

Our ref: DEV2014/564

17 June 2014

Hanson Construction Materials Pty Ltd
C/- Mr John Taylor
Project Director
Groundwork Plus
PO Box 1779
MILTON BC QLD 4064

Dear Mr Taylor

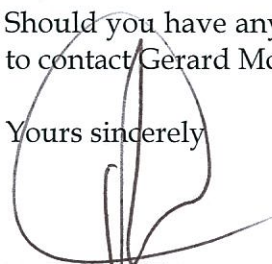
SECTION 89(1)(a) PDA DEVELOPMENT APPROVAL FOR A PDA DEVELOPMENT APPLICATION FOR A PDA DEVELOPMENT PERMIT FOR A MATERIAL CHANGE OF USE (GENERAL INDUSTRY - CONCRETE BATCHING PLANT) AT 236 ABBOTSFORD ROAD, BOWEN HILLS QLD 4006 DESCRIBED AS LOT 22 ON RP46694, LOTS 16 TO 21 ON RP48712, LOTS 33 TO 37 ON RP55484 AND LOT 314 ON SP268648

On 17 June 2014 the Minister for Economic Development Queensland (MEDQ) approved the Priority Development Area (PDA) development application pursuant to s.85(4)(b) of the *Economic Development Act 2012*. MEDQ has decided to grant all of the PDA development approval applied for subject to PDA development conditions set out in the attached PDA Development Approval Package.

The PDA development application and the decision notice can also be viewed in the MEDQ Development Approvals Register via the MEDQ website <http://www.dsdip.qld.gov.au/infrastructure-and-planning/priority-development-area-development-approvals.html>.

Should you have any queries in relation to the decision notice, please do not hesitate to contact Gerard McCafferty on 3452 7424.

Yours sincerely



Patrick Atkinson
Director, PDA Development Assessment

PDA Decision Notice – Approval

Site information		
Name of urban development area (PDA)	Bowen Hills	
Site address	236 Abbotsford Road, Bowen Hills QLD 4006	
Lot on plan description	Lot number	Lot description
	Lot 22	RP46694
	Lots 16 to 21	RP48712
	Lots 33 to 37	RP55484
	Lot 314	SP268648
PDA development application details		
MEDQ reference number	DEV2014/564	
Lodgement date	14 April 2014	
Type of application	☒ New development involving:- ☒ Material change of use ☐ Preliminary approval ☒ Development permit ☐ Reconfiguring a lot ☐ Preliminary approval ☐ Development permit ☐ Operational work ☐ Preliminary approval ☐ Development permit ☐ Changing a PDA development approval ☐ Extending the currency period of a PDA approval	
Description of proposal applied for	Development Permit for a Material Change of Use (General Industry – Concrete Batching Plant)	

PDA development approval details			
Decision of the MEDQ		The MEDQ has decided to grant all of the PDA development approval applied for, subject to PDA development conditions forming part of this decision notice.	
Decision date		17 June 2014	
Currency period		6 years from decision date	
Plans and specification			
The plans and specifications approved by the MEDQ and referred to in the PDA development conditions concerning the PDA development approval are detailed below.			
Approved plans, reports and specifications		Number (if applicable)	Date (if applicable)
1.	General Site layout prepared by Groundwork Plus	1713.004 REV 2	14 April 2014
2.	Detailed Site Layout prepared by Groundwork Plus	1713.007 REV 2	14 April 2014
3.	Proposed Batching Plant Elevations prepared by Groundwork Plus	1713.008 REV 1	14 April 2014
4.	Slump Stand building Floor Plans prepared by Groundwork Plus	1713.009A	14 April 2014
5.	Slump Stand Building Elevations – Western and Eastern prepared by Groundwork Plus	1713.009B	14 April 2014
6.	Slump Stand Building Elevations – Northern and Southern prepared by Groundwork Plus	1713.009C	14 April 2014
7.	Washout Building Floor Plan prepared by Groundwork Plus	1713.010A	14 April 2014
8.	Washout Bay Building Elevations prepared by Groundwork Plus	1713.010B	14 April 2014
9.	Landscape Concept Plan prepared by Andrew Gold	14.023A1.LCP.1 Rev C	11/4/2014
10.	Landscape Concept Plan prepared by Andrew Gold	14.023A1.LCP.2 Rev C	11/4/2014
11.	Streetscape Upgrade Plan prepared by Andrew Gold	14.023A1.LCP.3 Rev C	11/4/2014
12.	Streetscape Upgrade Plan prepared by Andrew Gold	14.023A1.LCP.4 Rev C	11/4/2014

13.	Landscape Sketch Sections prepared by Andrew Gold	14.023A1.LCP.5 Rev C	11/4/2014
14.	Landscape Schedules prepared by Andrew Gold	14.023A1.LCP.6 Rev C	11/4/2014
15.	Site Based Stormwater Management Plan, prepared by Water Technology	3289-01/R01 v02	11/04/2014
16.	Noise & Dust Impact Assessment, prepared by MWA Environmental	14-026 Rev 1	10/04/2014
17.	Revetment Wall Stability Assessment prepared by Cardno Bowler	10937sk-2.14	09/04/2014
18.	Revetment Wall Stability Assessment prepared by Cardno Bowler	10937sk-3.14	27/05/2014
19.	Water and Sewerage Services, prepared by Hilton Reid Consulting.	2062	11/04/2014
20.	Traffic Engineering Report, prepared by TTM	14BRT0098 Rev 2	11/04/2014

Supporting documents

To remove any doubt, the following documents are not approved documents for the purposes of this PDA development approval, but rather are supporting documents utilised in the development assessment process.

Supporting plans, reports and specifications		Number (if applicable)	Date (if applicable)
21.	Flood Investigation Report prepared by Water Technology	3289-01 Rev01v01	11/04/2014

PDA Development Conditions

1.	Carry out the approved development Carry out the development generally in accordance with the approved plan/s, drawing/s and document/s.	Prior to commencement of use and to be maintained
2.	Maintain the Approved Development Maintain the approved development (including landscaping, parking, driveways and other external spaces) generally in accordance with the approved drawing(s) and /or documents, and any relevant engineering or other approvals required by the conditions.	As indicated

6.	Erosion and Sediment Management a) Submit to the Principal Engineer, PDA Development Assessment, DSDIP an Erosion and Sediment Control Plan (ESCP), certified by a Registered Professional Engineer Queensland (RPEQ) or an accredited professional in erosion and sediment control (CPESC) generally in accordance with the BCC Erosion and Sediment Control Standard (version 9 or later) b) Implement the certified ESCP.	a) Prior to commencement of site works b) At all times during construction
7.	Filling and Excavation a) Submit to the Principal Engineer, PDA Development Assessment, DSDIP an Earthworks Management Plan (EMP) certified by a Registered Professional Engineer Queensland (RPEQ). The EMP shall • Be consistent with and support the Erosion and Sediment Control plans; • where appropriate, provide full detail of areas where dispersive soils will be disturbed, treatment of dispersive soils and their rehabilitation; and • provide full details of any areas where surplus soils are to be stockpiled b) Carry out the filling and excavation in accordance with certified EMP and AS3798 – 1996 “Guidelines on Earthworks for Commercial and Residential Developments”. c) Submit to the Principal Engineer, PDA Development Assessment, DSDIP certification by a Registered Professional Engineer Queensland (RPEQ) that all filling and excavation works have been carried out generally in accordance with the certified EMP and any unsuitable material encountered has been treated or replaced with suitable replacement material.	a) Prior to commencement of site works b) Prior to commencement of use c) Prior to commencement of use
8.	Water Main Abandonment a) Submit to the Principal Engineer, PDA Development Assessment, DSDIP a water network plan endorsed by Queensland Urban Utilities (QUU) as the relevant water/ sewer	a) Prior to commencement of site works

	service authority, detailing the proposed abandonment of the 100mm water main traversing the former road reserve (now Lot 314 on SP268648) through the site b) Construct the works in accordance with the QUU endorsed plan required by part a) of this condition.	b) Prior to commencement of use
9.	Water Connection Connect the development to the existing water reticulation network in Abbotsford Road at a connection point approved by Queensland Urban Utilities (QUU) as the relevant water/ sewer service authority, in accordance with QUU's current adopted standards.	Prior to commencement of use
10.	Sewerage Connection – QUU nominated Assessing Authority Connect the development to the existing sewer connection point generally in accordance with the approved Water and Sewerage Services Report Number 2026, dated 11-05-2014 prepared by Hilton Reid Consulting to Queensland Urban Utilities (QUU) as the relevant water/ sewer service authority, current adopted standards.	Prior to commencement of use
11.	Stormwater Drainage (Quantity and Quality) a) Submit to the Principal Engineer, PDA Development Assessment, DSDIP detailed engineering drawings and hydraulic calculations, certified by a Registered Professional Engineer Queensland (RPEQ), detailing stormwater quantity and quality works connected to a lawful point of discharge with 'no worsening' to upstream or downstream properties generally in accordance with the approved Site Based Stormwater Management Plan No. 3289-01/R01 v02 dated 11-4-2014 prepared by Water Technology. b) Construct the works generally in accordance with the certified plans required in part a) of this condition.	a) Prior to commencement of site works b) Prior to commencement of use
12.	Revetment wall a) Develop a monitoring strategy/ program that manages the erosion risk to ensure the long term stability of the revetment wall generally	a) Prior to commencement of use

	in accordance with the Revetment Wall Stability Assessment Letter 10937sk-3.14 dated 27/05/14 prepared by Cardno Bowler. b) Implement the monitoring strategy.	b) At all times
13.	Site Access a) Submit to the Principal Engineer, PDA Development Assessment, DSDIP detailed engineering design drawings certified by a Registered Professional Engineer of Queensland (RPEQ) and endorsed by Brisbane City Council (BCC) detailing kerb realignment and traffic signal infrastructure modifications generally in accordance with the approved Traffic Engineering Report (reference 14BRT0098), prepared by TTM dated 11/04/2014. b) Construct the works in accordance with the certified drawings required in part a) of this condition. c) Submit to the Principal Engineer, PDA Development Assessment, DSDIP 'as constructed' drawings certified by a RPEQ, in a format acceptable to BCC. Provide verification by an RPEQ that the works have been completed in accordance with parts a) and b) of this condition	a) Prior to commencement of site works b) Prior to commencement of use c) Prior to commencement of use
14.	Internal Roads and Parking Construct the internal roads and parking generally in accordance with the approved Traffic Engineering Report (reference 14BRT0098), prepared by TTM dated 11/04/2014 and Australian Standards AS2890 Parking Facilities.	Prior to commencement of use
15.	Easements over Infrastructure Public utility easements must be provided, in favour of and at no cost to the grantee, over public infrastructure, located within the site including but not necessarily limited to the stormwater drainage pipe traversing the site. The terms of the easements must be to the satisfaction of the Chief Executive Officer of the authority which ultimately is to takeover and maintain the assets.	Prior to survey plan endorsement

16.	Landscape Works - Internal a) Submit to the Principal Engineer, PDA Development Assessment, DSDIP detailed landscape plans certified by a suitably qualified Landscape Architect (AILA) or Landscape Contractor illustrating the extent of landscaping for the development and the overall site interface with the streetscape. The plans are to be generally in accordance with the approved Landscape Concept Plans, prepared by Andrew Gold Landscape Architecture dated 11-4-2014, drawing numbers 14.023A1.LCP.1 to 14.023A1.LCP.6 Rev C and where relevant: ▪ ensure landscaping maintains visibility along pathways and vehicle paths; ▪ include species which are low maintenance and water-wise ▪ ensure species are selected taking into account the location of overhead or underground services ▪ ensure turfed areas proposed are accessible externally by standard lawn mowing equipment and receive adequate sunlight ▪ identify opportunities for water infiltration to be maximised on-site through landscaped areas and permeable paving where possible b) Construct the works in accordance with the certified plans required by part a) of this condition. c) Provide to the Principal Engineer, PDA Development Assessment, DSDIP written certification from a licensed and experienced Landscape Architect or Landscape Contractor that the completed landscaping complies with part a) and b) of this condition.	a) Prior to commencement of landscape works b) Prior to commencement of use c) Prior to commencement of use
17.	Streetscape Works a) Submit to the principle engineer, PDA Development Assessment DSDIP detailed plans for all proposed streetscape works including planting, footpath treatment and any proposed streetscape furniture certified by a suitably qualified landscape architect (AILA) or landscape contractor. The proposed streetscape improvements are to be generally in accordance with Brisbane City Council's	a) Prior to commencement of landscape works

	<i>Centre Detailing Design Manual (CDDM)</i> and the approved Streetscape Upgrade Plans 14.023.A1.LCP.3 Rev C and 14.023.A1.LCP.4 Rev C dated 11/04/2014 prepared by Andrew Gold Landscape Architecture. b) Construct the works generally in accordance with the certified plans required in part a) of this condition. c) Submit to the Principal Engineer, PDA Development Assessment, DSDIP "as-constructed" plans verified by qualified landscape architect (AILA) that the works have been constructed generally in accordance with parts a) and b) of this condition. d) Maintain the streetscape for a period of 12 months from practical completion of works.	b) Prior to commencement of use c) Prior to commencement of use d) As indicated
18.	Electricity Submit to the Principal Engineer, PDA Development Assessment, DSDIP either: a) written evidence from an authorised electricity provider (eg. Energex) that an existing underground low-voltage electricity supply is available to the development; or b) written evidence that the applicant has entered into an agreement with an authorised electricity supplier (eg Energex) to provide underground electricity services.	Prior to commencement of site works
19.	Telecommunications Submit to the Principal Engineer, PDA Development Assessment, DSDIP documentation from an authorised telecommunication service provider confirming that satisfactory agreements have been made for the provision of underground telecommunication services to the development.	Prior to commencement of site works
20.	Broadband Provide to the Principal Engineer, PDA Development Assessment, DSDIP a written agreement from an authorised telecommunications service provider that infrastructure within the development as defined under the Telecommunications Act (Fibre Deployment Bill 2011) can be provided in accordance with the	Prior to commencement of site works

	Communications Alliance G645:2011 guideline, to accommodate services which are compliant with the Federal Government's National Broadband Network policy.	
21.	Service Conduits & Mains Supply and install all service conduits and meet the cost of any alteration to public utility mains, existing mains, services or installations required in connection with the approved development.	Prior to commencement of use
22.	Outdoor Lighting Where outdoor lighting is provided, it is to be designed and installed in accordance with AS4282 – Control of the Obtrusive Effects of Outdoor Lighting.	As indicated
23.	Noise and Dust Noise and dust control shall be carried out generally in accordance with the recommendations in the approved Noise & Dust Impact Assessment, dated 10-04-2014, prepared by MWA Environmental.	To be maintained at all times during plant operations.
24.	Refuse and Recycling Bins – On Site Collection Submit to the Principal Engineer, PDA Development Assessment, DSDIP approval from City Waste Services, BCC or evidence of any agreement with a private waste contractor to collect solid waste from the premises.	Prior to the commencement of use and then to be maintained
25.	Damage and Repairs Repair any damage to existing kerb and channel, footpath or roadway (including removal of concrete slurry from footways, roads, kerb and channel and stormwater gullies and drainage lines) that may occur during any works carried out in association with the approved development.	Prior to commencement of use
26.	Infrastructure Contributions Pay to the Minister for Economic Development Queensland the infrastructure charges calculated in accordance with the Infrastructure Funding Framework, dated July 2013.	In accordance with the Infrastructure Funding Framework

ADVISORY NOTE

Please note that in order to lawfully undertake development, it may be necessary to obtain approvals other than this PDA development approval, some specific advices are outlined below. Other advices may include other approvals under the Economic Development Act 2012 as well as the Sustainable Planning Act 2009 (e.g. for building work), the Plumbing and Drainage Act 2002 and the Commonwealth Environmental Protection and Biodiversity Act 1999. Carrying out development may also be subject to 'duty of care' legislation such as the Aboriginal Cultural Heritage Act 2003. For advice on other approvals that may be necessary in relation to your proposal, please seek professional advice.

Environmentally Relevant Activity (ERA)

This PDA Development Approval does not constitute an Environmentally Relevant Activity (ERA) permit. An ERA permit may be required and is the responsibility of the applicant to seek all necessary approval as required.

**** End of Package ****

