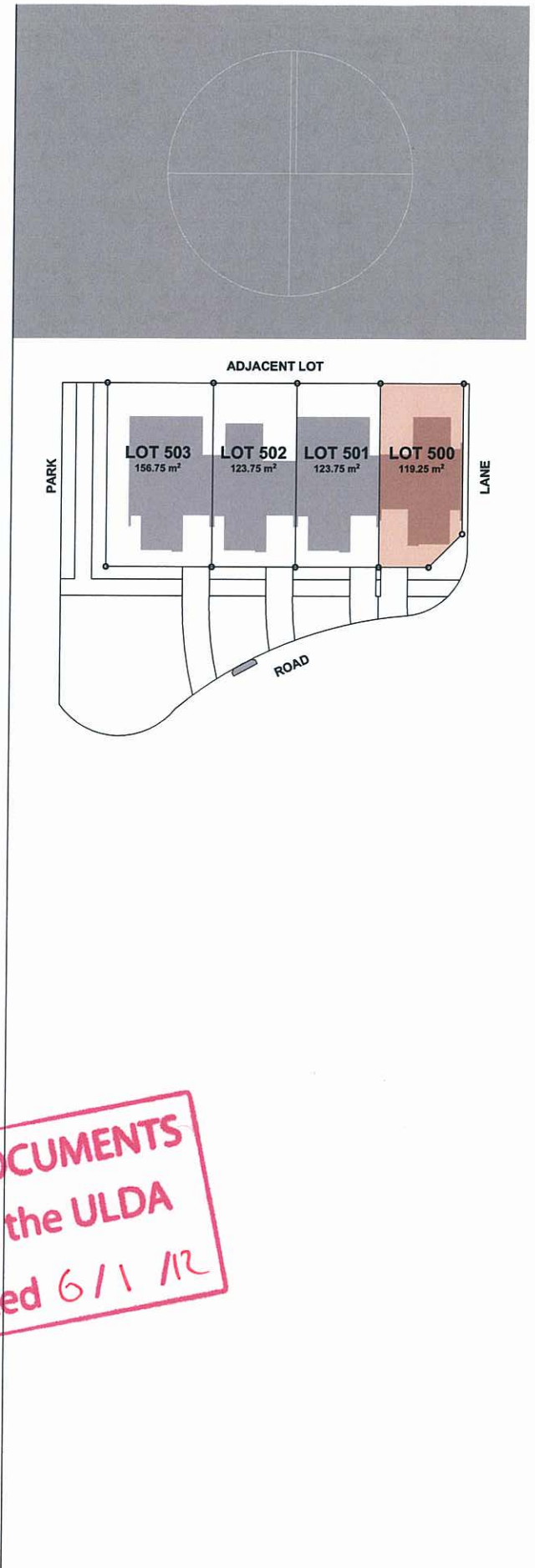
ABREVIATIONS LEGEND

ac	air conditioner
adcm	aust'n domestic constr'n manual
ag	agricultural drain
aj	articulated joint
al	selected finish aluminium
as	australian standards
aw	top hung awning window
b	basin
ba	building approval assessment
bb	brick band
bdy	boundary
bfd	bi-fold door
bh	bulkhead
blk	blockwork
bm	basin mixer
brk	brickwork
bs	bar sink
bs	basin spout
bt	bath tub
bv	brick veneer
cb	Colorbond finished metal
ch	ceiling height
chs	circular hollow section
cl	centreline
clg	ceiling
cp	control panel
cpd	cupboard
csd	cavity sliding door
ct	concrete tile roof
d	dryer
dc	drying court
dn	down
dp	down pipe
dw	dishwasher
dwr	drawer
ej	expansion joint
ens	ensuite
ent	entry
ep	Energex pillar
eq	equal
fb	face brick
fbl	face block
fc	fibre cement
fc/p	fibre cement painted
fcu	fan coil unit
fg	fixed glazing
flr	floor
fm	face masonry
frl	fire resistance level
fsl	floor surface level
fw	floor waste
g	gas cylinder
gar	garage
gl	glass louvre window
gnd	ground
gnf	good neighbour style tmbr fence
gp	gully pit yard drain
gpd	glass panel door
hc	hose cock
hmpr	square arch hamper
hp	hotplates
ht	height
hw	hard wood
hws	hot water service
hwu	hot water unit
kd	kiln dried
ks	kitchen sink
lb	letterbox
ld	leaf diverter
ldng	landing
ldy	laundry
lin	linen
mb	meter box
mf	selected pty metal fascia
mg	selected pty metal gutter
mpr	multi-purpose room
mw	microwave
n	nominal
n	north
nom	nominal
nrg	pty greenboard cladding
ns	natural surface
nsl	natural surface level
o	open
obs	obscure glazing
oh	overhead and/or overhang
omp	outer most projection
pb	painted brick
pc	parapet capping
pdr	powder room
pf	painted finish
pfc	parallel flange channel
ph	pitching height
pld	auto panel lift door
pos	private open space
ps	plumbing stack
ptry	pantry
pty	proprietary
r	robe
ra	return air vent
rb	rubbish bin
rd	roller door
ref	refrigerator
rh	rangehood
rl	relative level
rm	rendered masonry
rsr	riser
rwo + s	rain water outlet
rwt	rain water tank
s	south
sa	smoke detector alarm
sc	self closing
sd	soap dish
se	sewer
sf	stone finish
sgd	sliding glass door
shr	shower
shs	square hollow section
sl	self locking
sm	shower mixer
smd	smoke detector
sp	survey plan
sr	shower rose
st	solar tube skylight/vent
stc	sound transmission class
sv	stone veneer
sw	sliding window or storm water
t	laundry tub
tc	texture coating
tmbr	timber
tp	treated pine
tr	towel rail / ring
trh	toilet roll holder
tv	timber veneer
typ	typical
ubo	under bench oven
uno	unless noted otherwise
upvc	unplasticised poly vinyl chloride
wb	weatherboard
wc	water closet/toilet
wir	walk in robe
wm	washing machine
wo	wall oven



laneway



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AMMENDMENTS

A	03.01.12	Design Guideline Assessm't	ad	AD

urban land development authority

Client
G + D Lawrie Builders

Project Name
Lot 500 Hillclose, Clinton

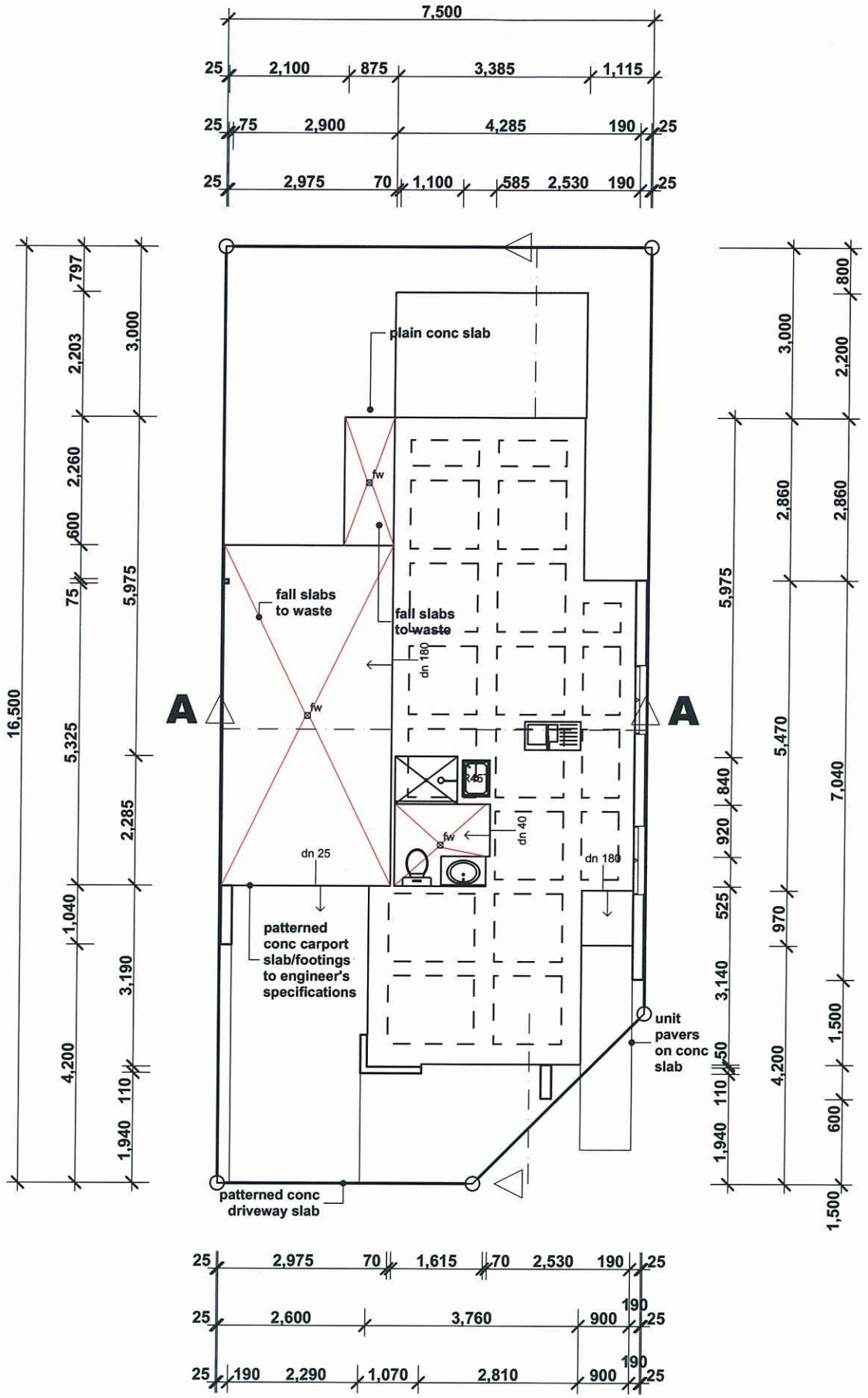
Status: Preliminary
Scale: N/A
Date: 03.01.12
Drawn by: ad

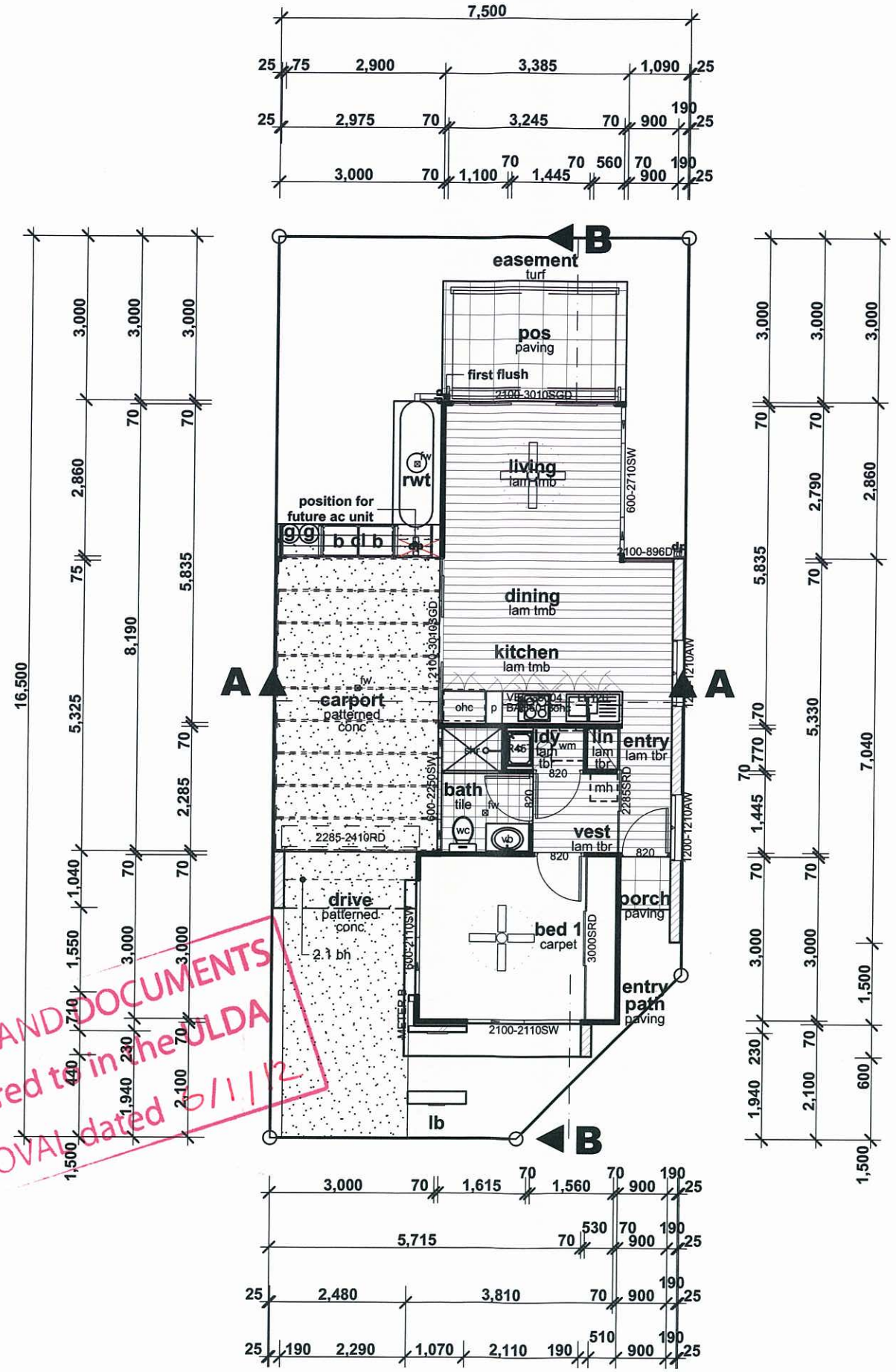
Drawing Title:
Site Plan

Project No:
GDM001.500 A

Drawing No.:
CD 01.01

degenhart SHEDD





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AMMENDMENTS

A	03.01.12	Design Guideline Assessm't	ad	AD

urban land development authority

Client
G + D Lawrie Builders

Project Name
Lot 500 Hillclose, Clinton

Status: Preliminary
Scale: N/A
Date: 06.01.12
Drawn by: ad

Drawing Title:
Slab & Floor Plans

Project No:
GDM001.500 A

Drawing No.:
CD 02.01

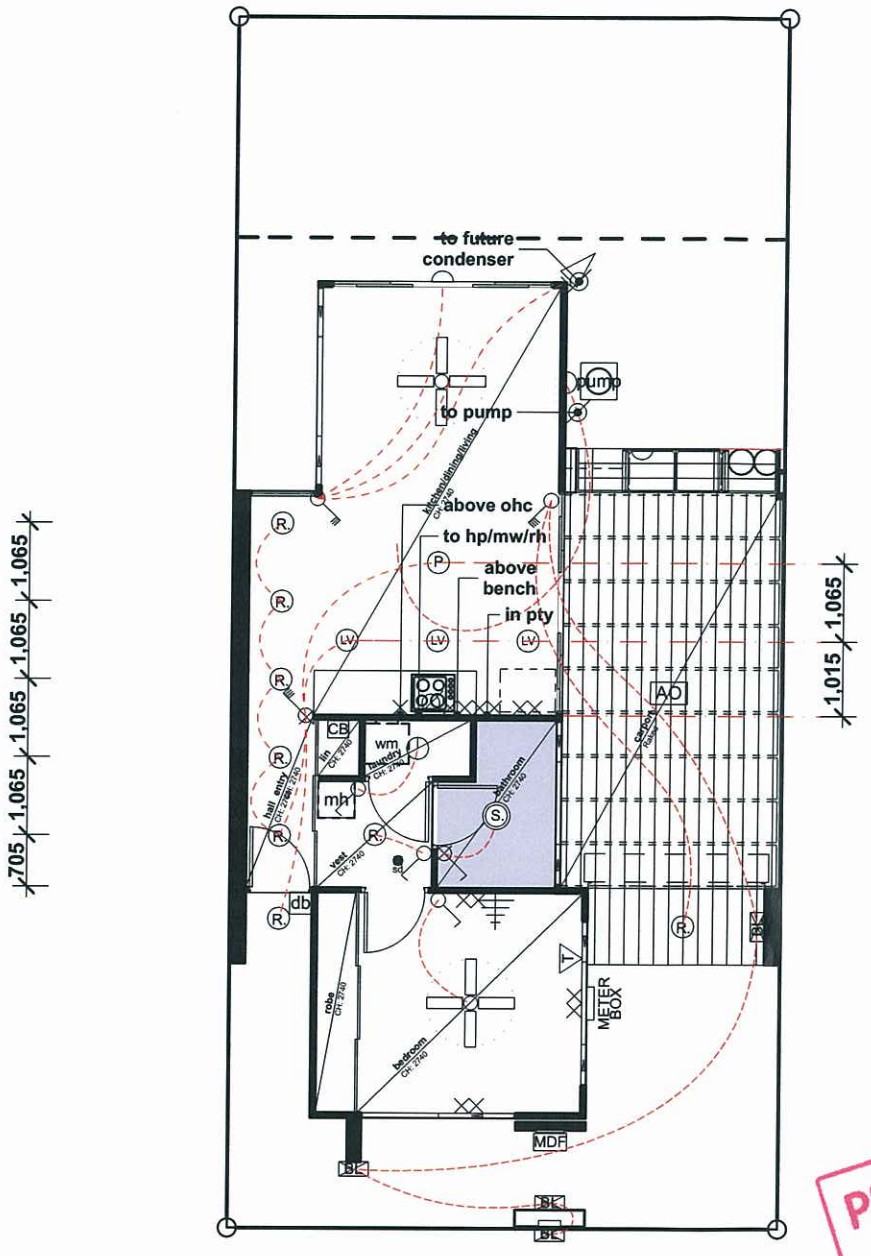
degenhart SHEDD

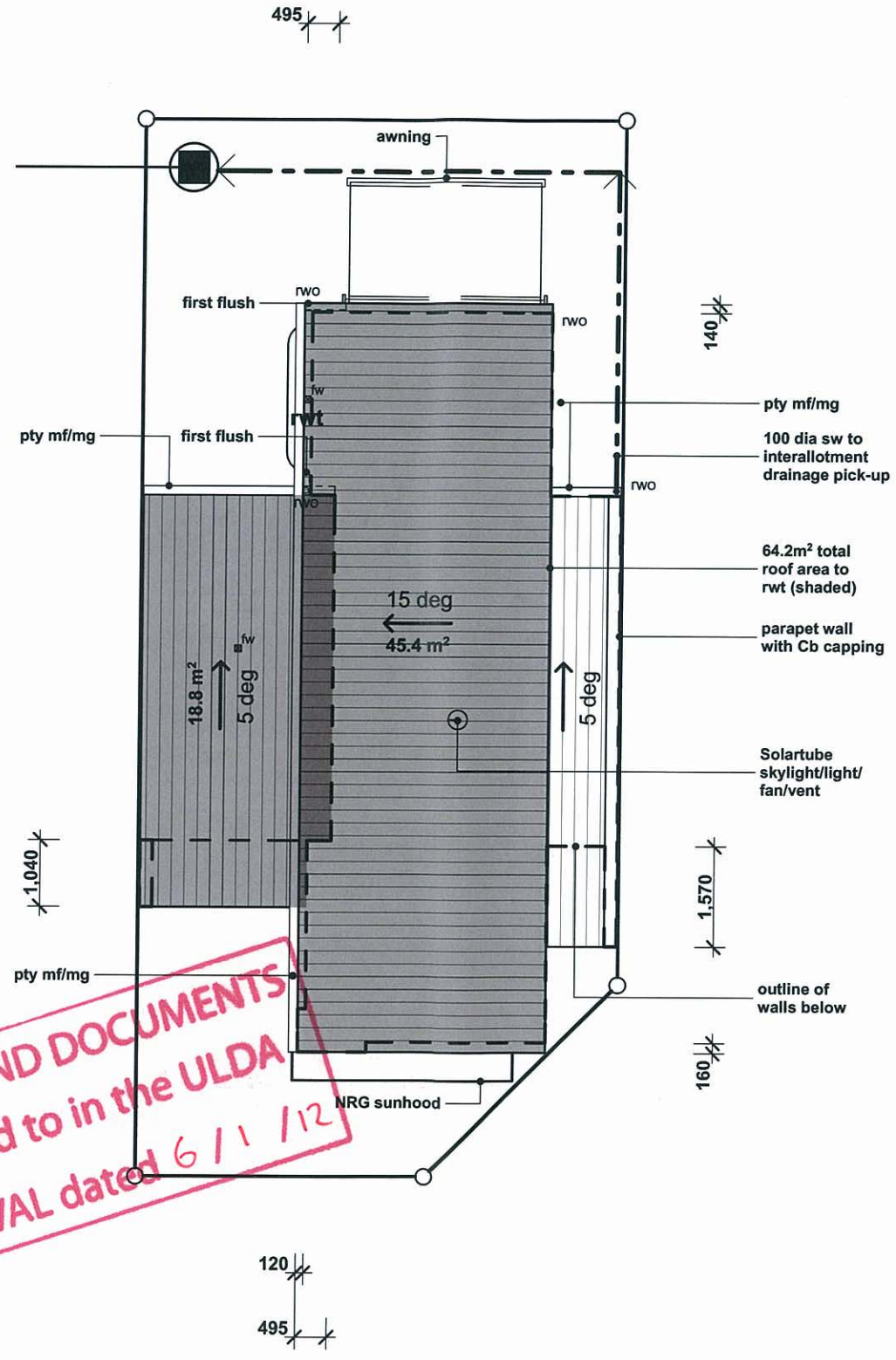
LIGHTING AND COMMUNICATIONS LEGEND

- R — Recessed Compact Fluorescent
- LV — Low Voltage Compact Fluorescent
- P — Compact Fluorescent Pendant
- BK — LED Brick Light
- External Grade Wall mounted Light
- Skylight/Light/Vent/Exhaust Fan
- mh — Manhole
- 1 Pole Light Switch
- 2 Pole Light Switch
- 3 Pole Light Switch
- 4 Pole Light Switch
- 2 Way Light Switch
- Security Motion Sensor
- db — Door Bell
- sd — Hard Wired Smoke Detector
- Ceiling Fan and Light

POWER AND APPLIANCE LEGEND

- Single GPO at 1200mm AFF
- Double GPO
- WP — Weatherproof GPO
- TV Point
- T — Telephone
- METER BOX — Meter Box
- MDF / CB — Main Distrib'n Frame / Circut Braker
- Direct Wiring
- pump — Submersable Pump
- Position of Future AC Condenser





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AMMENDMENTS

A	03.01.12	Design Guideline Assessm't	ad	AD

urban land development authority

Client: G + D Lawrie Builders

Project Name: **Lot 500 Hillclose, Clinton**

Status: Preliminary
Scale: N/A
Date: 03.01.12
Drawn by: ad

Drawing Title: **Roof & Electrical Plans**

Project No: **GDM001.500 A**
Drawing No.: **CD 02.02**

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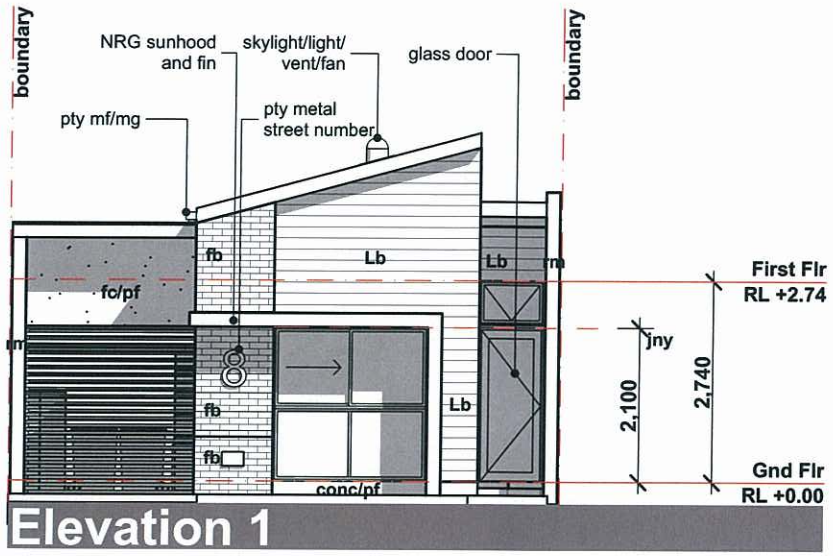
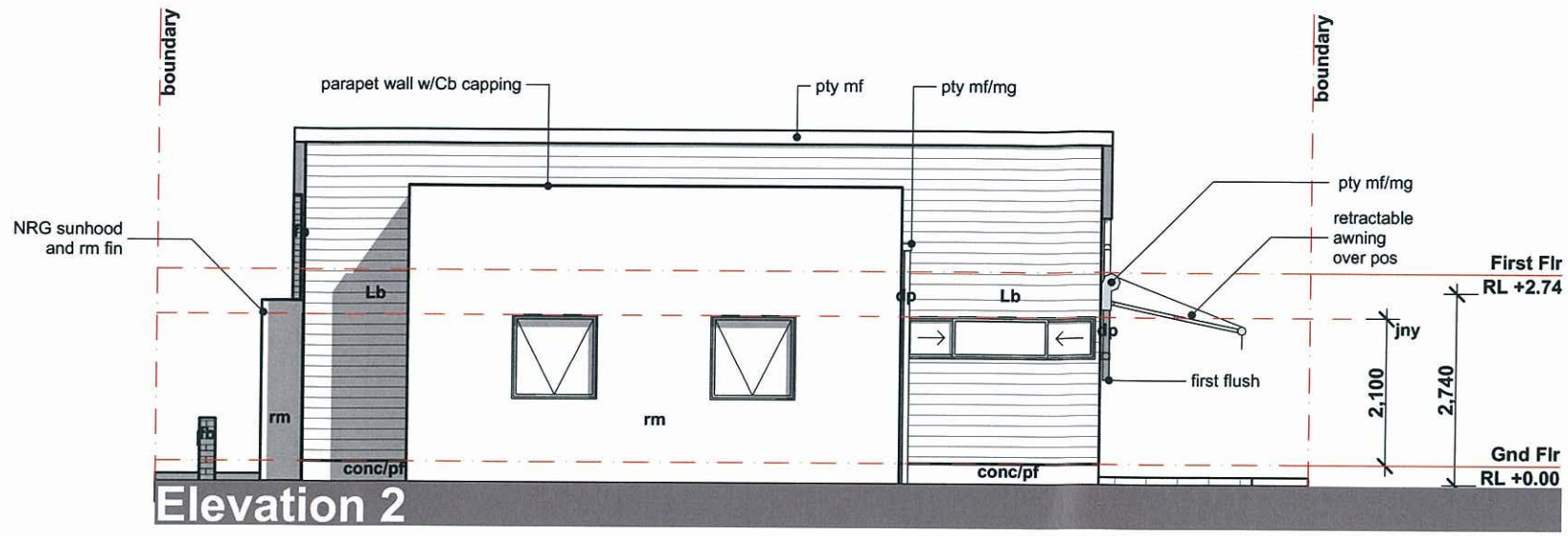


Elevation 1



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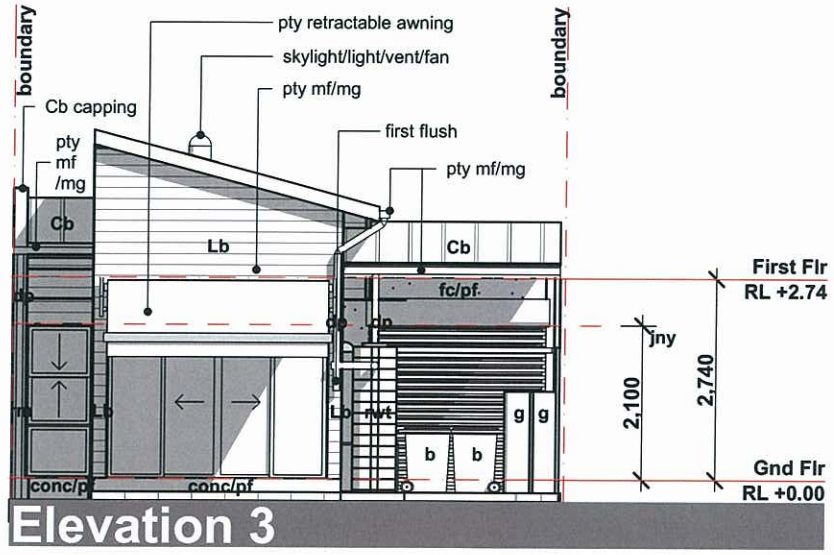
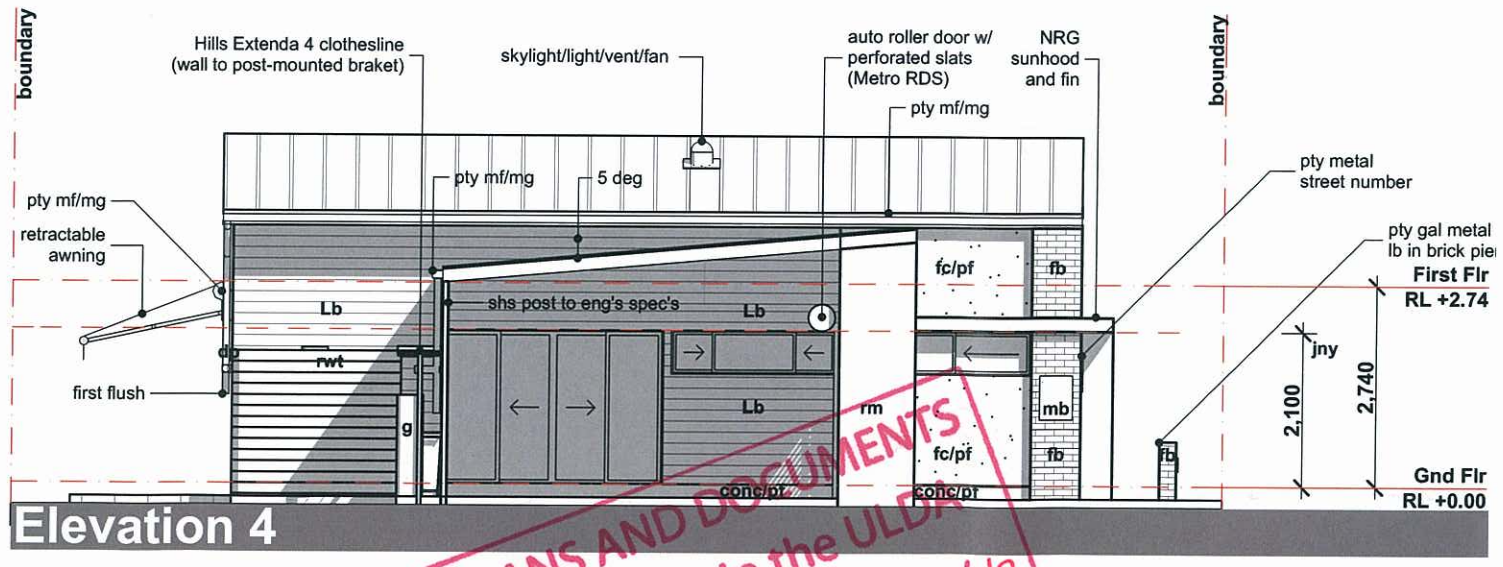


Elevation 3



Elevation 4

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AMMENDMENTS				
A	03.01.12	Design Guideline Assessm't	ad	AD

urban land development authority

Client: G + D Lawrie Builders

Project Name: Lot 500 Hillclose, Clinton

Status: Preliminary
Scale: N/A
Date: 03.01.12
Drawn by: ad

Drawing Title: Elevations

Project No: GDM001.500 A

Drawing No.: CD 03.01

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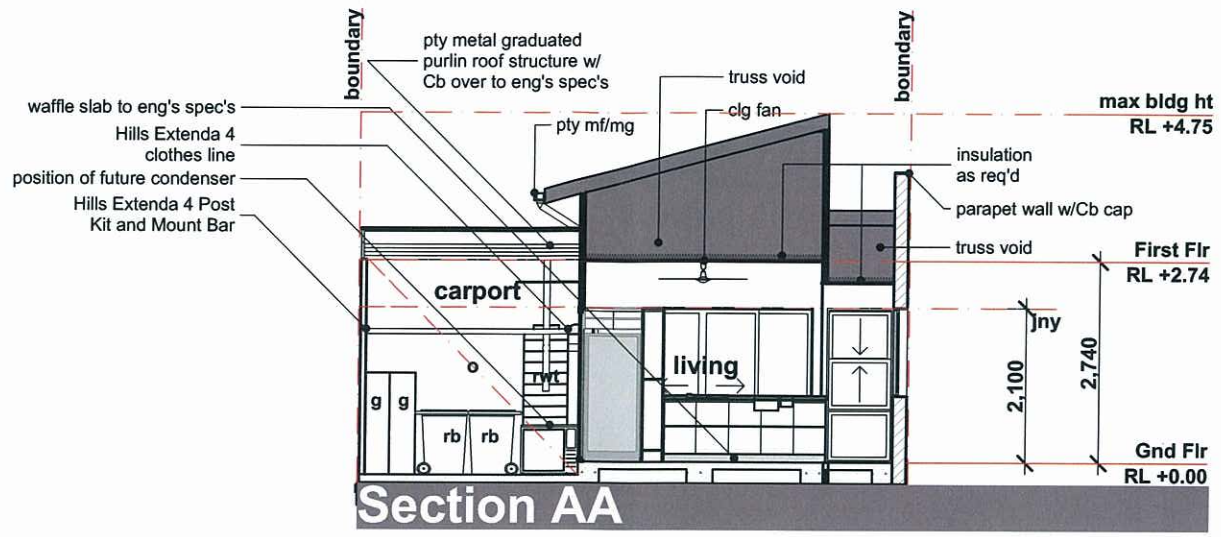
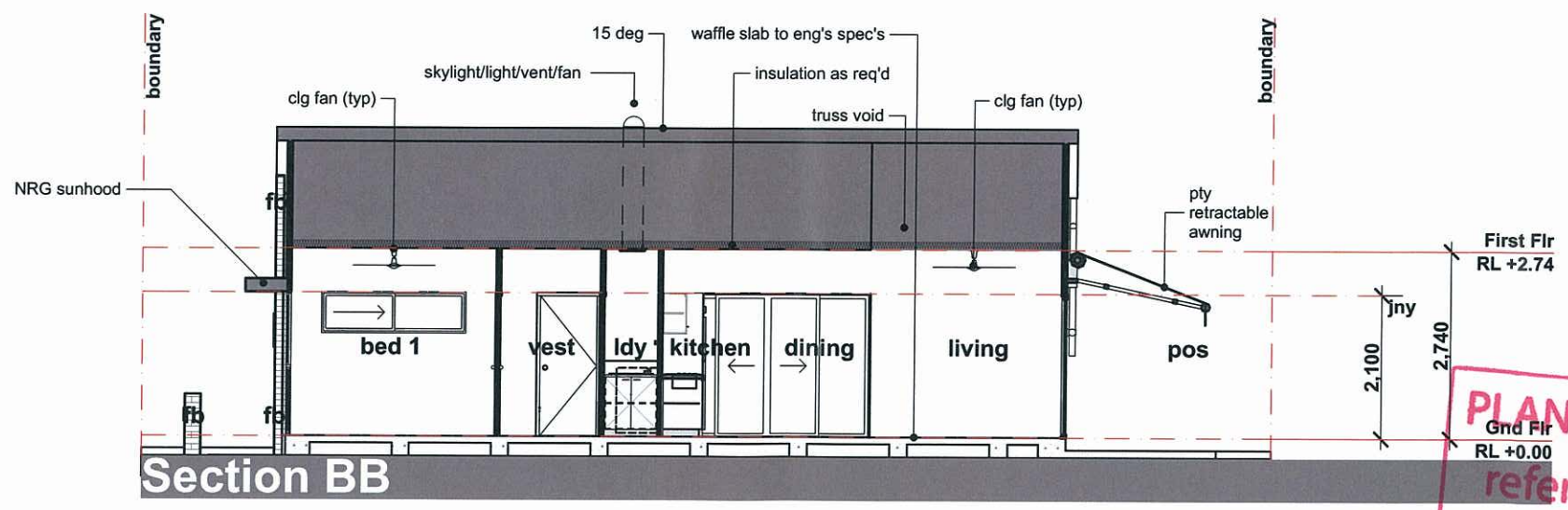


Section AA



Section BB

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 6/1/12

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AMMENDMENTS

A	03.01.12	Design Guideline Assessm't	ad	AD

urban land development authority

Client
G + D Lawrie Builders

Project Name
Lot 500 Hillclose, Clinton

Status: Preliminary
Scale: N/A
Date: 03.01.12
Drawn by: ad

Drawing Title:
Sections

Project No:
GDM001.500 A

Drawing No.:
CD 04.01

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ABBREVIATIONS LEGEND

ac	air conditioner
adcm	aust'n domestic constr'n manual
ag	agricultural drain
aj	articulated joint
al	selected finish aluminium
as	australian standards
aw	top hung awning window
b	basin
ba	building approval assessment
bb	brick band
bdy	boundary
bfd	bi-fold door
bh	bulkhead
blk	blockwork
bm	basin mixer
brk	brickwork
bs	bar sink
bs	basin spout
bt	bath tub
bv	brick veneer
cb	Colorbond finished metal
ch	ceiling height
chs	circular hollow section
cl	centreline
clg	ceiling
cp	control panel
cpd	cupboard
csd	cavity sliding door
ct	concrete tile roof
d	dryer
dc	drying court
dn	down
dp	down pipe
dw	dishwasher
dwr	drawer
ej	expansion joint
ens	ensuite
ent	entry
ep	Energex pillar
eq	equal
fb	face brick
fbl	face block
fc	fibre cement
fc/p	fibre cement painted
fcu	fan coil unit
fg	fixed glazing
flr	floor
fm	face masonry
frl	fire resistance level
fsl	floor surface level
fw	floor waste
g	gas cylinder
gar	garage
gl	glass louvre window
gnd	ground
gnf	good neighbour style tmbr fence
gp	gully pit yard drain
gpd	glass panel door
hc	hose cock
hmpr	square arch hamper
hp	hotplates
ht	height
hw	hard wood
hws	hot water service
hwu	hot water unit
kd	kiln dried
ks	kitchen sink
lb	letterbox
ld	leaf diverter
ldng	landing
ldy	laundry
lin	linen
mb	meter box
mf	selected pty metal fascia
mg	selected pty metal gutter
mpr	multi-purpose room
mw	microwave
n	nominal
n	north
nom	nominal
nrg	pty greenboard cladding
ns	natural surface
nsl	natural surface level
o	open
obs	obscure glazing
oh	overhead and/or overhang
omp	outer most projection
pb	painted brick
pc	parapet capping
pdr	powder room
pf	painted finish
pfc	parallel flange channel
ph	pitching height
pld	auto panel lift door
pos	private open space
ps	plumbing stack
ptry	pantry
pty	proprietary
r	robe
ra	return air vent
rb	rubbish bin
rd	roller door
ref	refrigerator
rh	rangehood
rl	relative level
rm	rendered masonry
rsr	riser
rwo + s	rain water outlet
rwt	rain water tank
s	south
sa	smoke detector alarm
sc	self closing
sd	soap dish
se	sewer
sf	stone finish
sgd	sliding glass door
shr	shower
shs	square hollow section
sl	self locking
sm	shower mixer
smd	smoke detector
sp	survey plan
sr	shower rose
st	solar tube skylight/vent
stc	sound transmission class
sv	stone veneer
sw	sliding window or storm water
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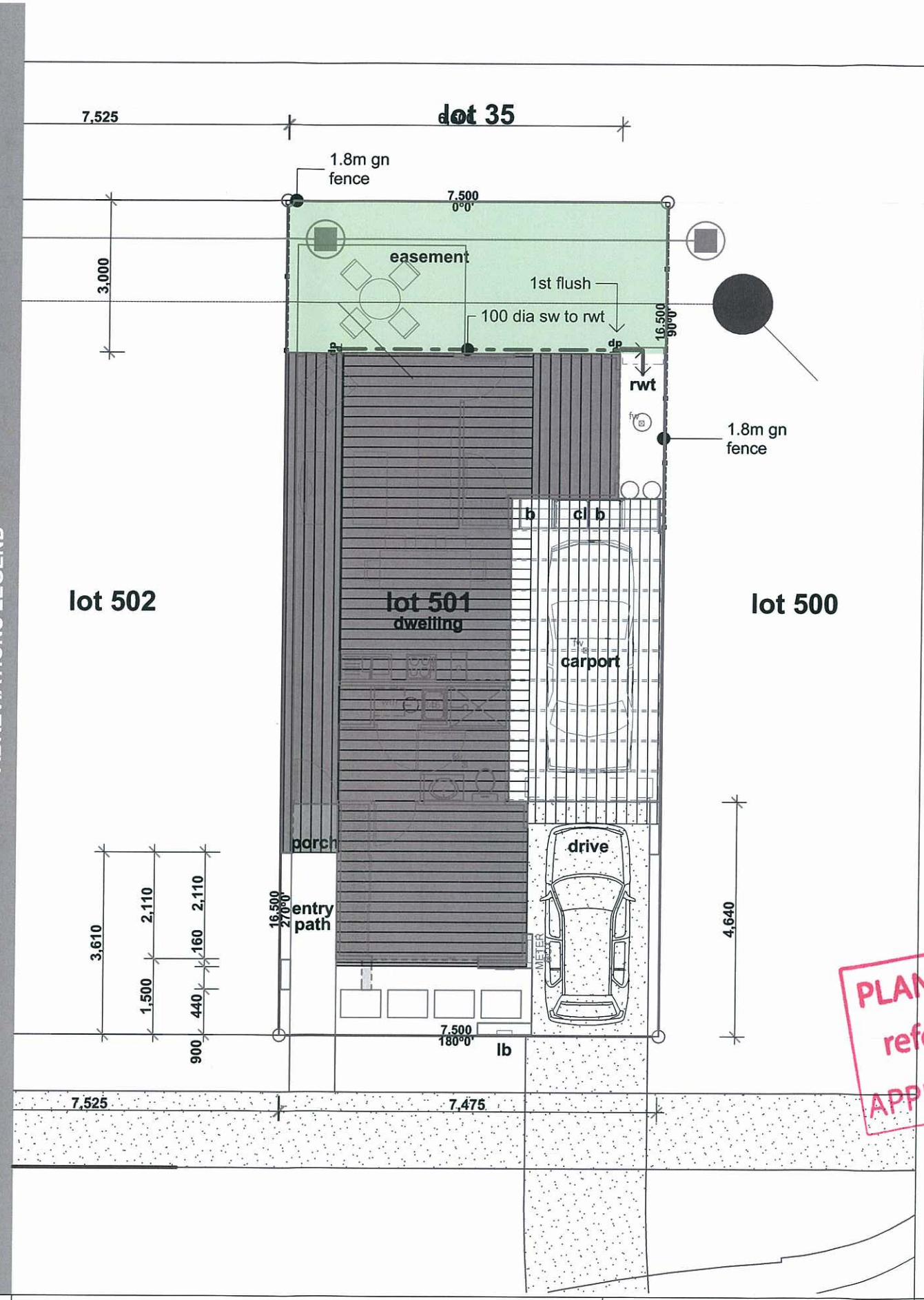

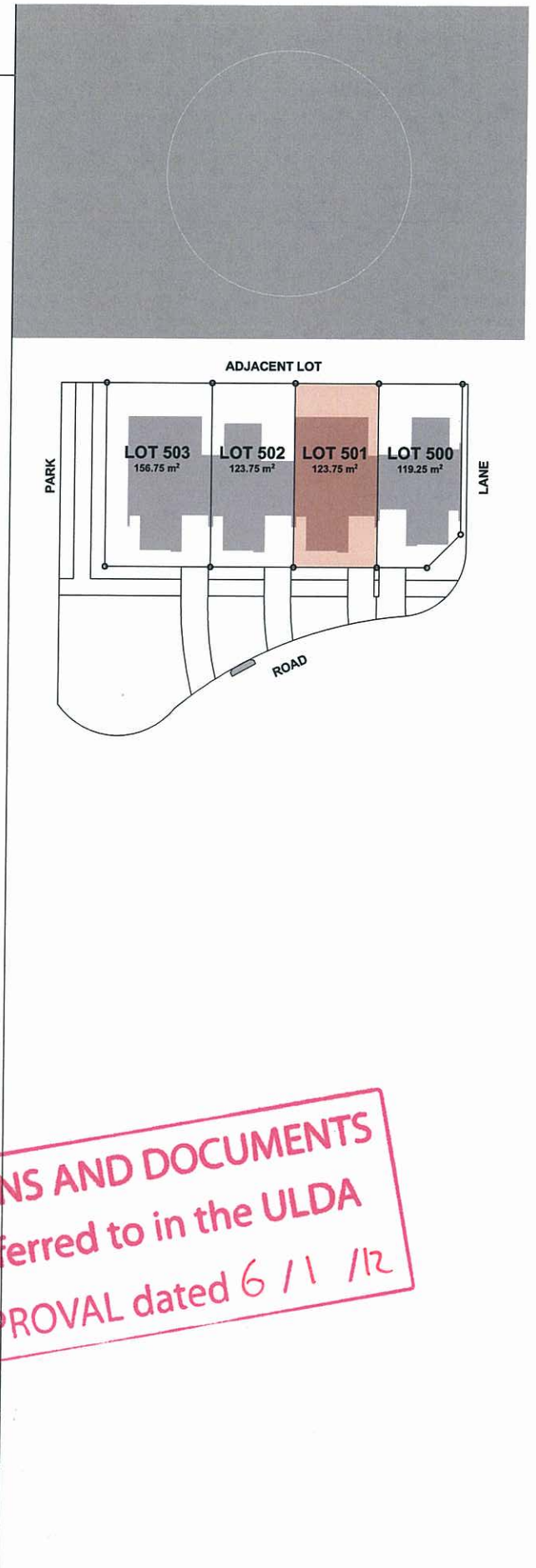

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AMMENDMENTS

A	28.12.11	Design Guideline Assessm't	ad	AD
B	03.01.12	Main Roof Raised 240mm	ad	AD

Client
G + D Lawrie Builders

Project Name
Lot 501, Hillclose, Clinton

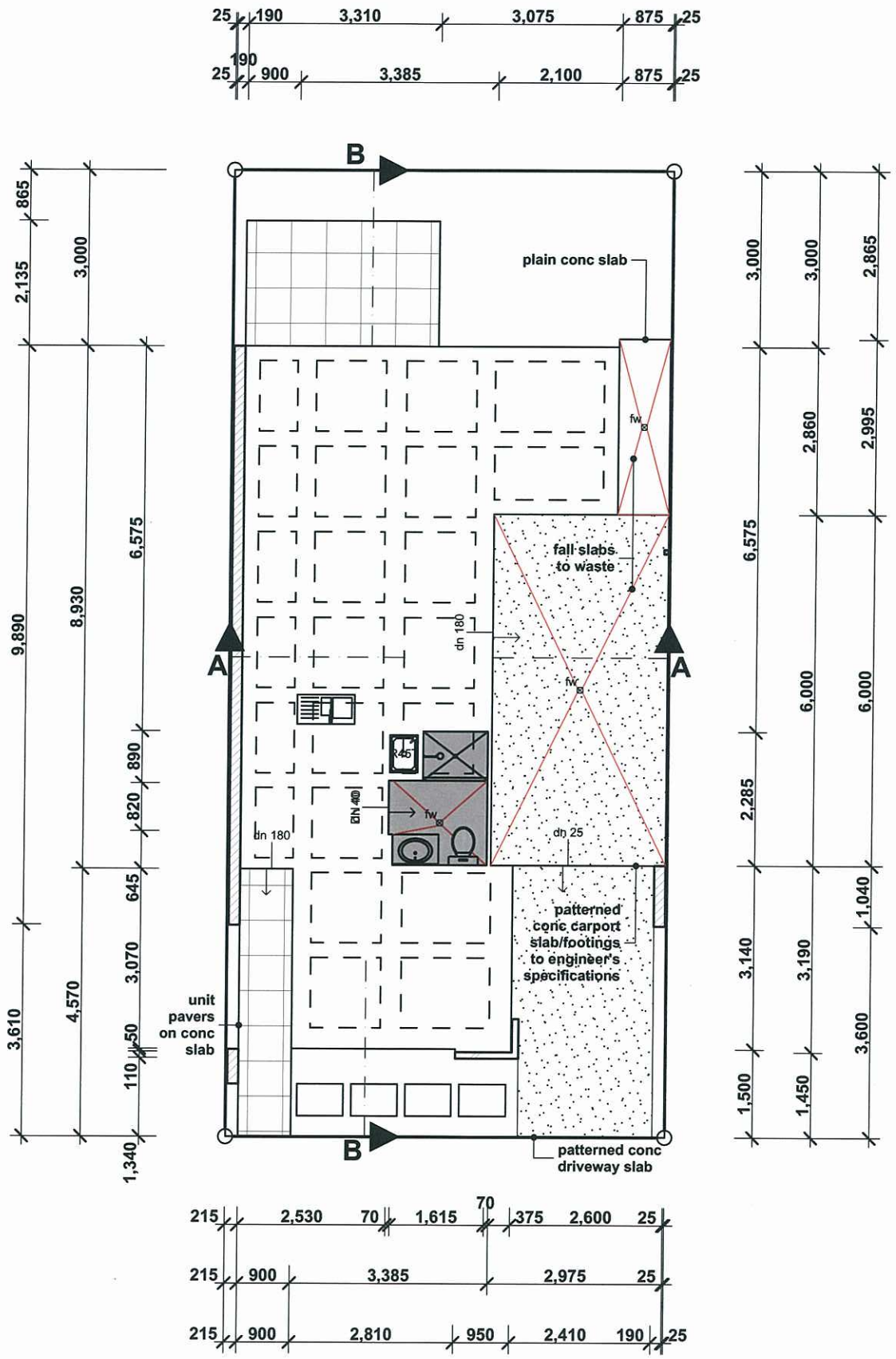
Status: Preliminary
Scale: N/A
Date: 03/01/12
Drawn by: ap

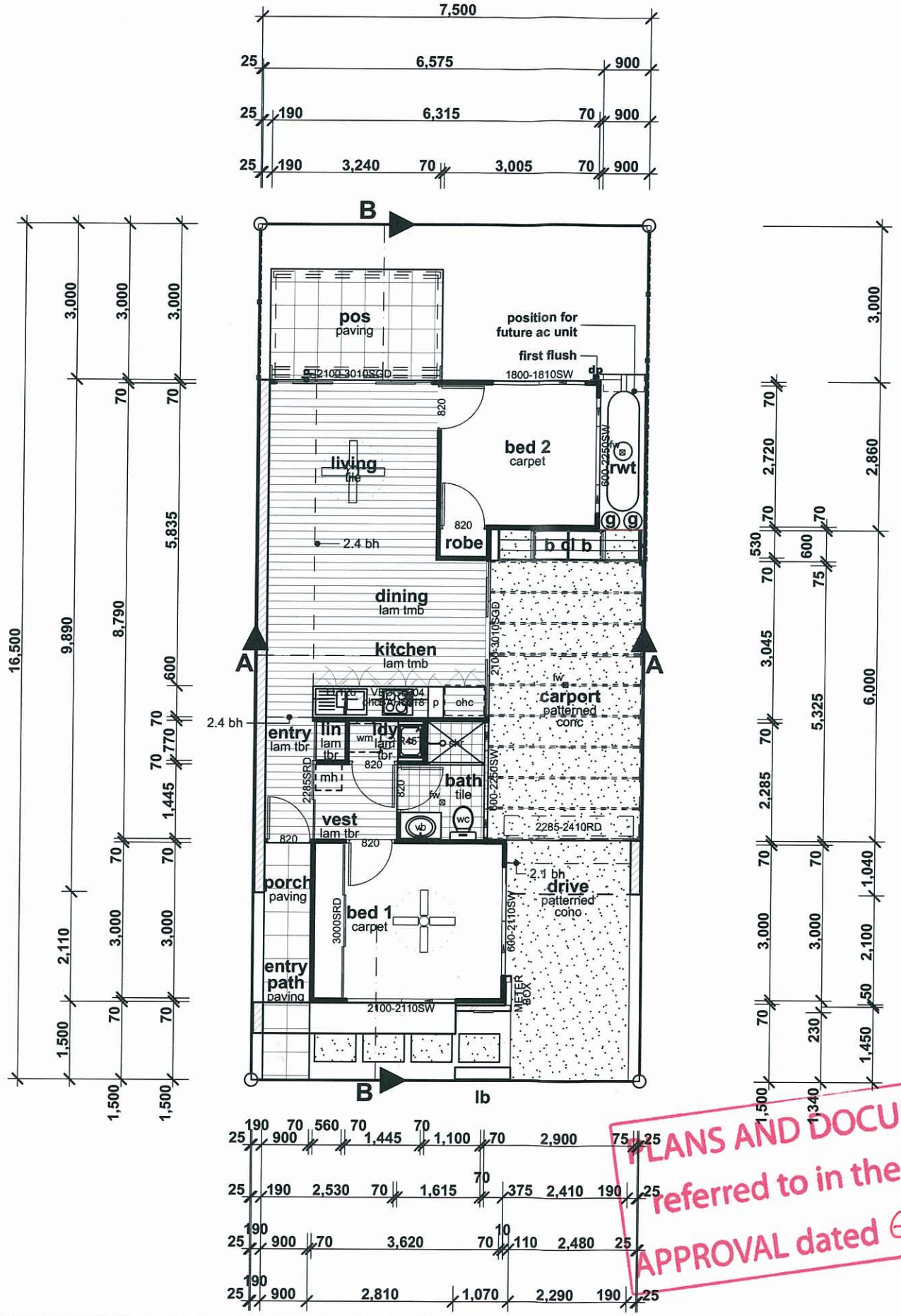
Drawing Title:
Site Plan

Project No:
GDM001 B

Drawing No.:
CD 01.01

degenhart SHEDD





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AMMENDMENTS

A	28.12.11	Design Guideline Assessm't	ad	AD
B	03.01.12	Main Roof Raised 240mm	ad	AD

Client: G + D Lawrie Builders

Project Name: Lot 501, Hillclose, Clinton

Status: Preliminary
Scale: N/A
Date: 03/01/12
Drawn by: ap

Drawing Title: Slab & Floor Plans

Project No: GDM001 B

Drawing No.: CD 02.01

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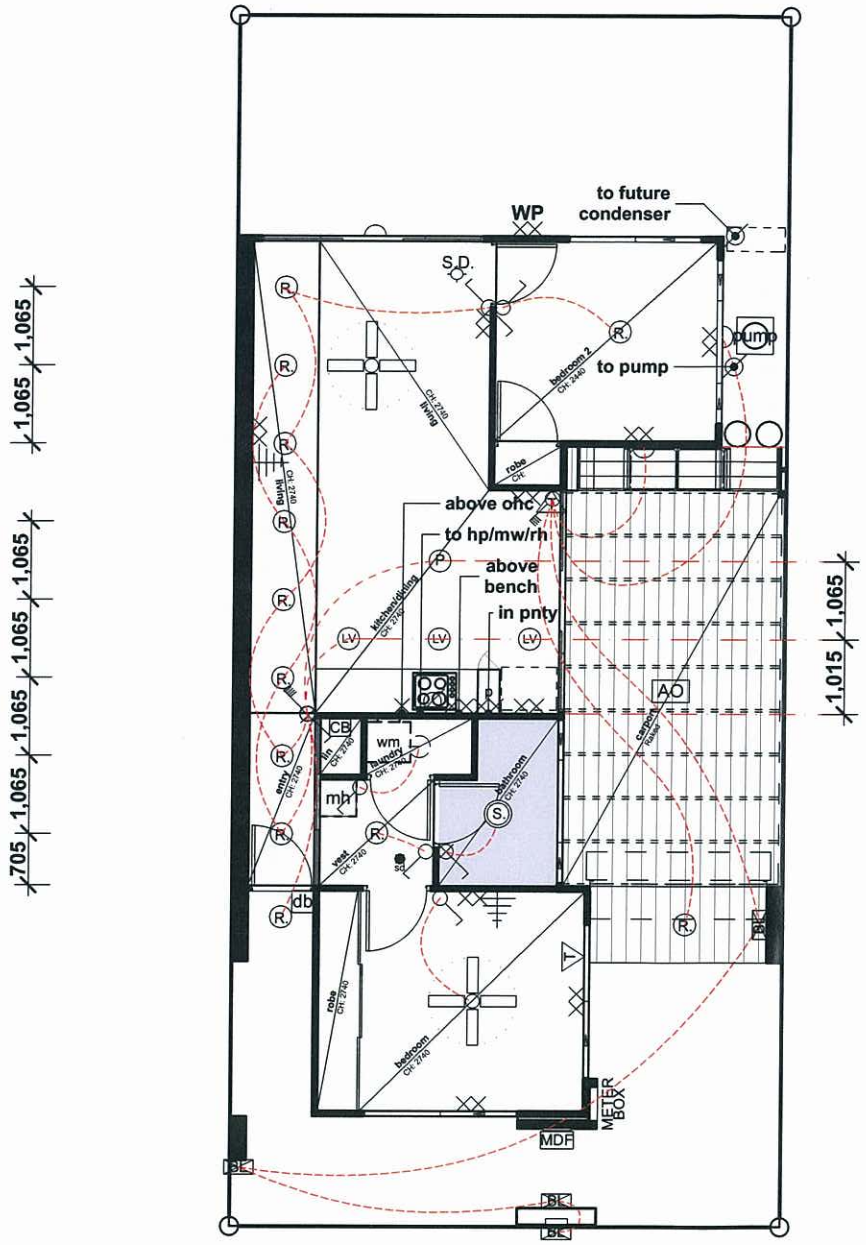
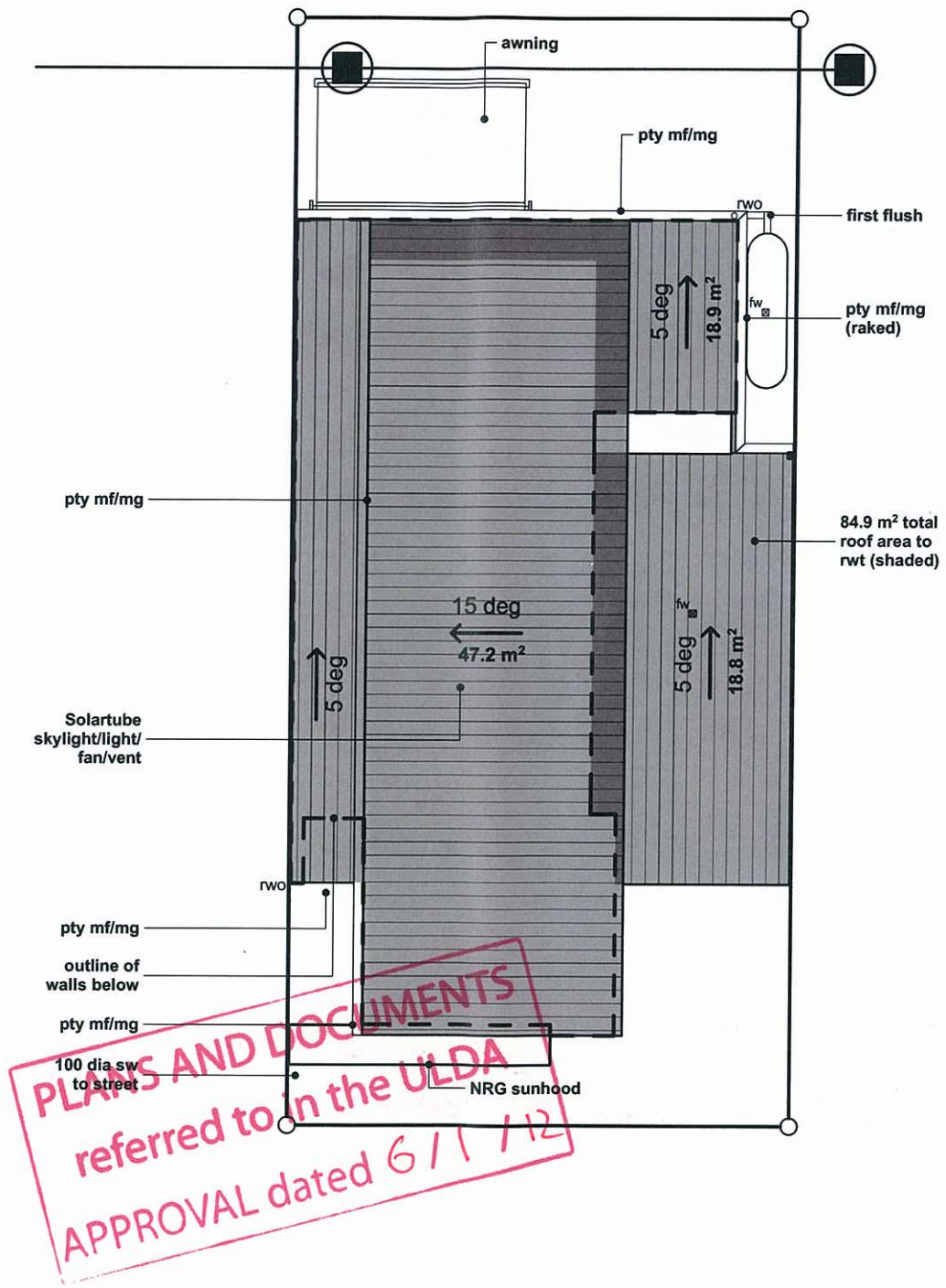
LIGHTING AND COMMUNICATIONS LEGEND

- R — Recessed Compact Fluorescent
- LV — Low Voltage Compact Fluorescent
- P — Compact Fluorescent Pendant
- BK — LED Brick Light
- External Grade Wall mounted Light
- Skylight/Light/Vent/Exhaust Fan
- mh — Manhole
- 1 Pole Light Switch
- 2 Pole Light Switch
- 3 Pole Light Switch
- 4 Pole Light Switch
- 2 Way Light Switch
- Security Motion Sensor
- db — Door Bell
- sd — Hard Wired Smoke Detector
- Ceiling Fan and Light

POWER AND APPLIANCE LEGEND

- Single GPO at 1200mm AFF
- Double GPO
- WP — Weatherproof GPO
- TV Point
- T — Telephone
- METER BOX — Meter Box
- MDF / CB — Main Distrib'n Frame / Circut Braker
- Direct Wiring
- pump — Submersable Pump
- Position of Future AC Condenser





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AMMENDMENTS

A	28.12.11	Design Guideline Assessm't	ad	AD
B	03.01.12	Main Roof Raised 240mm	ad	AD

Client: G + D Lawrie Builders

Project Name: **Lot 501, Hillclose, Clinton**

Status: Preliminary
Scale: N/A
Date: 03/01/12
Drawn by: ap

Drawing Title: **Roof & Electrical Plans**

Project No: **GDM001** B

Drawing No.: **CD 02.02**

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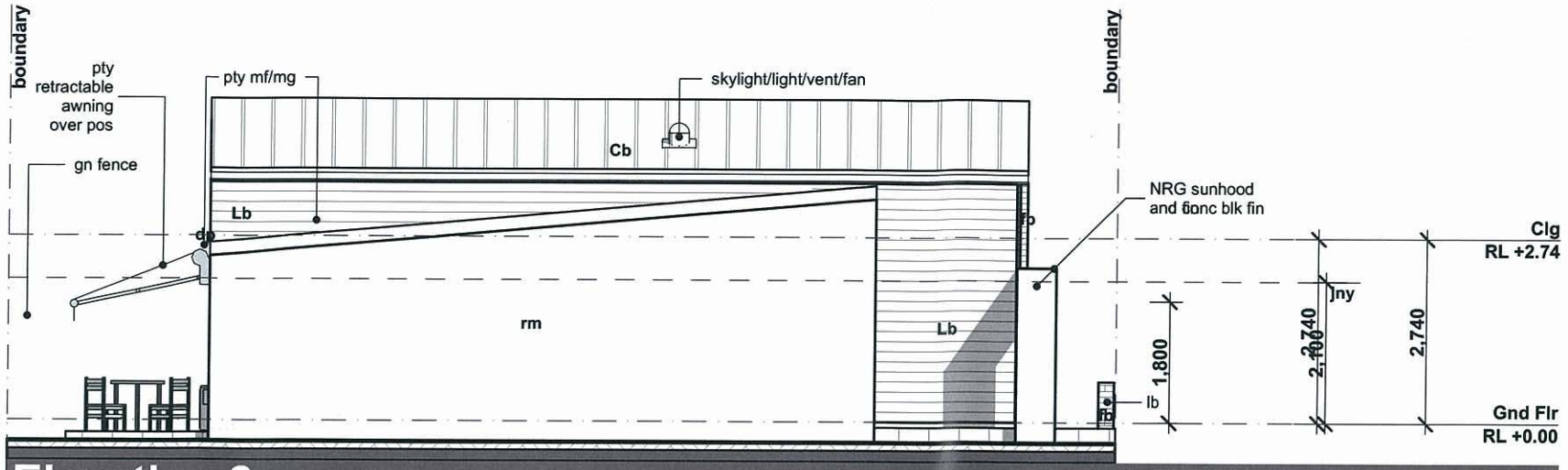
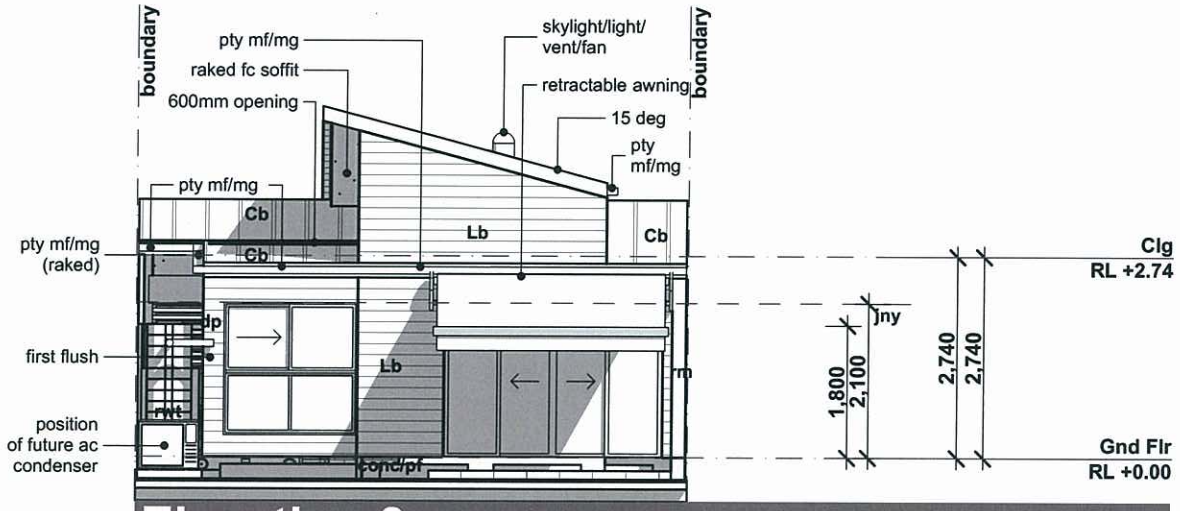
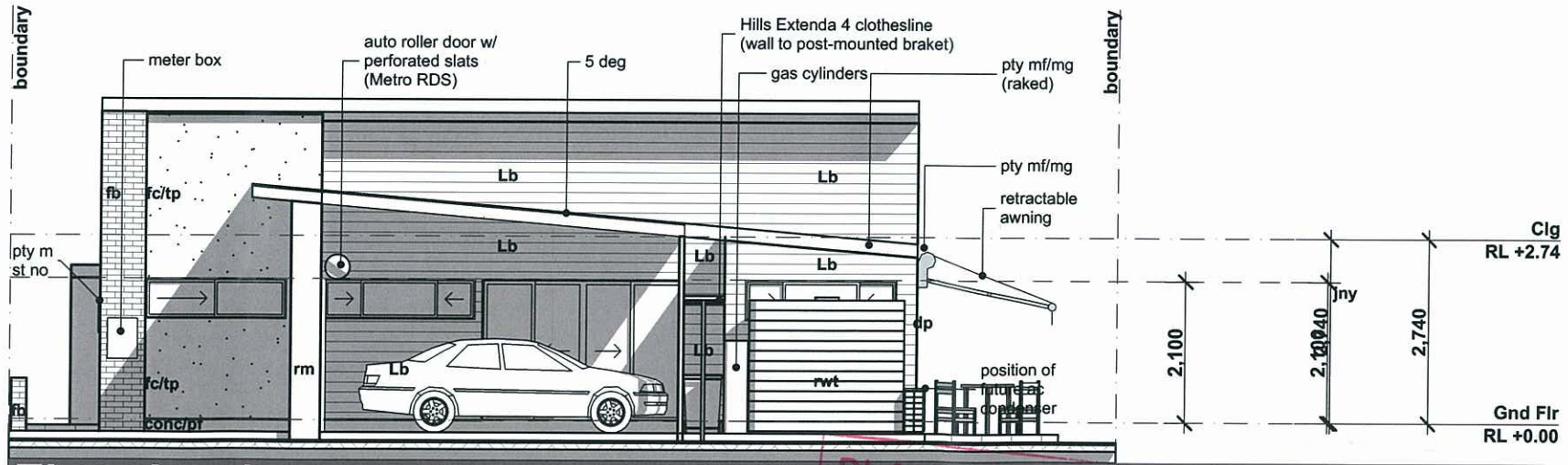
Elevation 1



Elevation 2



Elevation 3



Elevation 4

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AMMENDMENTS

A	28.12.11	Design Guideline Assessm't	ad	AD
B	03.01.12	Main Roof Raised 240mm	ad	AD

Client
G + D Lawrie Builders

Project Name
Lot 501, Hillclose, Clinton

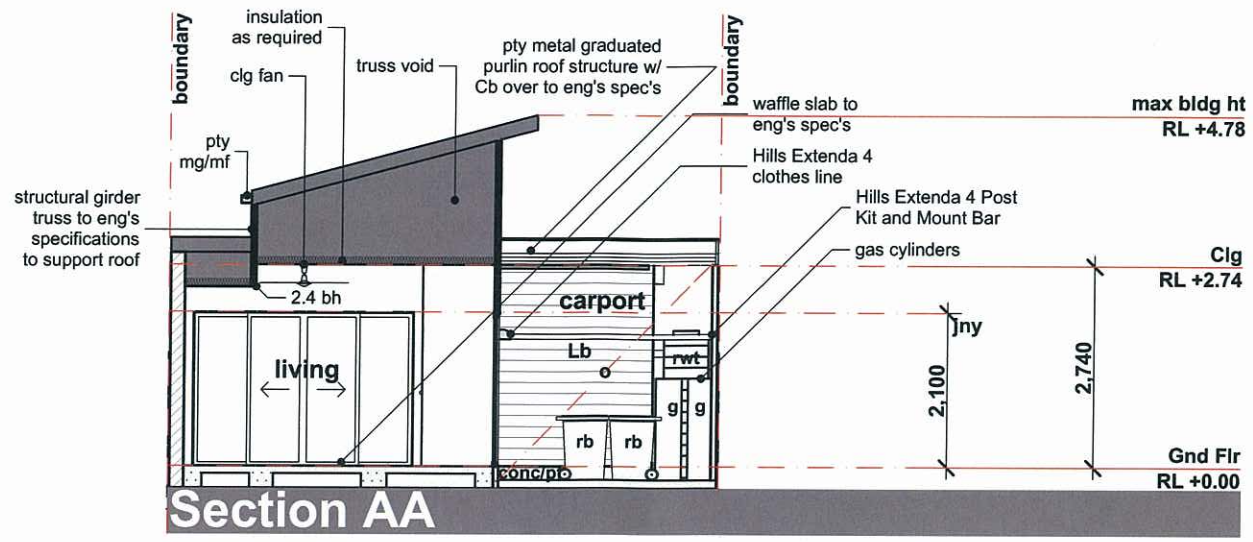
Status: Preliminary
Scale: N/A
Date: 03/01/12
Drawn by: ap

Drawing Title:
Elevations

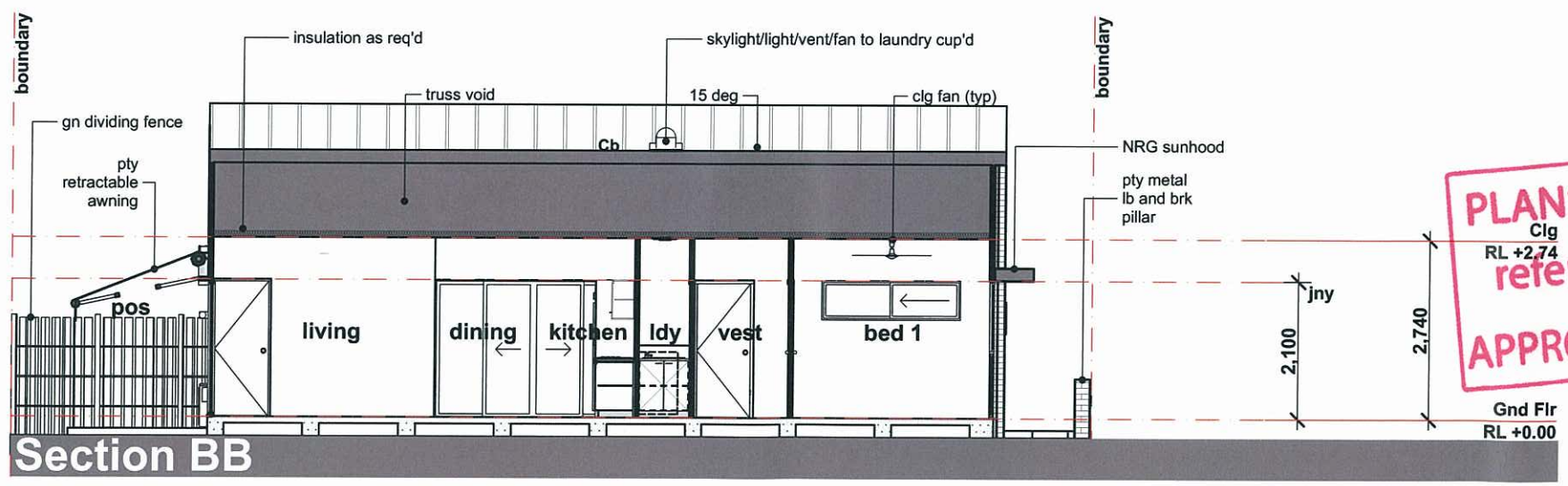
Project No:
GDM001 B

Drawing No.:
CD 03.01

degenhart SHEDD



Section AA



Section BB

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AMMENDMENTS

A	28.12.11	Design Guideline Assessm't	ad	AD
B	03.01.12	Main Roof Raised 240mm	ad	AD

Client: G + D Lawrie Builders

Project Name: **Lot 501, Hillclose, Clinton**

Status: Preliminary
Scale: N/A
Date: 03/01/12
Drawn by: ap

Drawing Title: **Sections**

Project No: **GDM001** B

Drawing No.: **CD 04.01**

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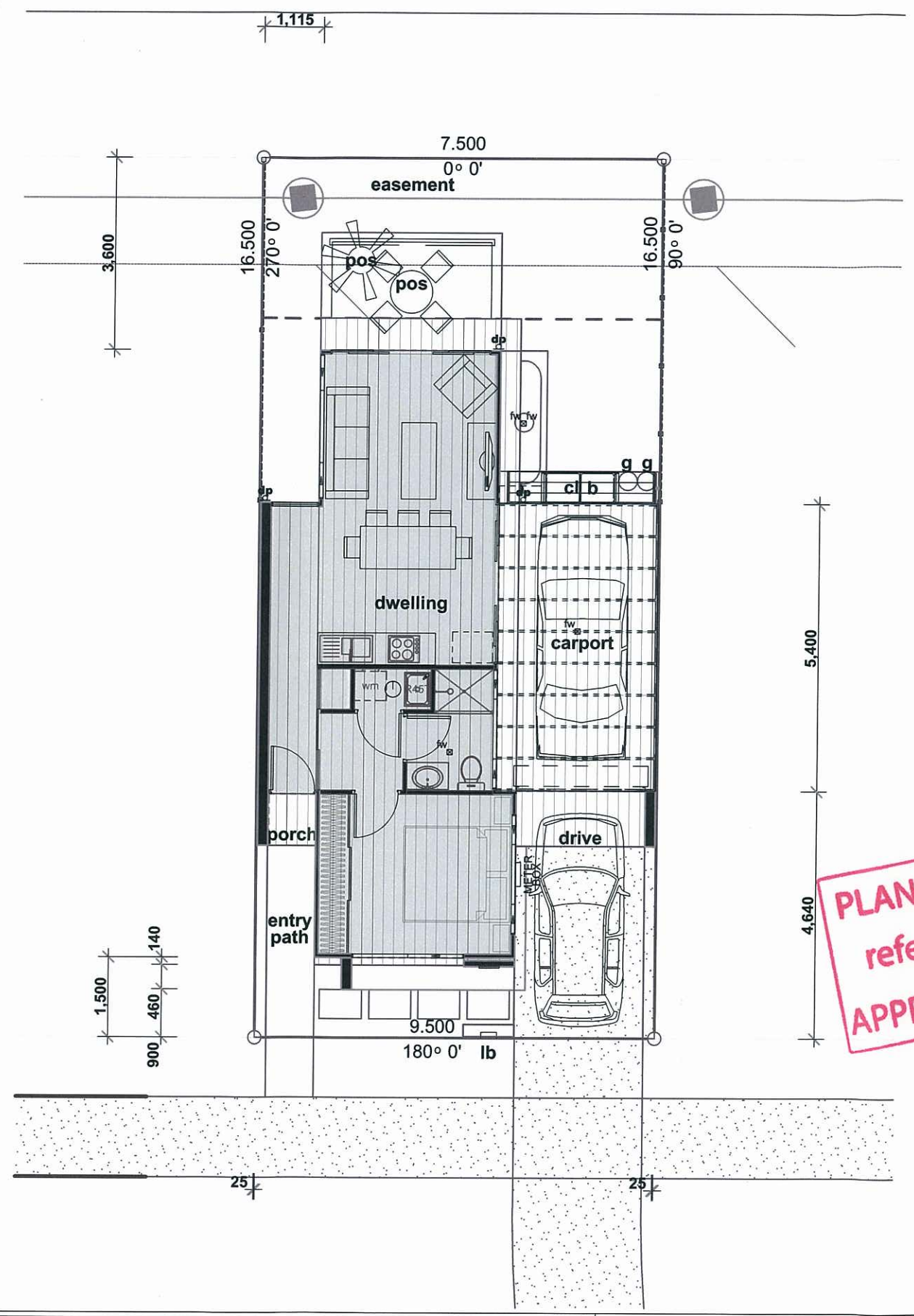
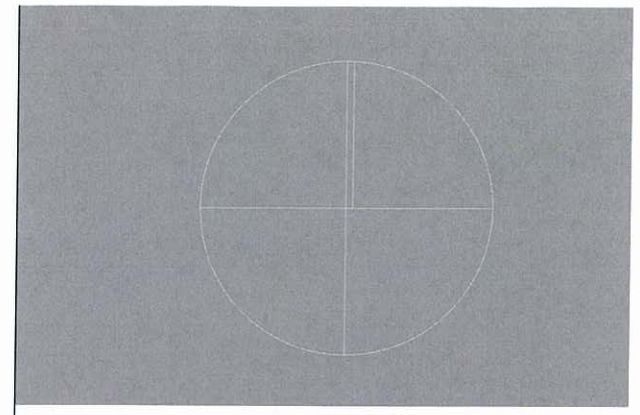
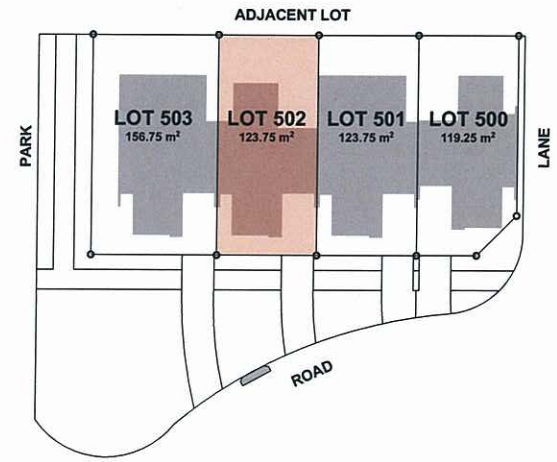
ABREVIATIONS LEGEND

ac	air conditioner
adcm	aust'n domestic constr'n manual
ag	agricultural drain
aj	articulated joint
al	selected finish aluminium
as	australian standards
aw	top hung awning window
b	basin
ba	building approval assessment
bb	brick band
bdy	boundary
bfd	bi-fold door
bh	bulkhead
blk	blockwork
bm	basin mixer
brk	brickwork
bs	bar sink
bs	basin spout
bt	bath tub
bv	brick veneer
cb	Colorbond finished metal
ch	ceiling height
chs	circular hollow section
cl	centreline
clg	ceiling
cp	control panel
cpd	cupboard
csd	cavity sliding door
ct	concrete tile roof
d	dryer
dc	drying court
dn	down
dp	down pipe
dw	dishwasher
dwr	drawer
ej	expansion joint
ens	ensuite
ent	entry
ep	Energex pillar
eq	equal
fb	face brick
fbl	face block
fc	fibre cement
fc/p	fibre cement painted
fcu	fan coil unit
fg	fixed glazing
flr	floor
fm	face masonry
frl	fire resistance level
fsl	floor surface level
fw	floor waste
g	gas cylinder
gar	garage
gl	glass louvre window
gnd	ground
gnf	good neighbour style tmbr fence
gp	gully pit yard drain
gpd	glass panel door
hc	hose cock
hmpr	square arch hamper
hp	hotplates
ht	height
hw	hard wood
hws	hot water service
hwu	hot water unit
kd	kiln dried
ks	kitchen sink
lb	letterbox
ld	leaf diverter
ldng	landing
ldy	laundry
lin	linen
mb	meter box
mf	selected pty metal fascia
mg	selected pty metal gutter
mpr	multi-purpose room
mw	microwave
n	nominal
n	north
nom	nominal
nrg	pty greenboard cladding
ns	natural surface
nsl	natural surface level
o	open
obs	obscure glazing
oh	overhead and/or overhang
omp	outer most projection
pb	painted brick
pc	parapet capping
pdr	powder room
pf	painted finish
pfc	parallel flange channel
ph	pitching height
pld	auto panel lift door
pos	private open space
ps	plumbing stack
ptry	pantry
pty	proprietary
r	robe
ra	return air vent
rb	rubbish bin
rd	roller door
ref	refrigerator
rh	rangehood
rl	relative level
rm	rendered masonry
rsr	riser
rwo + s	rain water outlet
rwt	rain water tank
s	south
sa	smoke detector alarm
sc	self closing
sd	soap dish
se	sewer
sf	stone finish
sgd	sliding glass door
shr	shower
shs	square hollow section
sl	self locking
sm	shower mixer
smd	smoke detector
sp	survey plan
sr	shower rose
st	solar tube skylight/vent
stc	sound transmission class
sv	stone veneer
sw	sliding window or storm water
t	laundry tub
tc	texture coating
tmbr	timber
tp	treated pine
tr	towel rail / ring
trh	toilet roll holder
tv	timber veneer
typ	typical
ubo	under bench oven
uno	unless noted otherwise
upvc	unplasticised poly vinyl chloride
wb	weatherboard
wc	water closet/toilet
wir	walk in robe
wm	washing machine
wo	wall oven







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AMMENDMENTS

A	29.12.11	Design Guideline Assessm't	ad	AD

urban land development authority

LOT 502

BUILDING AREAS

int'l	grd flr	46.2m²	
	total	46.2m²	
ext'l	carport	16.3m²	
	porch	0.9m²	
	paved pos	7.5m²	
	total	24.7m²	

TOTALS

int'l + ext'l	70.9m²

COMPLIANCE AREA CALCULATIONS

gross floor area (gfa)	46.2 m²
private open space (pos)	27.0 m²
cover area (roof area)	69.4 m²
site cover based on a lot size of 124m²	56%

Client: G + D Lawrie Builders

Project Name: **Lot 502 Hillclose, Clinton**

Status: CD
Scale: N/A
Date: 30.12.11
Drawn by: ad

Drawing Title: **Site Plan**

Project No: **GDM001-02 A**

Drawing No.: **CD 01.01**

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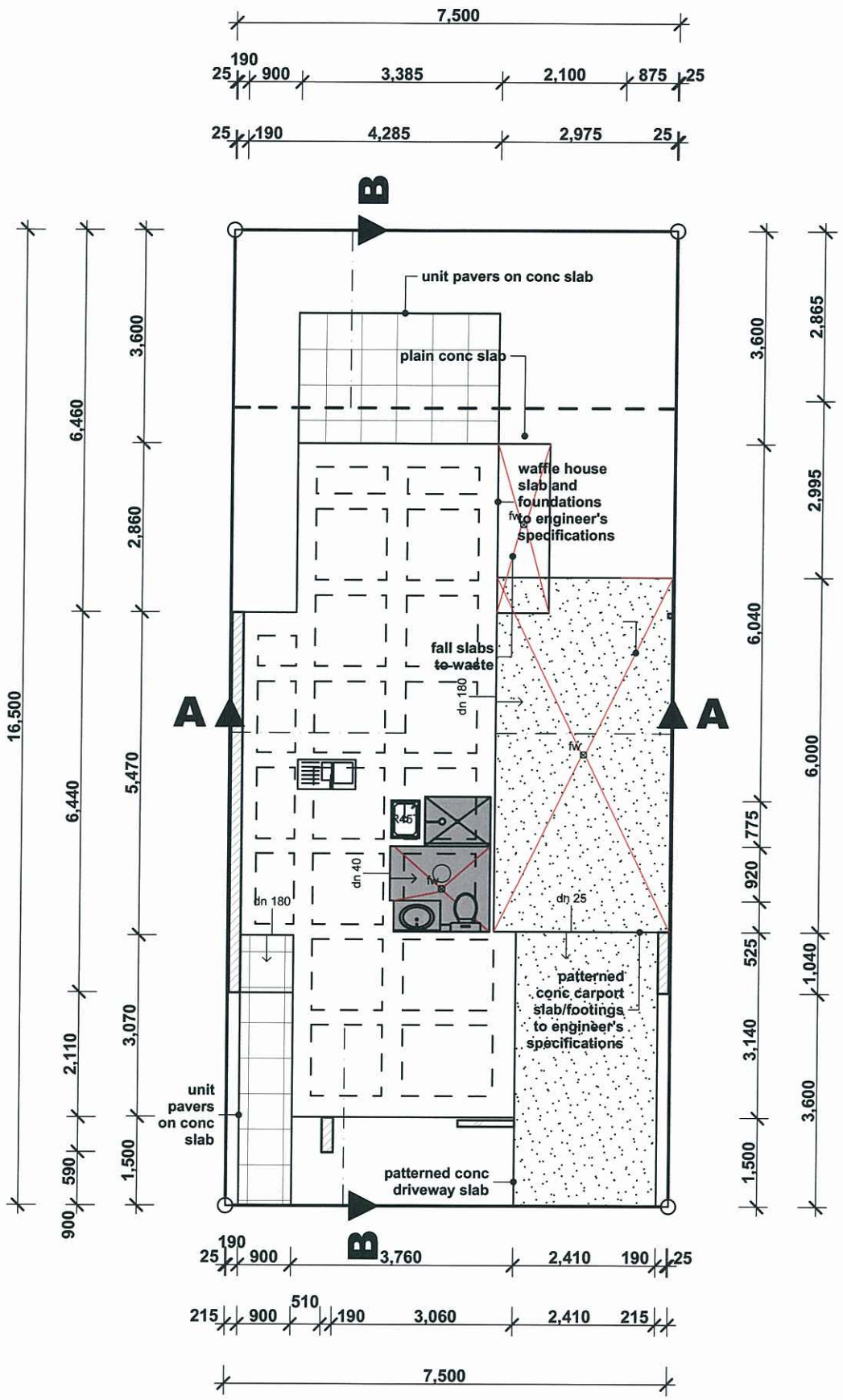

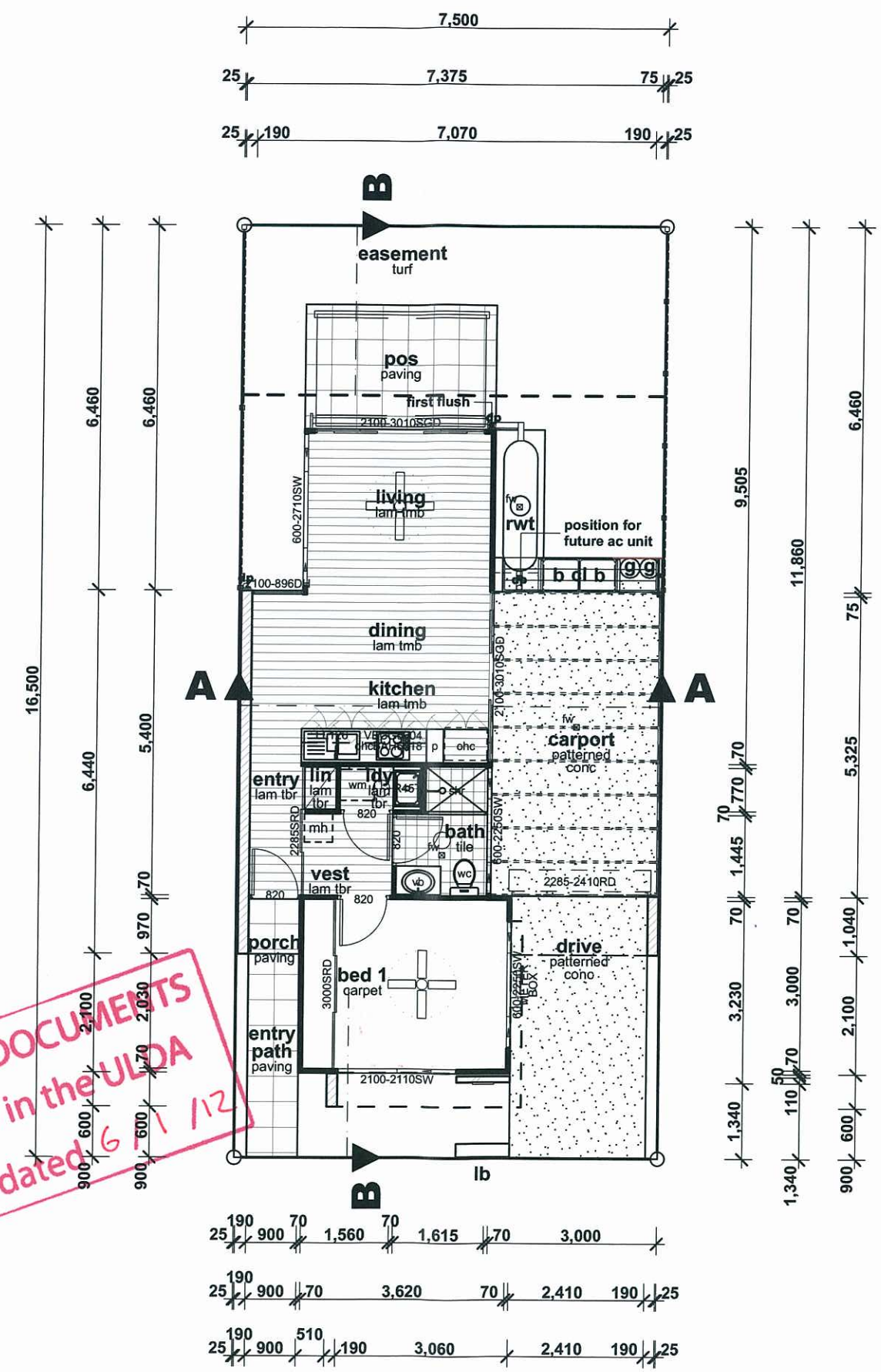

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AMMENDMENTS

A	29.12.11	Design Guideline Assessm't	ad	AD

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Client: G + D Lawrie Builders

Project Name: Lot 502 Hillclose, Clinton

Status: CD
Scale: N/A
Date: 30.12.11
Drawn by: ad

Drawing Title: Slab & Floor Plans

Project No: GDM001-02 A

Drawing No.: CD 02.01

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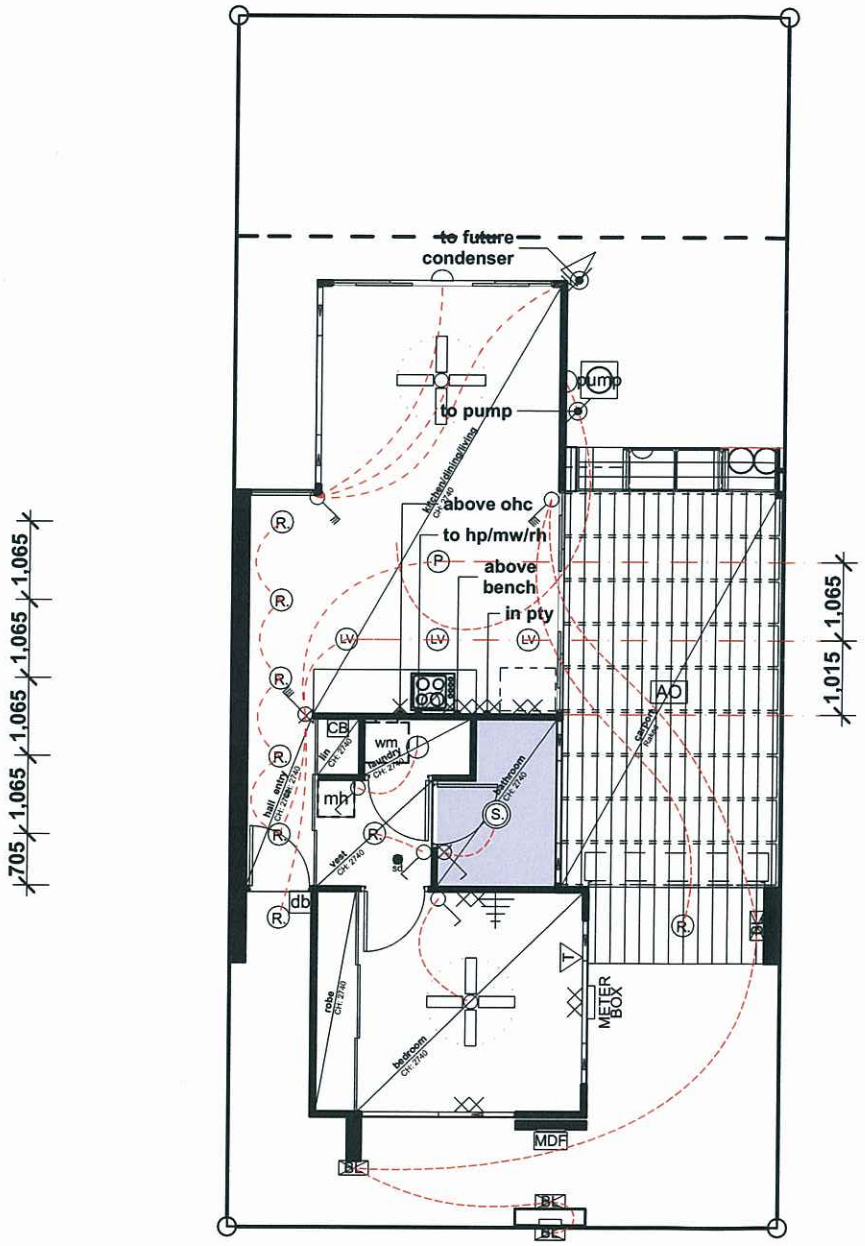
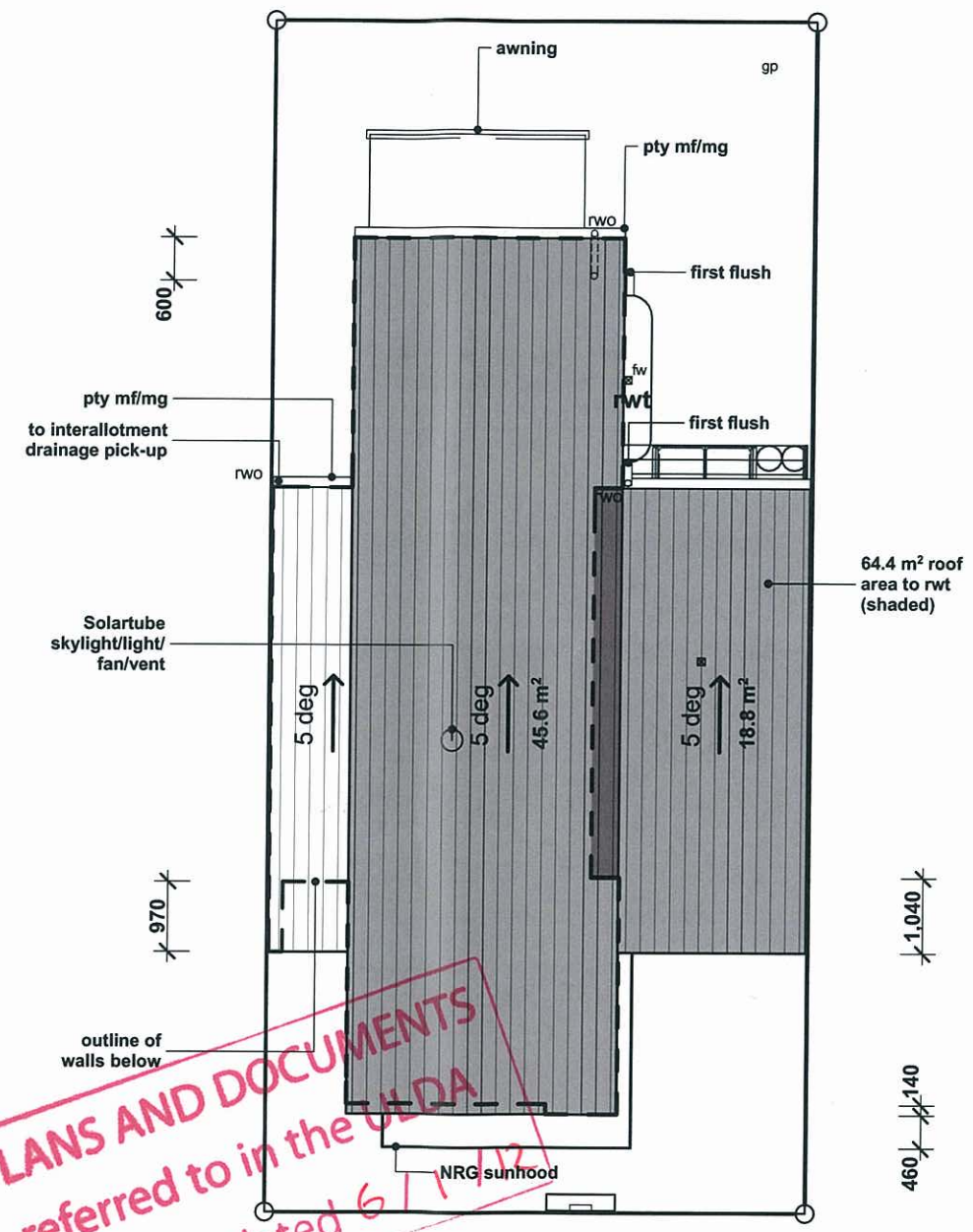
LIGHTING AND COMMUNICATIONS LEGEND

- Recessed Compact Fluorescent
- Low Voltage Compact Fluorescent
- Compact Fluorescent Pendant
- LED Brick Light
- External Grade Wall mounted Light
- Skylight/Light/Vent/Exhaust Fan
- Manhole
- 1 Pole Light Switch
- 2 Pole Light Switch
- 3 Pole Light Switch
- 4 Pole Light Switch
- 2 Way Light Switch
- Security Motion Sensor
- Door Bell
- Hard Wired Smoke Detector
- Ceiling Fan and Light

POWER AND APPLIANCE LEGEND

- Single GPO at 1200mm AFF
- Double GPO
- Weatherproof GPO
- TV Point
- Telephone
- Meter Box
- Main Distrib'n Frame / Circut Braker
- Direct Wiring
- Submersable Pump
- Position of Future AC Condenser





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AMMENDMENTS

A	29.12.11	Design Guideline Assessm't	ad	AD

urban land development authority

Client: G + D Lawrie Builders

Project Name: Lot 502 Hillclose, Clinton

Status: CD
Scale: N/A
Date: 30.12.11
Drawn by: ad

Drawing Title: Roof & Electrical Plans

Project No: GDM001-02 A

Drawing No.: CD 02.02

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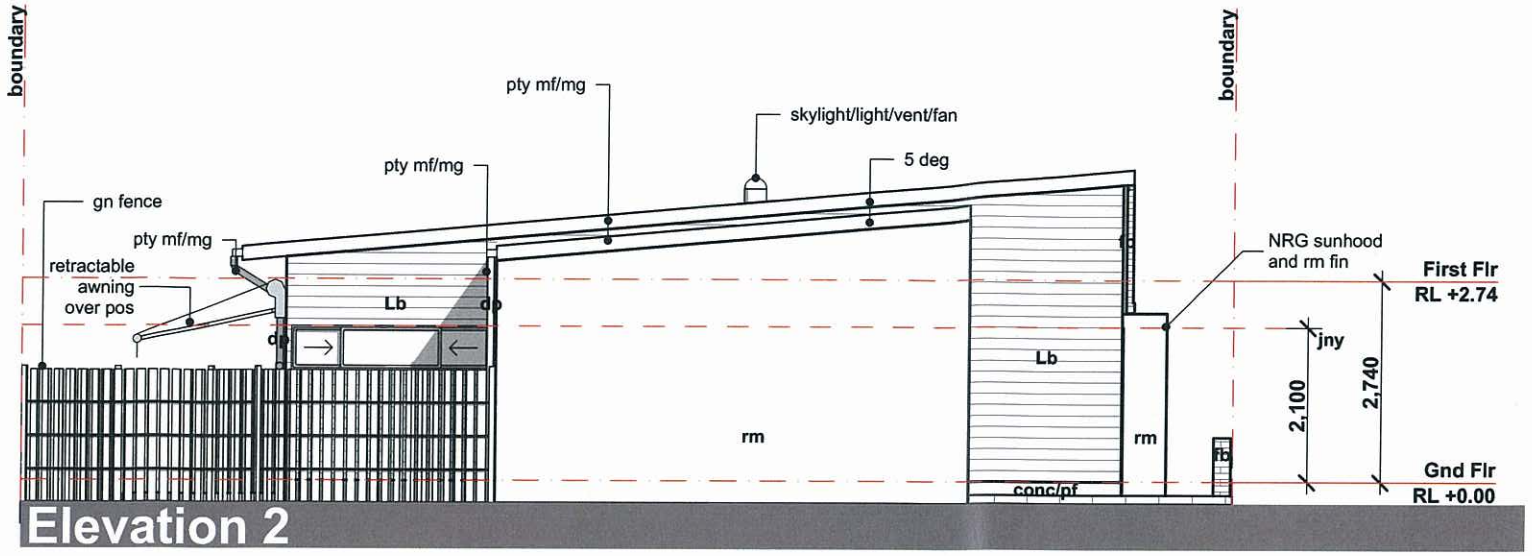
Elevation 1



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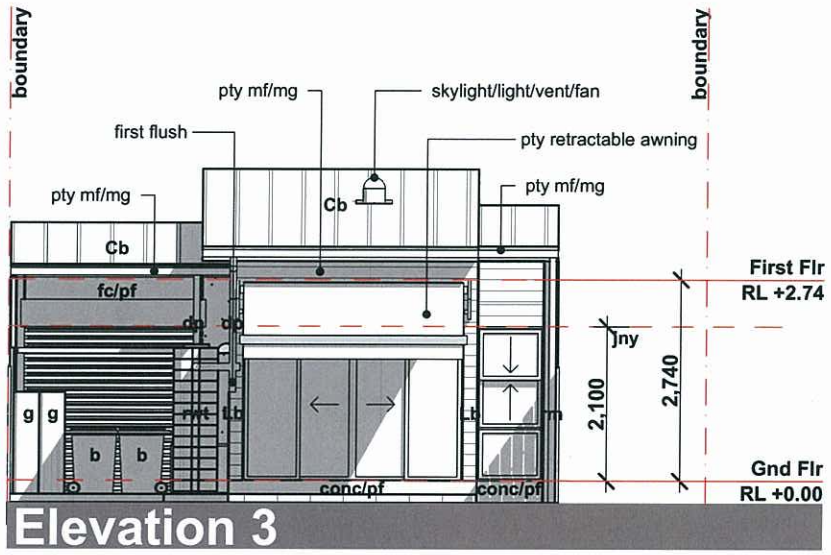

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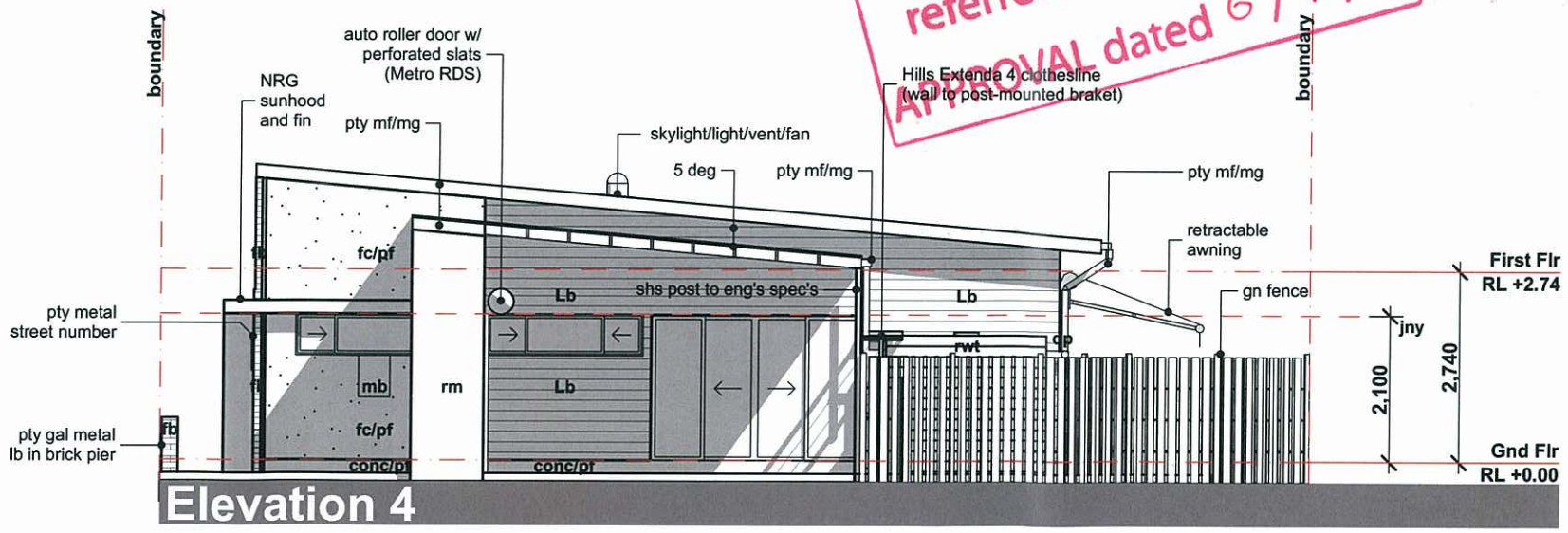

Elevation 4

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referred to in the ULDA
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AMMENDMENTS

A	29.12.11	Design Guideline Assessm't	ad	AD

urban land development authority

Client
G + D Lawrie Builders

Project Name
Lot 502 Hillclose, Clinton

Status: CD
Scale: N/A
Date: 30.12.11
Drawn by: ad

Drawing Title:
Elevations

Project No:
GDM001-02 A

Drawing No.:
CD 03.01

degenhart SHEDD