

General Details

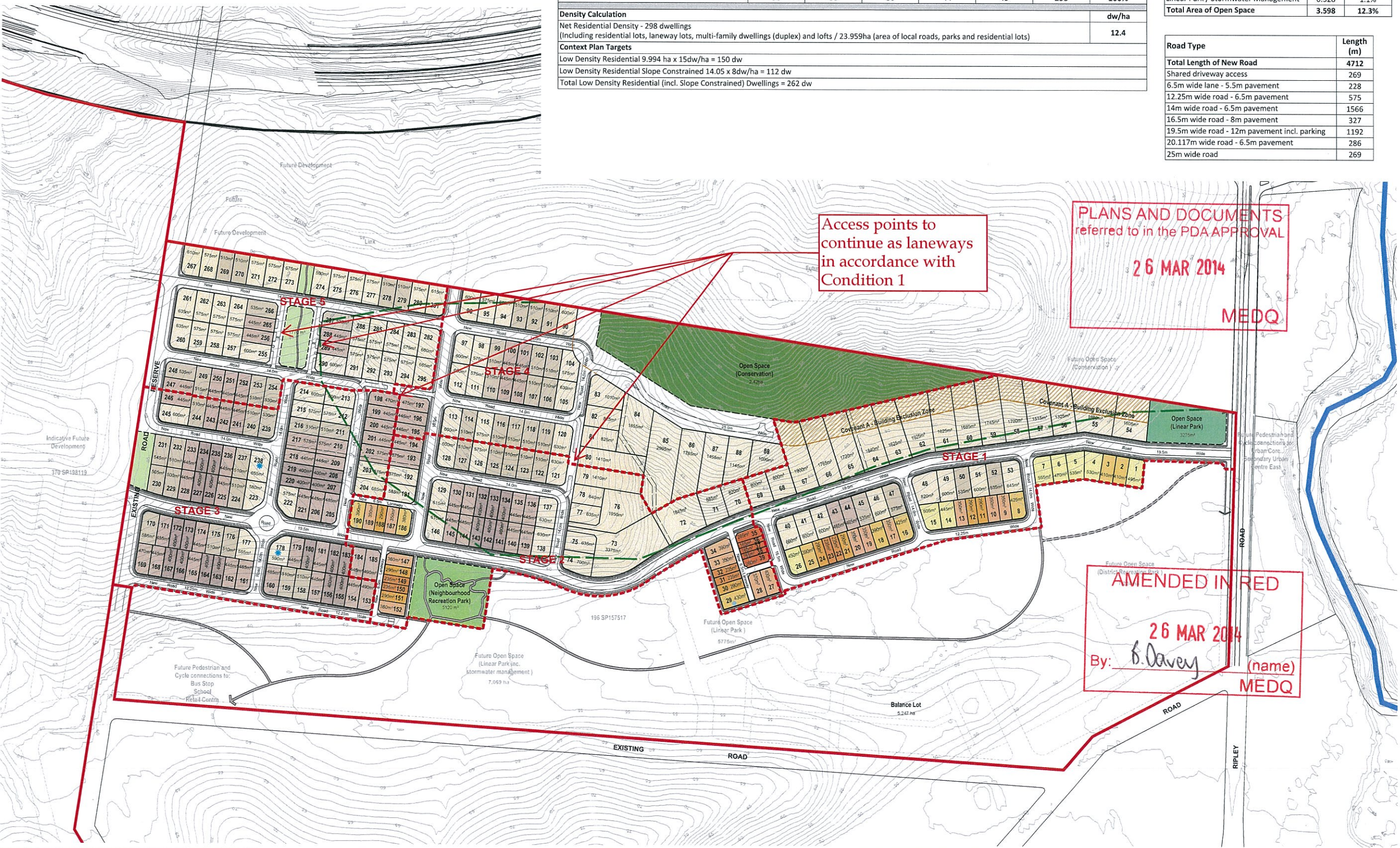
- Site Boundary
- Proposed Stage Boundary
- 25m Fire Buffer
- Building Exclusion Zone
- Proposed Easement
- Multiple Residential (Loft)
- Multiple Residential

Open Space

- Conservation
- Environmental Protection Zone Boundary
- Neighbourhood Recreation Park
- Local Recreation Park
- Linear Park / Stormwater Management

Scale 1:2000

20 0 20 40 60 80 100 120 140 160 180 200 220 240 260 280m



Access points to
continue as laneways
in accordance with
Condition 1

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

26 MAR 2014

MEDQ

AMENDED IN RED

26 MAR 2014

By: B. Davey

(name)

MEDQ

DEVELOPMENT STATISTICS

		Stage 1	Stage 2	Stage 3	Stage 4	Stage 5	Overall	
Allotment Type	Typical Lot Dimensions	No. of Lots	No. of Lots	No. of Lots	No. of Lots	No. of Lots	No. of Lots	Percentage
Standard Allotment 28m Product								
Terrace Allotment	6m x 28m	—	5	—	—	—	5	2%
Cottage Allotment	8.5m x 28m	2	4	—	—	—	6	2%
Villa Allotment	10.5m x 28m	4	4	—	—	—	8	3%
Premium Villa Allotment	12.5m x 28m	6	8	—	—	—	14	5%
Courtyard Allotment	14m x 28m	6	3	—	—	—	9	3%
Traditional	16m x 28m	8	—	—	—	—	8	3%
Sub Total		26	24	—	—	—	50	17%
Standard Allotment 32m Product								
Premium Villa Allotment	12.5m x 32m	—	6	19	—	—	25	8%
Courtyard Allotment	14m x 32m	2	12	33	7	8	62	21%
Traditional	16m x 32m	4	5	16	14	10	49	17%
Premium Traditional Allotment	18m x 32m	24	19	12	23	31	109	37%
Sub Total		30	42	80	44	49	245	83%
Total		56	66	80	44	49	295	100%

Density Calculation

Net Residential Density - 298 dwellings
(Including residential lots, laneway lots, multi-family dwellings (duplex) and lofts / 23.959ha (area of local roads, parks and residential lots))

Context Plan Targets

Low Density Residential 9.994 ha x 15dw/ha = 150 dw
Low Density Residential Slope Constrained 14.05 x 8dw/ha = 112 dw
Total Low Density Residential (incl. Slope Constrained) Dwellings = 262 dw

OVERALL LAND USE BUDGET

Land Use Budget	Area (ha)	Percentage
Area of Stages 1-5	29.146	100.0%
Saleable Area		
Area of Residential Lots	17.825	61.2%
Total Area of Allotments	17.825	61.2%
Roads		
Trunk Road	0.060	0.2%
Collector Road	2.382	8.2%
Local Road	4.665	16.0%
Existing Road	0.617	2.1%
Total Area of New Road	7.723	26.5%
Open Space		
Conservation	2.418	8.3%
Neighbourhood Recreation Park	0.512	1.8%
Local Recreation Park	0.340	1.2%
Linear Park / Stormwater Management	0.328	1.1%
Total Area of Open Space	3.598	12.3%

Road Type	Length (m)
Total Length of New Road	4712
Shared driveway access	269
6.5m wide lane - 5.5m pavement	228
12.25m wide road - 6.5m pavement	575
14m wide road - 6.5m pavement	1566
16.5m wide road - 8m pavement	327
19.5m wide road - 12m pavement incl. parking	1192
20.117m wide road - 6.5m pavement	286
25m wide road	269

REVISION
A: 05/11/13 Amend further issues

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Source Information:
Site boundaries: DCDB
Adjoining information: DCDB
Contours: Cardno
Environment constraints: Cardno

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AMEX

PROJECT
**ARP WEST
STAGES 1-5**

**PLAN OF
SUBDIVISION
CANCELLING
LOT 196 ON SP157517**

Level Datum
Origin

Date: 05 NOVEMBER 2013
Comp By: JLS
DWG Name: 111179-23A Stage 1-5 Pro
Local Authority: IPSWICH CITY COUNCIL

Locality: RIPLEY
Job Reference: 111179

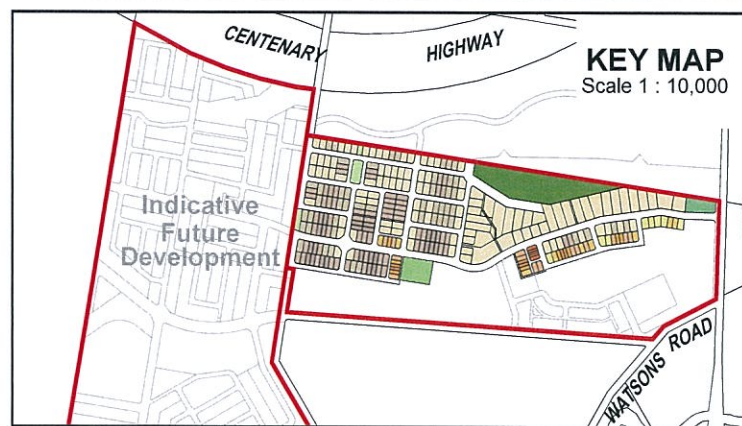
Scale: 1:2000
Sheet: A1

Plan Ref: 111179-32
Rev: A

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General Details

- Site Boundary
- Proposed Stage Boundary
- 25m Fire Buffer
- Building Exclusion Zone
- Proposed Easement

Open Space

- Conservation
- Environmental Protection Zone Boundary
- Neighbourhood Recreation Park
- Local Recreation Park
- Linear Park / Stormwater Management



DEVELOPMENT STATISTICS STAGE 1			
Allotment Type	Typical Lot Dimensions	No. of Lots	Percentage
Standard Allotment 28m Product			
Terrace Allotment	6m x 28m	—	0.0%
Cottage Allotment	8.5m x 28m	2	3.6%
Villa Allotment	10.5m x 28m	4	7.1%
Premium Villa Allotment	12.5m x 28m	6	10.7%
Courtyard Allotment	14m x 28m	6	10.7%
Traditional	16m x 28m	8	14.3%
Sub Total		26	42.9%
Standard Allotment 32m Product			
Premium Villa Allotment	12.5m x 32m	—	0.0%
Courtyard Allotment	14m x 32m	2	3.6%
Traditional	16m x 32m	4	7.1%
Premium Traditional Allotment	18m x 32m	24	42.9%
Sub Total		30	53.6%
Total		56	100.0%
Density Calculation		dw/ha	
Net Residential Density - 56 dwellings (including residential lots, laneway lots, multi-family dwellings (duplex) and lofts / 5.039ha (area of local roads, parks and residential lots)		11.1	

LAND USE BUDGET STAGE 1		
Land Use Budget	Area (ha)	Percentage
Site Area	6.419	100.0%
Saleable Area		
Area of Residential Lots	4.406	68.6%
Total Area of Allotments	4.406	68.6%
Roads		
Trunk Road	0.060	0.9%
Collector Road	0.993	15.5%
Local Road	0.632	9.8%
Total Area of New Road	1.685	26.2%
Open Space		
Linear Park / Stormwater Management	0.328	5.1%
Total Area of Open Space	0.328	5.1%

Road Type	Length (m)
Total Length of New Road	977
12.25m wide road - 6.5m pavement	285
14m wide road - 6.5m pavement	123
16.5m wide road - 8m pavement	61
19.5m wide road - 12m pavement incl. parking	508

REVISION
A: 05/11/13 Amend further issues

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Areas have been rounded down to the nearest 5m².

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Contours: Cardno
Environment constraints: Cardno

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PROJECT
**ARP WEST
STAGE 1**

**PLAN OF
SUBDIVISION
CANCELLING
LOT 196 ON SP157517**

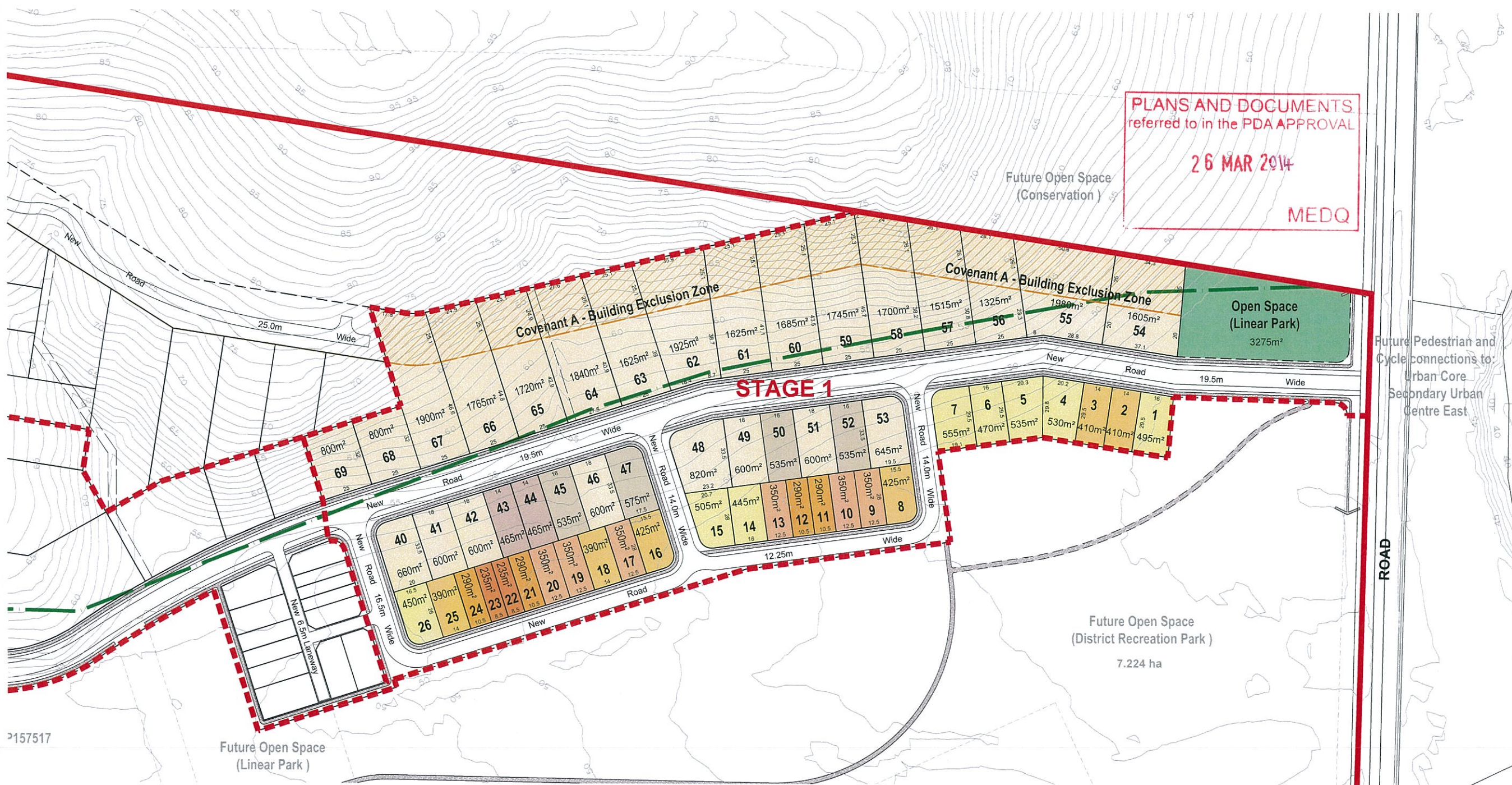
Level Datum
Origin
Date: 05 NOVEMBER 2013
Comp By: JLS
DWG Name: 111179-23A Stage 1-5 Pro
Local Authority: IPSWICH CITY COUNCIL

Locality: RIPLEY
Job Reference: 111179
Scale: 1:1000 Sheet: A1
Plan Ref: 111179-23 Rev: A

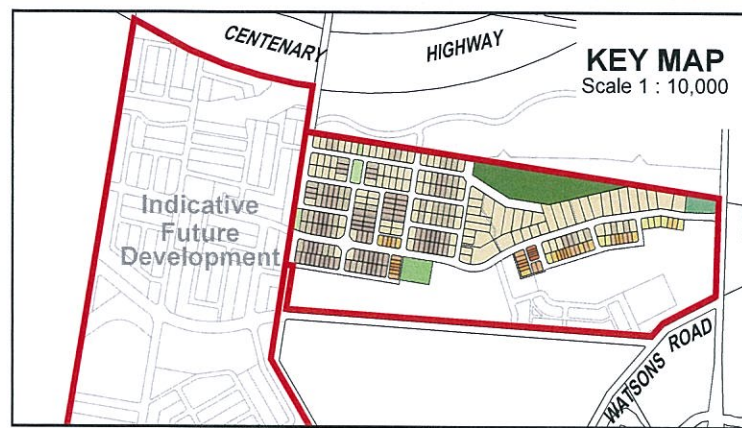
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Scale 1:1000
10 0 10 20 30 40 50 60 70 80 90 100 110 120 130 140m



General Details

- Site Boundary
- Proposed Stage Boundary
- 25m Fire Buffer
- Building Exclusion Zone
- Proposed Easement
- Multiple Residential (Loft)

Open Space

- Conservation
- Environmental Protection Zone Boundary
- Neighbourhood Recreation Park
- Local Recreation Park
- Linear Park incl. stormwater Management



OVERALL LAND USE BUDGET		
Land Use Budget	Area (ha)	Percentage
Area of Stages 2 & 4	12.937	100.0%
Saleable Area		
Area of Residential Lots	6.869	53.1%
Total Area of Allotments	6.869	53.1%
Roads		
Collector Road	0.889	6.9%
Local Road	2.253	17.4%
Total Area of New Road	3.142	24.3%
Open Space		
Conservation	2.418	18.7%
Neighbourhood Recreation Park	0.512	4.0%
Total Area of Open Space	2.930	22.6%

Road Type	Length (m)
Total Length of New Road	1887
Shared driveway access	116
6.5m wide lane - 5.5m pavement	228
12.25m wide road - 6.5m pavement	41
14m wide road - 6.5m pavement	518
16.5m wide road - 8m pavement	266
19.5m wide road - 12m pavement incl. parking	449
25m wide road	269

DEVELOPMENT STATISTICS							
Allotment Type	Typical Lot Dimensions	Stage 2		Stage 4		Overall	
		No. of Lots	Percentage	No. of Lots	Percentage	No. of Lots	Percentage
Standard Allotment 28m Product							
Terrace Allotment	6m x 28m	5	7.6%	—	0.0%	—	0.0%
Cottage Allotment	8.5m x 28m	4	6.1%	—	0.0%	5	4.5%
Villa Allotment	10.5m x 28m	4	6.1%	—	0.0%	4	3.6%
Premium Villa Allotment	12.5m x 28m	8	12.1%	—	0.0%	4	3.6%
Courtyard Allotment	14m x 28m	3	4.5%	—	0.0%	8	7.3%
Traditional	16m x 28m	—	0.0%	—	0.0%	3	2.7%
Sub Total		24	36.4%	—	0.0%	24	21.8%
Standard Allotment 32m Product							
Premium Villa Allotment	12.5m x 32m	6	9.1%	—	0.0%	6	5.5%
Courtyard Allotment	14m x 32m	12	18.2%	7	15.9%	19	17.3%
Traditional	16m x 32m	5	7.6%	14	31.8%	19	17.3%
Premium Traditional Allotment	18m x 32m	19	28.8%	23	52.3%	42	38.2%
Sub Total		42	63.6%	44	100.0%	86	78.2%
Total		66	100.0%	44	100.0%	110	100.0%
Density Calculation							dw/ha
Net Residential Density - 111 dwellings (Including residential lots, laneway lots, multi-family dwellings (duplex) and lofts / 9.634ha (area of local roads, parks and residential lots)							11.5

Access points to continue as laneways in accordance with Condition 1

PLANS AND DOCUMENTS referred to in the PDA APPROVAL

26 MAR 2014

MEDQ

Open Space (Conservation)
2.42ha

STAGE 1

STAGE 4

STAGE 2

Open Space (Neighbourhood Recreation Park)
5120 m²

AMENDED IN RED

26 MAR 2014

By: B. Davey (name)
MEDQ

Scale 1:1000

REVISION
A: 05/11/13 Amend further issues

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Environment constraints: Cardno

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PROJECT
**ARP WEST
STAGES 2 & 4**

PLAN OF
SUBDIVISION
CANCELLING
LOT 196 ON SP157517

Level Datum
Origin

Date 05 NOVEMBER 2013

Comp By: JLS

DWG Name: 111179-23A Stage 1-5 Pro

Local Authority IPSWICH CITY COUNCIL

Locality RIPLEY

Job Reference 111179

Scale 1:1000 Sheet A1

Plan Ref 111179-24 Rev A

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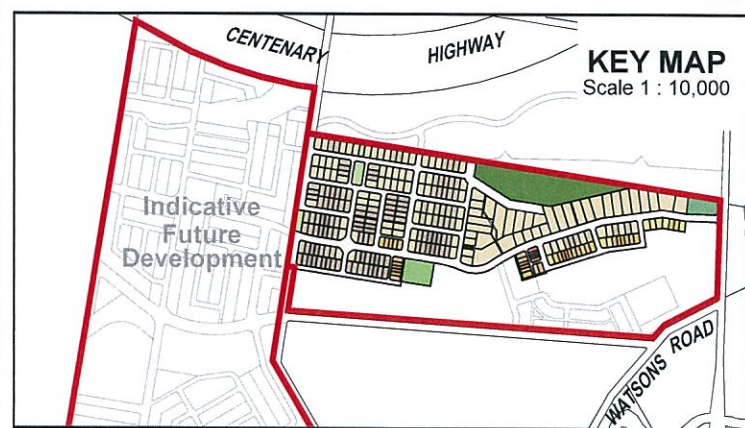
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- 25m Fire Buffer
- Building Exclusion Zone
- Proposed Easement
- Multiple Residential

Open Space

- Conservation
- Environmental Protection Zone Boundary
- Neighbourhood Recreation Park
- Local Recreation Park
- Linear Park / Stormwater Management



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referred to in the PDA APPROVAL

26 MAR 2014

MEDQ

Access points to
continue as laneways
in accordance with
Condition 1

DEVELOPMENT STATISTICS							
		Stage 3		Stage 5		Overall	
Allotment Type	Typical Lot Dimensions	No. of Lots	Percentage	No. of Lots	Percentage	No. of Lots	Percentage
Standard Allotment 28m Product							
Terrace Allotment	6m x 28m	—	0.0%	—	0.0%	—	0.0%
Cottage Allotment	8.5m x 28m	—	0.0%	—	0.0%	—	0.0%
Villa Allotment	10.5m x 28m	—	0.0%	—	0.0%	—	0.0%
Premium Villa Allotment	12.5m x 28m	—	0.0%	—	0.0%	—	0.0%
Courtyard Allotment	14m x 28m	—	0.0%	—	0.0%	—	0.0%
Traditional	16m x 28m	—	0.0%	—	0.0%	—	0.0%
Sub Total		—	0.0%	—	0.0%	—	0.0%
Standard Allotment 32m Product							
Premium Villa Allotment	12.5m x 32m	19	23.8%	—	0.0%	19	14.7%
Courtyard Allotment	14m x 32m	33	41.3%	8	16.3%	41	31.8%
Traditional	16m x 32m	16	20.0%	10	20.4%	26	20.2%
Premium Traditional Allotment	18m x 32m	12	15.0%	31	63.3%	43	33.3%
Sub Total		80	100.0%	49	100.0%	129	100.0%
Total		80	100.0%	49	100.0%	129	100.0%
Density Calculation							dw/ha
Net Residential Density - 131 dwellings (Including residential lots, laneway lots, multi-family dwellings (duplex) and lofts / 9.246ha (area of local roads, parks and residential lots)							14.1

Road Type	Length (m)
Total Length of New Road	1848
Shared Driveway Access	153
12.25m wide road - 6.5m pavement	249
14m wide road - 6.5m pavement	925
19.5m wide road - 12m pavement incl. parking	235
20.117m wide road - 6.5m pavement	286

OVERALL LAND USE BUDGET		
Land Use Budget	Area (ha)	Percentage
Area of Stages 3 & 5	9.790	100.0%
Saleable Area		
Area of Residential Lots	6.550	66.9%
Total Area of Allotments	6.550	66.9%
Roads		
Collector Road	0.500	5.1%
Local Road	1.779	18.2%
Existing Road	0.617	6.3%
Total Area of New Road	2.896	29.6%
Open Space		
Local Recreation Park	0.340	3.5%
Total Area of Open Space	0.340	3.5%

REVISION
A: 05/11/13 Amend further issues

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Environment constraints: Cardno

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PROJECT
**ARP WEST
STAGES 3 & 5**

PLAN OF
SUBDIVISION
CANCELLING
LOT 196 ON SP157517

Level Datum
Origin

Date: 05 NOVEMBER 2013
Comp By: JLS
DWG Name: 111179-23A Stage 1-5 Pro
Local Authority: IPSWICH CITY COUNCIL

Locality: RIPLEY

Job Reference: 111179

Scale: 1:1000

Plan Ref: 111179-25

Rev: A

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Plan of Development Table	Terrace Allotments 6m		Cottage Allotments 8.5m		Villa Allotments 10.5m		Premium Villa Allotments 12.5m		Courtyard Allotments 14m		Traditional Allotments 16m		Premium Traditional Allotments 18m+	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Setback														
Front/Primary Frontage	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4
Garage	n/a	n/a	4.5	n/a	4.5	n/a	4.5	n/a	4.5	n/a	4.5	n/a	4.5	n/a
Side Setback														
Built to Boundary	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Non Built to Boundary	0.9	0.9	0.9	0.9	0.9	0.9	1.0	1.0	1.0	1.0	1.0	1.5	1.0	1.5
Corner Lots - Secondary Frontage	1.0	1.0	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Rear Setback														
Rear (non laneway)	n/a	n/a	0.9	0.9	0.9	0.9	0.9	0.9	0.9	0.9	0.9	1.0	0.9	1.0
Rear (from laneway boundary)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Garage (from laneway boundary)	0.5	n/a	0.5	n/a	0.5	n/a	0.5	n/a	0.5	n/a	0.5	n/a	0.5	n/a
Other Requirements														
Built to Boundary Length	80% of lot length		75% of lot length		70% of lot length		65% of lot length		65% of lot length		60% of lot length		60% of lot length	
On site parking requirements (minimum)	1 or 2 bedroom dwelling: 1 covered space 3+ bedroom dwelling: 2 spaces incl. 1 covered Single or tandem garage acceptable with a maximum width of 40% of the lot frontage		1 or 2 bedroom dwelling: 1 covered space 3+ bedroom dwelling: 2 spaces incl. 1 covered Single or tandem garage acceptable with a maximum width of 40% of the lot frontage		1 or 2 bedroom dwelling: 1 covered space 3+ bedroom dwelling: 2 spaces incl. 1 covered Single or tandem garage acceptable		1 or 2 bedroom dwelling: 1 covered space 3+ bedroom dwelling: 2 spaces incl. 1 covered Single, tandem or double garage acceptable		1 or 2 bedroom dwelling: 1 covered space 3+ bedroom dwelling: 2 spaces incl. 1 covered Single, tandem or double garage acceptable.		1 or 2 bedroom dwelling: 1 covered space 3+ bedroom dwelling: 2 spaces incl. 1 covered Single, tandem or double garage acceptable.		1 or 2 bedroom dwelling: 1 covered space 3+ bedroom dwelling: 2 spaces incl. 1 covered Single, tandem or double garage acceptable	
Garage location	Garages are to be located along the built to boundary wall		Garages are to be located along the built to boundary wall		Garages are to be located along the built to boundary wall		Garages are to be located along the built to boundary wall (Optional where side boundary adjoins a lane)		Garages are to be located along the built to boundary wall (Optional where side boundary adjoins a lane)		Garages are to be located along the built to boundary wall (Optional where side boundary adjoins a lane)		Garages are to be located along the built to boundary wall (Optional where side boundary adjoins a lane)	
Site Cover (maximum) *unless otherwise approved by the relevant authority	85%		75%		70%		70%		70%		70%		70%	

Notes:

General

- All development is to be undertaken in accordance with the Development Approval.
- The maximum height of buildings shall be in the order of 9m.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified by a Building Location Envelope.
- The rear or side setback may be 0.0m to verandah/balcony where adjoining park.
- The location of the built to boundary walls are indicated on the Plan of Development.
- Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Built to boundary walls on the low side of the lot are founded deep enough to allow an adjoining lot to be cut to an appropriate depth.
- Boundary setbacks are measured to the wall of the building or edge of balcony.
- Boundary setbacks (except on a wall that is built to the boundary) should not encroach within 450mm of the side or rear boundaries. Gutters may not extend beyond the boundaries of the lot.
- First floor setbacks on single and multiple residential allotments must not encroach within the minimum ground floor setbacks.
- Garages must not project forward of the front building setback.

Parking and Driveways

- Parking for Multiple Residential developments
 - 1 space per dwelling unit on-site
 - 0.5 visitor space per dwelling on-site
 - do not dominate the streetscape
- Other than where accessed from a laneway, the maximum width of a driveway at the lot boundary shall be 4.8m where serving a double garage and 3m where serving a single garage.
- There is to be a maximum of one driveway per dwelling, unless it is a corner lot.

Site Cover and Amenity

- Dwellings must have a minimum area of private open space at ground or upper levels accessible from a living room and consisting of at least
 - for a one bedroom dwelling, 5m² with a minimum width of 1.2m
 - for a two bedroom dwelling, 9m² with a minimum width of 2.4m
 - for a three or more bedroom dwelling, 12m² with a minimum width of 2.4m.
- ~~Communal open space for Multiple Residential developments is to be a minimum of 25% of the area of the site and must provide:~~
 - a minimum dimension of 4m
 - a maximum gradient not exceeding 4 in 10
 - must be subject to informal surveillance from the dwellings
 - separated from any other private areas by fence or landscaping
- Multiple residential sites are not permitted to be developed with only one single dwelling. Maximum number of dwellings per Multiple Residential Site:
 - 450m² to 599m² maximum 3 dwellings
 - 600m² to 749m² maximum 4 dwellings
 - 750m² maximum 5 dwellings
- Where Multiple Residential developments encompass more than one frontage they are to be designed to address each frontage.

Street Address

- Letterbox must be clearly visible and identifiable from street or within lane.
- Each street or park frontage must be addressed with inclusion of two or more of the following design elements in the related facade:
 - verandahs / porches
 - awning and shade structures
 - variation to roof and building lines
 - inclusion of window openings
 - use of varying building materials

Building Articulation

- All buildings with a width of more than 10m that are visible from a street or a park are articulated to reduce the mass of the building by one or more of the following:
 - windows recessed into the facade
 - balconies, porches or verandahs
 - window hoods
 - shadow lines are created on the building through minor changes in the facade (100mm minimum)
- Carports and garages are compatible with the main building in terms of height, roof form, detailing, materials and colours.

Lofts and Other Small Dwellings

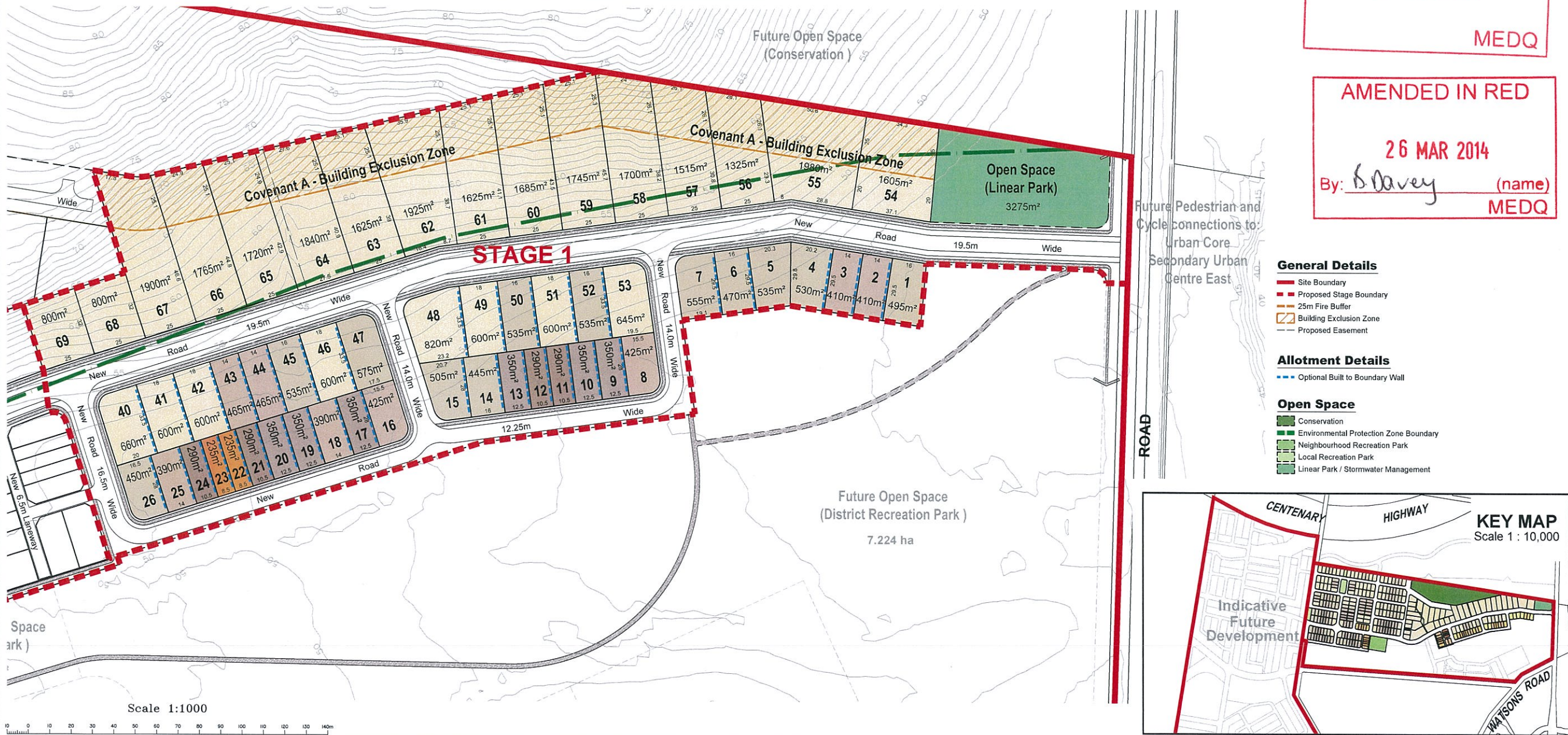
- Each loft apartment must have a clearly identifiable and addressed front door with undercover point of entry.
- Incorporate in all walls adjoining the main dwelling and private open space areas of the main dwelling:
 - windows with a minimum sill height of 1.5m or privacy screening
 - low maintenance building materials and non-reflective finishes
 - no external drainage or other pipes
- Incorporate an area of private open space such as a balcony or verandah with a minimum depth of 1.2m and a minimum area of 5m², preferably overlooking the lane, and including a screened drying area.
- Incorporate at least 2 openings to all habitable rooms, including internal windows and louvred windows to facilitate cross ventilation.
- Screened drying and rubbish bin areas behind the main face of the dwellings.

Fencing

- Fencing on all street frontages, to be 50% transparent or not to exceed 1.2m in height.

Definitions:

Loft Homes - A dwelling built above a garage with its own entry door at ground level.
Laneway Allotment - Allotments serviced by a laneway.



REVISION

A: 05/11/13 Amend further issues

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: DCDB
Adjoining information: DCDB
Contours: Cardno
Environment constraints: Cardno

CLIENT

AMEX

PROJECT

**ARP WEST
STAGE 1**

**PLAN OF
DEVELOPMENT
CANCELLING
LOT 196 ON SP157517**

Level Datum

Origin

Date: 05 NOVEMBER 2013

Comp By: JLS

DWG Name: 111179-23A Stage 1-5 Pro

Local Authority: IPSWICH CITY COUNCIL

Locality

RIPLEY

Job Reference: 111179

Scale:

Sheet

1:1000

A1

Plan Ref:

Rev

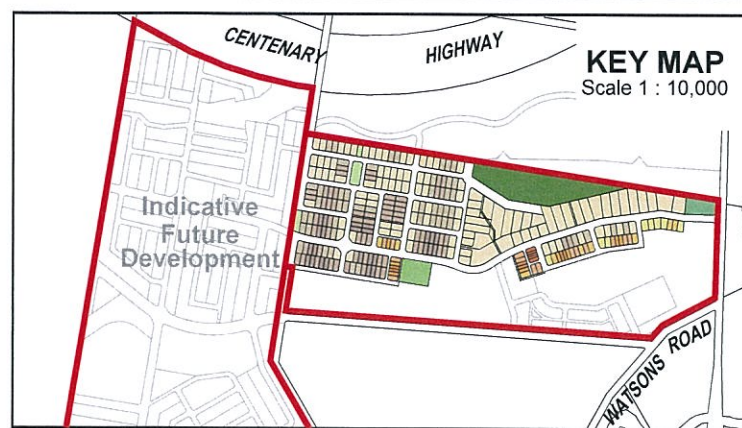
111179-26

A

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General Details

- Site Boundary
- Proposed Stage Boundary
- 25m Fire Buffer
- Building Exclusion Zone
- Proposed Easement
- Multiple Residential (Loft)

Allotment Details

- Optional Built to Boundary Wall
- Maximum Building Location Envelope
- No Vehicle Access
- Primary Frontage

Open Space

- Conservation
- Environmental Protection Zone Boundary
- Neighbourhood Recreation Park
- Local Recreation Park
- Linear Park / Stormwater Management

AMENDED IN RED

26 MAR 2014

By: B. Darcy (name)
MEDQ

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

26 MAR 2014

MEDQ

Plan of Development Table	Terrace Allotments 6m		Cottage Allotments 8.5m		Villa Allotments 10.5m		Premium Villa Allotments 12.5m		Courtyard Allotments 14m		Traditional Allotments 16m		Premium Traditional Allotments 18m+	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Setback														
Front/Primary Frontage	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4
Garage	n/a	n/a	4.5	n/a	4.5	n/a	4.5	n/a	4.5	n/a	4.5	n/a	4.5	n/a
Side Setback														
Built to Boundary	0.0	0.0	0.0	0.0	0.0	0.9	0.0	1.0	0.0	1.0	0.0	1.0	0.0	1.0
Non Built to Boundary	0.9	0.9	0.9	0.9	0.9	0.9	1.0	1.0	1.0	1.0	1.0	1.5	1.0	1.5
Corner Lots - Secondary Frontage	1.0	1.0	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Rear Setback														
Rear (non laneway)	n/a	n/a	0.9	0.9	0.9	0.9	0.9	0.9	0.9	0.9	0.9	1.0	0.9	1.0
Rear (from laneway boundary)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Garage (from laneway boundary)	0.5	n/a	0.5	n/a	0.5	n/a	0.5	n/a	0.5	n/a	0.5	n/a	0.5	n/a
Other Requirements														
Built to Boundary Length	80% of lot length		75% of lot length		70% of lot length		65% of lot length		65% of lot length		60% of lot length		60% of lot length	
On site parking requirements (minimum)	1 or 2 bedroom dwelling: 1 covered space		1 or 2 bedroom dwelling: 1 covered space		1 or 2 bedroom dwelling: 1 covered space		1 or 2 bedroom dwelling: 1 covered space		1 or 2 bedroom dwelling: 1 covered space		1 or 2 bedroom dwelling: 1 covered space		1 or 2 bedroom dwelling: 1 covered space	
	3+ bedroom dwelling: 2 spaces incl. 1 covered		3+ bedroom dwelling: 2 spaces incl. 1 covered		3+ bedroom dwelling: 2 spaces incl. 1 covered		3+ bedroom dwelling: 2 spaces incl. 1 covered		3+ bedroom dwelling: 2 spaces incl. 1 covered		3+ bedroom dwelling: 2 spaces incl. 1 covered		3+ bedroom dwelling: 2 spaces incl. 1 covered	
	Single or tandem garage acceptable with a maximum width of 40% of the lot frontage		Single or tandem garage acceptable with a maximum width of 40% of the lot frontage		Single or tandem garage acceptable		Single, tandem or double garage acceptable		Single, tandem or double garage acceptable.		Single, tandem or double garage acceptable.		Single, tandem or double garage acceptable	
	Double garages are only permitted on laneway allotments		Double garages are only permitted on laneway allotments		Double garages are only permitted on laneway allotments OR two storey allotments where the garage is setback at least 1m behind the main face, excluding balconies, and the garage doors are articulate, comprise a mix of materials and colours, or are staggered									
Garage location	Garages are to be located along the built to boundary wall		Garages are to be located along the built to boundary wall		Garages are to be located along the built to boundary wall		Garages are to be located along the built to boundary wall (Optional where side boundary adjoins a lane)		Garages are to be located along the built to boundary wall (Optional where side boundary adjoins a lane)		Garages are to be located along the built to boundary wall (Optional where side boundary adjoins a lane)		Garages are to be located along the built to boundary wall (Optional where side boundary adjoins a lane)	
Site Cover (maximum) *unless otherwise approved by the relevant authority	85%		75%		70%		70%		70%		70%		70%	

Notes:

General

- All development is to be undertaken in accordance with the Development Approval.
- The maximum height of buildings shall be in the order of 9m.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified by a Building Location Envelope.
- The rear or side setback may be 0.0m to verandah/balcony where adjoining park.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Built to boundary walls on the low side of the lot are founded deep enough to allow an adjoining lot to be cut to an appropriate depth.
- Boundary setbacks are measured to the wall of the building or edge of balcony.
- Eaves (except on a wall that is built to the boundary) should not encroach within 450mm of the side or rear boundaries. Gutters may not extend beyond the boundaries of the lot.
- First floor setbacks on single and multiple residential allotments must not encroach within the minimum ground floor setbacks.
- Garages must not project forward of the front building setback.

Parking and Driveways

- Parking for Multiple Residential developments
 - 1 space per dwelling unit on-site
 - 0.5 visitor space per dwelling on-site
 - do not dominate the streetscape
- Other than where accessed from a laneway, the maximum width of a driveway at the lot boundary shall be 4.8m where serving a double garage and 3m where serving a single garage.
- There is to be a maximum of one driveway per dwelling, unless it is a corner lot.

Site Cover and Amenities

- Dwellings must have a minimum area of private open space at ground or upper levels accessible from a living room and consisting of at least
 - for a one bedroom dwelling, 5m² with a minimum width of 1.2m
 - for a two bedroom dwelling, 9m² with a minimum width of 2.4m
 - for a three or more bedroom dwelling, 12m² with a minimum width of 2.4m.
- Communal open space for Multiple Residential developments is to be a minimum of 25% of the area of the site and must provide:
 - minimum dimensions of 4.4m
 - maximum gradient not exceeding 1 in 40
 - must be subject to informal surveillance from the dwellings
 - 450m² to 599m² maximum 3 dwellings
 - 600m² to 749m² maximum 4 dwellings
 - 750m² maximum 5 dwellings
- Where Multiple Residential developments encompass more than one frontage they are to be designed to address each frontage.

Street Address

- Letterbox must be clearly visible and identifiable from street or within lane.
- Each street or park frontage must be addressed with inclusion of two or more of the following design elements in the related facade:
 - verandahs / porches
 - awning and shade structures
 - variation to roof and building lines
 - inclusion of window openings
 - use of varying building materials

Building Articulation

- All buildings with a width of more than 10m that are visible from a street or a park are articulated to reduce the mass of the building by one or more of the following:
 - windows recessed into the facade
 - balconies, porches or verandahs
 - window hoods
 - shadow lines are created on the building through minor changes in the facade (100mm minimum)
- Carports and garages are compatible with the main building in terms of height, roof form, detailing, materials and colours.

Lofts and Other Small Dwellings

- Each loft apartment must have a clearly identifiable and addressed front door with undercover point of entry.
- Incorporate in all walls adjoining the main dwelling and private open space areas of the main dwelling:
 - windows with a minimum sill height of 1.5m or privacy screening
 - low maintenance building materials and non-reflective finishes
 - no external drainage or other pipes
- Incorporate an area of private open space such as a balcony or verandah with a minimum depth of 1.2m and a minimum area of 5m², preferably overlooking the lane, and including a screened drying area.
- Incorporate at least 2 openings to all habitable rooms, including internal windows and louvred windows to facilitate cross ventilation.
- Screened drying and rubbish bin areas behind the main face of the dwellings.

Fencing

- Fencing on all street frontages, to be 50% transparent or not to exceed 1.2m in height.

Definitions:

- Loft Homes - A dwelling built above a garage with its own entry door at ground level.
- Laneway Allotment - Allotments serviced by a laneway.

REVISION
A: 05/11/13 Amend further issues

Note:
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Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: DCDB
Contours: Cardno
Environment constraints: Cardno

CLIENT

AMEX

PROJECT

**ARP WEST
STAGE 2 & 4**

**PLAN OF
DEVELOPMENT
CANCELLING
LOT 196 ON SP157517**

Level Datum

Origin

Date 05 NOVEMBER 2013

Comp By: JLS

DWG Name: 111179-23A Stage 1-5 Pro

Local Authority: IPSWICH CITY COUNCIL

Locality: RIPLEY

Job Reference: 111179

Scale: 1:1000

Sheet: A1

Plan Ref: 111179-27

Rev: A

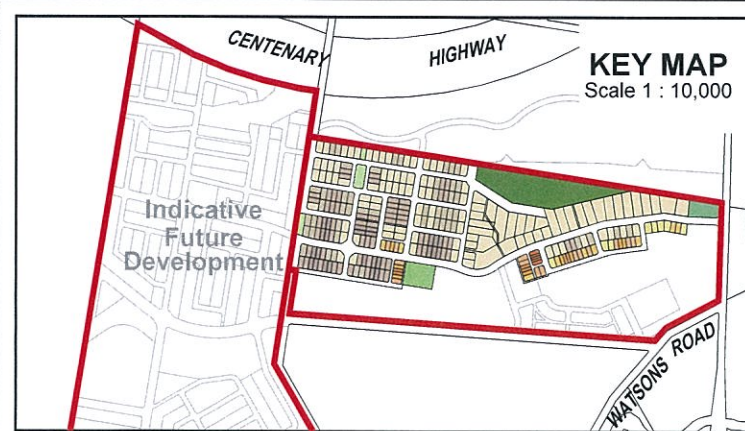
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PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

26 MAR 2014

MEDQ



Plan of Development Table	Terrace Allotments 6m		Cottage Allotments 8.5m		Villa Allotments 10.5m		Premium Villa Allotments 12.5m		Courtyard Allotments 14m		Traditional Allotments 16m		Premium Traditional Allotments 18m+	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Setback														
Front/Primary Frontage	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4
Garage	n/a	n/a	4.5	n/a	4.5	n/a	4.5	n/a	4.5	n/a	4.5	n/a	4.5	n/a
Side Setback														
Built to Boundary	0.0	0.0	0.0	0.0	0.0	0.9	0.0	1.0	0.0	1.0	0.0	1.0	0.0	1.0
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Rear (non laneway)	n/a	n/a	0.9	0.9	0.9	0.9	0.9	0.9	0.9	0.9	0.9	1.0	0.9	1.0
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Built to Boundary Length	80% of lot length		75% of lot length		70% of lot length		65% of lot length		65% of lot length		60% of lot length		60% of lot length	
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 - for a two bedroom dwelling, 9m² with a minimum width of 2.4m
 - for a three or more bedroom dwelling, 12m² with a minimum width of 2.4m.
- Communal open space for Multiple Residential developments is to be a minimum of 25% of the area of the site and must provide:
 - a minimum dimension of 4m
 - maximum gradient not exceeding 1 in 10
 - must be subject to informal surveillance from the dwellings
 - separated from any other private areas by fence or landscaping
- Multiple residential sites are not permitted to be developed with only one single dwelling. Maximum number of dwellings per Multiple Residential Site:
 - 450m² to 599m² maximum 3 dwellings
 - 600m² to 749m² maximum 4 dwellings
 - 750m² maximum 5 dwellings

General Details

- Site Boundary
- Proposed Stage Boundary
- 25m Fire Buffer
- Building Exclusion Zone
- Proposed Easement
- Multiple Residential

Allotment Details

- Optional Built to Boundary Wall
- No Vehicle Access

Open Space

- Conservation
- Environmental Protection Zone Boundary
- Neighbourhood Recreation Park
- Local Recreation Park
- Linear Park / Stormwater Management

- Where Multiple Residential developments encompass more than one frontage they are to be designed to address each frontage.

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- Letterbox must be clearly visible and identifiable from street or within lane.
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 - inclusion of window openings
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- All buildings with a width of more than 10m that are visible from a street or a park are articulated to reduce the mass of the building by one or more of the following:
 - verandahs / porches
 - balconies, porches or verandahs
 - window hoods
 - shadow lines are created on the building through minor changes in the facade (100mm minimum)
- Carports and garages are compatible with the main building in terms of height, roof form, detailing, materials and colours.
- Lofts and Other Small Dwellings
- Each loft apartment must have a clearly identifiable and addressed front door with undercover point of entry.
- Incorporate in all walls adjoining the main dwelling and private open space areas of the main dwelling:
 - windows with a minimum sill height of 1.5m or privacy screening
 - low maintenance building materials and non-reflective finishes
 - no external drainage or other pipes
- Incorporate an area of private open space such as a balcony or verandah with a minimum depth of 1.2m and a minimum area of 5m², preferably overlooking the lane, and including a screened drying area.
- Incorporate at least 2 openings to all habitable rooms, including internal windows and louvre windows to facilitate cross ventilation.
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Fencing

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Definitions:

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- Laneway Allotment - Allotments serviced by a laneway.

AMENDED IN RED

26 MAR 2014

By: B. Davey (name)
MEDQ

REVISION
A: 05/11/13 Amend further issues

Note:
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Source Information:
Site boundaries: DCDB
Adjoining information: DCDB
Contours: Cardno
Environment constraints: Cardno

CLIENT

AMEX

PROJECT

ARP WEST
STAGE 3 & 5

PLAN OF
DEVELOPMENT
CANCELLING
LOT 196 ON SP157517

Level Datum

Origin

Date 05 NOVEMBER 2013

Comp By: JLS

DWG Name: 111179-23A Stage 1-5 Pro

Local Authority: IPSWICH CITY COUNCIL

Locality: RIPLEY

Job Reference: 111179

Scale: 1:1000

Sheet: A1

Plan Ref: 111179-28

Rev: A

RPS

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