

Our ref: DEV2012/409

26 March 2014

Amex Corporation P/L
C/- RPS Australia East P/L
Att: Mr Julian Kemp
PO Box 1559
FORTITUDE VALLEY QLD 4006

Dear Julian

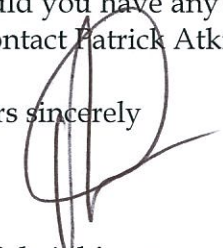
SECTION 89(1)(a) PDA DEVELOPMENT APPROVAL FOR A PDA DEVELOPMENT APPLICATION FOR A PDA DEVELOPMENT PERMIT FOR RECONFIGURING A LOT (WITH PLAN OF DEVELOPMENT) FOR 296 LOTS INCLUDING 295 RESIDENTIAL LOTS, 1 BALANCE LOT, NEW ROAD, AND OPEN SPACE AT LAND LOCATED AT WATSONS & RIPLEY ROADS, SOUTH RIPLEY DESCRIBED AS LOT 196 ON SP157517 AND LOT 370 ON SP198119

On 26 March 2014 the Minister for Economic Development Queensland (MEDQ) approved the Priority Development Area (PDA) development application pursuant to s.85(4)(b) of the *Economic Development Act 2012*. MEDQ has decided to grant all of the PDA development approval applied for subject to PDA development conditions set out in the attached PDA Development Approval Package.

The PDA development application and the decision notice can also be viewed in the MEDQ Development Approvals Register via the MEDQ website
<http://www.dsdip.qld.gov.au/infrastructure-and-planning/priority-development-area-development-approvals.html>

Should you have any queries in relation to the decision notice, please do not hesitate to contact Patrick Atkinson on 3452 7630.

Yours sincerely



Patrick Atkinson
Director - Development Assessment



U.S. DEPARTMENT OF THE INTERIOR
BUREAU OF LAND MANAGEMENT
1616 North 1st Avenue, Suite 200
Denver, Colorado 80202

April 1, 2003

Dear Mr. [Name]:

I am writing to you regarding the [Project Name] project. The project is currently in the planning phase and we are looking for [Type of Person] to assist us. If you are interested, please contact me at [Phone Number] or [Email Address].

Sincerely,
[Signature]

The [Project Name] project is a [Type of Project] project. It is located in the [Location] area. The project is currently in the planning phase and we are looking for [Type of Person] to assist us. If you are interested, please contact me at [Phone Number] or [Email Address].

We are looking for [Type of Person] to assist us. If you are interested, please contact me at [Phone Number] or [Email Address]. We are looking for [Type of Person] to assist us. If you are interested, please contact me at [Phone Number] or [Email Address].

We are looking for [Type of Person] to assist us. If you are interested, please contact me at [Phone Number] or [Email Address]. We are looking for [Type of Person] to assist us. If you are interested, please contact me at [Phone Number] or [Email Address].

We are looking for [Type of Person] to assist us. If you are interested, please contact me at [Phone Number] or [Email Address]. We are looking for [Type of Person] to assist us. If you are interested, please contact me at [Phone Number] or [Email Address].

[Signature]

[Name]
[Title]
[Address]
[City, State, Zip]
[Phone Number]
[Email Address]

U.S. DEPARTMENT OF THE INTERIOR
BUREAU OF LAND MANAGEMENT
1616 North 1st Avenue, Suite 200
Denver, Colorado 80202
Phone: (303) 251-2000
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PDA Decision Notice - Approval

Site information		
Name of urban development area (PDA)	Ripley Valley PDA	
Site address	Watsons & Ripley Roads, South Ripley	
Lot on plan description	Lot number	Lot description
	Lot 196	SP157517
	Lot 370	SP198119
PDA development application details		
MEDQ reference number	DEV2012/409	
Lodgement date	12 December 2012	
Type of application	☒ New development involving:- ☐ Material change of use ☐ Preliminary approval ☐ Development permit ☒ Reconfiguring a lot ☐ Preliminary approval ☒ Development permit ☐ Operational work ☐ Preliminary approval ☐ Development permit ☐ Changing a PDA development approval ☐ Extending the currency period of a PDA approval	
Description of proposal applied for	Reconfiguring a lot (with plan of development) for 296 lots including 295 residential lots, 1 balance lot, new road, and open space	

PDA development approval details

Decision of the MEDQ	The MEDQ has decided to grant all of the PDA development approval applied for, subject to PDA development conditions forming part of this decision notice.
Decision date	26 March 2014
Currency period	6 Years from the Decision Date

Plans and specification

The plans and specifications approved by the MEDQ and referred to in the PDA development conditions concerning the PDA development approval are detailed below.

Approved plans, reports and specifications		Number (if applicable)	Date (if applicable)
1.	Plan of Subdivision Allotment Layout Plan Stages 1 - 5 prepared by RPS as amended in red	111179-32 Rev A 111179-23 Rev A 111179-24 Rev A 111179-25 Rev A	5/11/13 5/11/13 5/11/13 5/11/13
2.	Plan of Development Stages 1 - 5 (as amended in red)	111179-26 Rev A 111179-27 Rev A 111179-28 Rev A	5/11/13 5/11/13 5/11/13
3.	Technical Memorandum - AMEX Ripley ARP West Traffic Impact Assessment (including cross sections and as modified by conditions).	790147/027	18 March 2014
4.	Water Reticulation Concept Stage 1-5 prepared by ETS Group	SK-18 Rev P2	18 June 2013
5.	Sewer Reticulation Concept Layout Plan prepared by ETS Group	SK-17 Rev P3	18 June 2013
6.	Site Based Stormwater Quality Management Report prepared by ETS Group	Rev B	28 May 2013

Supporting documents

To remove any doubt, the following documents are not approved documents for the purposes of this PDA development approval, but rather are supporting documents.

Supporting plans, reports and specifications		Number (if applicable)	Date (if applicable)
1.	Endorsed Context Plan Land Use	111179-11 Rev F	22 January 2014
2.	Context Plan Movement Network	111179-13 Rev D	24 January 2014
3.	Car Parking analysis Plan	111179-29 111179-30 111179-31	3 June 2013 3 June 2013 3 June 2013

4.	MCU - Open Space Plan	SP114505-03 Issue B	27 July 2012
5.	Ripley Valley West Flood Study Report prepared by Cardno	7901/47-027	27/06/13
PDA Development Conditions			
Planning and General Conditions			
1.	Carry out the approved development Carry out the approved development generally in accordance with the approved plans and documents.		Prior to survey plan endorsement for each stage
2.	Complete all Operational Work and Building Works Complete all operational work associated with this development approval, including work required by any of the following conditions. Such operational work is to be carried out generally in accordance with the approved plans.		Prior to survey plan endorsement for each stage
3.	Survey Marks An adequate number of permanent survey marks must be installed to ensure clear definition of the development. The developer must submit a certificate signed by a licensed surveyor, stating that after the completion of all works associated with the development, permanent survey marks are in their correct position in accordance with the plan of subdivision.		Prior to survey plan endorsement for each stage
4.	Stages for Reconfiguration Unless otherwise approved in writing by the assessing authority, each stage must be independently serviced by roads, water, sewer, stormwater, and any other relevant utilities.		Prior to survey plan endorsement for each stage
5.	Easements over infrastructure – water supply, sewerage, drainage Where public utilities and associated access routes are located on private land, public utility easements must be provided in favour of and at no cost to the grantee, over infrastructure located in private land that becomes contributed assets. The terms of the easements must be to the satisfaction of the Chief Executive Officer of the authority which ultimately is to takeover and maintain the contributed assets. Advice: <i>Easement plans/documents must be submitted initially to DSDIP PDA Development Assessment for compliance assessment and not directly to utility authorities.</i>		Prior to survey plan endorsement for each stage

6.	Environmental Covenant Unless otherwise approved by DSDIP PDA Development Assessment in writing, the developer must prepare and execute an environmental covenant for proposed Lots 54 to 67 in respect to the building exclusion zone and bushfire management.	Prior to survey plan endorsement for each stage and executed at the time of registration
7.	Road Naming The developer must submit to DSDIP PDA Development Assessment a list of road names approved by Ipswich City Council	Prior to survey plan endorsement for each stage
8.	Entry Walls or Features The provision of entry walls or features is prohibited on road reserves, in drainage reserves or on proposed parkland. Entry walls or features must be fully contained on private property.	As indicated
9.	Cultural Heritage Submit to DSDIP PDA Development Assessment confirmation that prior to the commencement of construction the developer has complied with the duty of care obligations under the Aboriginal Cultural Heritage Act 2003 (Qld).	Prior to the commencement of works
10.	Housing Diversity & Affordability Submit to DSDIP PDA Development Assessment evidence that the development accords with the Ripley Valley PDA Development Scheme with respect to the relevant targets for housing diversity and affordability.	Prior to survey plan endorsement for each stage
Compliance Assessment		
11.	Compliance Assessment (a) Where a condition of this Approval requires compliance assessment, compliance assessment is required in accordance with the timing set out in the conditions. (b) Before compliance assessment will commence, payment for any applicable fees must accompany any request for compliance assessment. The fee is set out in the DSDIP PDA Development Assessment's development assessment fee schedule in force at the date of lodgement. (c) The process and timeframes that apply to compliance	At all times

	assessment are: (i) the applicant submits plans and supporting information as required for compliance assessment; (ii) within 20 business days – the DSDIP PDA Development Assessment or its delegate assesses the plans and supporting information and if not satisfied with the information as submitted – notifies the applicant accordingly. (d) If the applicant is notified under (c)(ii) above: (i) the information and plans addressing the concerns are to be re-submitted; (ii) within a further 15 business days – the DSDIP PDA Development Assessment or its delegate assesses the re-submitted plans and supporting information and if not satisfied with the information as submitted – notifies the applicant accordingly. If the applicant is notified under (d)(ii) above, within 10 business days - DSDIP PDA Development Assessment or its delegate and applicant will repeat steps (d)(i). If either party is not satisfied by the outcome of this process, that party can elect to enter into a mediation process with an independent mediator agreed to by both parties or if there is no agreement, nominated by the President for the time being of the Queensland Law Society Inc.	
12.	House Plans for lots less than 250m² (a) Submit to DSDIP PDA Development Assessment for compliance endorsement House Plans for lots less than 250m². The House Plans are to be generally in accordance with the approved Plan of Development. (b) Titling of lots less than 250m² must not occur until a plan has been endorsed pursuant to 10 (a), building approval has been issued and building construction has commenced.	(a) Prior to commencement of building works. (b) As indicated
13.	Noise Management (a) Submit to DSDIP PDA Development Assessment for compliance assessment an updated version of the Road Traffic Noise Impact Assessment – Ripley Valley Amex West Traffic Noise Impact Assessment Report (Project No. A038_790147) prepared by Cardno and dated July 2013. The updated report shall include the final lot layout, terrain elevation and traffic counts. The amended report must investigate the opportunity to reduce the barrier to a maximum height of 1.8 metres or to locate the barrier on the boundary of the Centenary highway rather than the northern boundary of stages 4 and 5. The updated report shall outline assessment and mitigation	(a) Prior to survey plan endorsement for each stage

	strategies to be considered in the construction of dwellings to meet the appropriate acoustic attenuation standards. (b) All dwellings on lots subject to elevated road traffic noise levels are to be constructed in accordance with the building design standards as set by the amended (in accordance with Part (a) of this condition) Road Traffic Noise Impact Assessment – Ripley Valley Amex West Traffic Noise Impact Assessment Report (Project No. A038_790147) prepared by Cardno and dated July 2013. (c) The developer must prepare a strategy for communication of the acoustic attenuation requirements for future owners of affected properties. The strategy must consider all options for communication of the requirements, including, but not limited to, covenants, certificates and searches, contracts of sale and property notices for all of the lots that are subject to elevated road traffic noise levels and construction standards. At minimum, the developer must supply all purchasers of affected lots a copy of the recommendations of the Cardno Report, being the amended (amended in accordance with Part (a) of this condition) Road Traffic Noise Impact Assessment – Ripley Valley Amex West Traffic Noise Impact Assessment Report (Project No. A038_790147) prepared by Cardno and dated July 2013. (d) The developer is required to notify all prospective buyers of any lots that are affected by elevated road traffic noise and construction standards.	(b) As specified. (c) Prior to survey plan endorsement for each stage (d) As specified
14.	Park Landscape Works – Compliance Assessment (a) Submit to the DSDIP PDA Development Assessment for compliance endorsement a detailed landscape plan certified by a qualified (AILA accredited) landscape architect for improvement works within the proposed parkland in accordance with the Ripley Valley Development Scheme and the Ipswich City Council guidelines/standards, documenting the following; ▪ Existing contours or site levels. ▪ Location of existing under- and above-ground services within the proposed parkland (eg drainage, water reticulation, sewerage, electricity, gas, telecommunications etc.). ▪ Removal of weed species, barbed wire, building materials, rubbish, debris and other obstacles which may present a public liability risk. ▪ Location and description of existing fencing and retaining walls within and abutting the park.	(a) Prior to commencement of site works

	Site Preparation - Proposed finished levels, including sections across and through the parkland at critical points (eg Interface with roads or water bodies, retaining walls or batters). New Works - Location of proposed drainage and stormwater works within the park, including cross-sections and descriptions. - Provision of electricity and water connections to the park. - Construction of vehicle barriers/bollards/landscaping along park frontages where required to prevent unauthorised vehicular access. - Provision of a lock-rail access point (positioned at a level and logical point) and associated vehicular crossover to each road frontage to parkland that includes fencing and gates to limit unauthorised vehicular access. - Details and locations of any proposed building works or planting, including: bridges, park furniture, picnic facilities and play equipment. - Surface treatments, including the preparation of all open ground within the proposed parkland to ensure that it is topsoiled, grassed and suitable for mowing. Grassing is to achieve 80% coverage at the time of On Maintenance inspection. - Provision of a sub-tropical plant schedule listing all proposed plants by botanical name, quantity and size at time of planting. (b) Construct landscape works Submit to the DSDIP PDA Development Assessment certification from an AILA qualified landscape architect that the works have been constructed in accordance with part a) of this condition; (c) On Maintenance Provide 12 months maintenance to the parks, commencing on receipt of written confirmation from the DSDIP PDA Development Assessment that the works are satisfactory. (d) Off Maintenance Inspection On completion of the 12 months maintenance period, contact the DSDIP PDA Development Assessment to arrange an Off Maintenance inspection.	(b) prior to survey plan endorsement (c) As indicated (d) As indicated
15.	Streetscape Works - Compliance Assessment (a) Prepare and submit to DSDIP Development Assessment Division Principal Engineer for compliance endorsement Streetscape Works plans detailing proposed works in accordance with the following requirements:	(a) Prior to commencement of works for each stage

	- show appropriate pavement treatments including finished surface levels, cross-falls and longitudinal grades; - show appropriate footpath locations; - provide street tree location and species, including common and botanical names, height and spread at maturity. ground preparation works and monthly maintenance plan; - identify road uses adjacent to the kerbing (e.g. public transport stops, parking bays, No Standing zones etc); - identify all existing trees within the dedicated road, including those to be retained and those to be removed; and - show the location of services within the road reserve; and - provide landscaping, fencing and footpath works to all road reserves where a road is not to be constructed - provide landscaping, fencing and footpath works to all drainage reserves that do not have 100% road frontage and fences to all boundaries of drainage reserves which share a common boundary with private lots in accordance with condition 18 unless otherwise approved by DSDIP PDA Development Assessment. The plan is to be prepared by an Australian Institute of Landscape Architects (AILA) registered landscape architect.	
	(b) Undertake the works in accordance with the approved streetscape works required under part (a) of this condition in accordance with the following standards: - AS1428.1 Design of Access and Mobility - AS1428.4 Tactile Ground Surface Indicators - Best Trade Practice (Part B of the Compliance Certificate – Landscape Works - AS/NZA 1158.3.1, 1999 Pedestrian Area Lighting	(b) Prior to survey plan endorsement for each stage
	(c) Submit to DSDIP PDA Development Assessment “as constructed” plans and an asset register certified by an AILA registered landscape architect in a format acceptable to Ipswich City Council demonstrating compliance with this condition.	(c) Prior to survey plan endorsement for each stage
	(d) Where a road reserve is not proposed to be constructed with a road, landscaping and pathways must be nominated on the ROL Plan and completed in association with surrounding streetscape works.	(d) Prior to survey plan endorsement for each stage
	(e) Where drainage reserve is not provided with 100% road frontage, any interface with a private lot must be fenced in accordance with condition 18 and landscaped in conjunction with surrounding streetscape works.	(e) Prior to survey plan endorsement for each stage

16.	Environmental Management (a) Submit to DSDIP PDA Development Assessment for compliance endorsement the following detailed plans and reports: (i) Vegetation Management, Rehabilitation and Monitoring Plan including Wildlife corridor provision (ii) Detailed Staged Bushfire Risk Assessment (iii) Dispersive soil management (iv) Management of difficult topography including areas at risk of landslip and requirements for the construction of houses on lots affected by difficult topography. (b) Where open space is proposed for conservation, the applicant must submit a rehabilitation and conservation management plan prepared by a suitably qualified professional to DSDIP PDA Development Assessment for compliance assessment including: (i) measures to conserve the ecological and scenic value of the proposed space in accordance with ecological assessment and visual assessment reporting (ii) buffering between the edge of development works and proposed open space (iii) fencing standards for the interface between conservation land and road reserve, and conservation land and private lots to be constructed prior to the survey plan endorsement for the relevant stages (iv) the terms and requirements of the building exclusion zone covenant (v) Any requirements for covenants on the remaining building envelope for Lots 54 to 67 and for the area of Lots 68-89 including reference to the Ipswich Planning Scheme Part 11 – Overlays. (vi) bushfire protection measures including management requirements for the extent of the building exclusion zone and the requirements for the covenant required by condition (iv). DSDIP PDA Development Assessment reserves the right to obtain a third party review of the submitted environmental management plan plans.	Prior to commencement of site works
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Landscaping/Streetscape/Land Dedication		
17.	Disposal of Cleared Vegetation The following means of disposal are to be used, though the DSDIP PDA Development Assessment may consider other means on request: ▪ Processing through a wood-chipper; ▪ Disposal for firewood; ▪ Disposal for landscaping purposes; or ▪ Transport to alternative site for chipping. <i>Please Note: Burning off is not an acceptable means of disposal</i>	Prior to survey plan endorsement and then to be maintained
18.	Fencing Unless otherwise approved in writing by DSDIP PDA Development Assessment, any fencing proposed along public thoroughfares, open space and drainage reserves must have a maximum height of: (a) 1.2m high if not transparent; and (b) 1.8m high, if not transparent at ground level to a height of 1.2m and a minimum 50% visually transparent 600mm fencing element atop the solid fence to enable both privacy to the dwelling units on proposed lots and passive surveillance of any parks, public thoroughfares and detention basins. (c) Unless otherwise approved by the DSDIP PDA Development Assessment in writing, the fencing provided to open space is to be consistent with the requirements of condition 16 and the endorsed rehabilitation and conservation management plan.	Prior to survey plan endorsement for the relevant stage
19.	Controlling Vehicle/Motorcycle Access to Drainage Reserves Barrier kerbs, bollards or equivalent must be installed to the satisfaction of the assessing authority along any shared boundary between road reserve and drainage reserves, with the intent of preventing unauthorised access by motor vehicles. All bollards or equivalent must be installed and consist of materials in accordance with Ipswich City Council's Standard Details. If utilised, bollards or equivalent must be installed within garden beds only. Access points for maintenance vehicles must be incorporated at appropriate locations to the satisfaction of the assessing authority; and must be installed and consist of materials in accordance with Ipswich City Council's Standard Details.	Prior to survey plan endorsement for the relevant stage

20.	Street Lighting Design and install a street lighting system (including connections and energising) to all roads within the subdivision and to all footpaths/bikeways within road reserves and parks associated with the subdivision at no cost to Council The design and construction of the street lighting system must: i. be certified by a Registered Professional Engineer Queensland (RPEQ); ii. be in accordance with Ipswich City Council's Planning Scheme Engineering Design Guidelines iii. meet the relevant standards of the electricity supplier iv. be acceptable to the electricity supplier as 'Rate 2 Public Lighting' v. be endorsed by Ipswich City Council as the Energex 'billable customer'	Prior to survey plan endorsement for each stage
21.	Drainage Reserve (a) Land required for permanent detention basins, constructed wetlands and bio-retention basins or equivalent is to be dedicated as drainage reserve to Council in fee simple as trustee. (b) Unless otherwise approved in writing by Council, land required primarily for drainage purposes must be dedicated on a separate lot to land required for open space purposes.	At the time of registration of the relevant stage
22.	Open Space Dedication and Embellishment Unless otherwise approved in an Infrastructure Agreement, Open space must be dedicated and embellished for each stage of the development in accordance with the approved plan.	At all times.
23.	Land Dedication – Ripley Road Unless a relevant infrastructure agreement provides to the contrary dedicate as road and transfer to the Ipswich City Council (ICC) at no cost to the Council, the land required to facilitate the ultimate construction of Ripley Road along the full frontage of the development (as shown on the ICOP) including the land required for the provision of the intersection in accordance with ICC requirements.	Prior to survey plan endorsement of the first stage.
Engineering conditions		
24.	Pre-Construction Certification No work shall commence until the DSDIP PDA Development Assessment acknowledges in writing receipt of certification package(s) from the Project Coordinator in accordance with DSDIP	Prior to commencement of construction

	Certification Procedures Manual.	
25.	Post-Construction Certification Submit Post-Construction (Practical Completion) Certification, approved forms and “as Constructed” plans including an asset register, certified by a Registered Professional Engineer Queensland (RPEQ), that the plans are a true record of the works “as constructed” are in accordance with the approved plans.	Prior to endorsement of survey plans for each stage
26.	Construction Management Plan (a) Submit to DSDIP PDA Development Assessment a Site Based Construction Management Plan that includes, but is not limited to: - provision for the management of traffic around and through the site during and outside of construction work hours; - provision for parking and materials delivery during and outside of construction hours of work; - management of dust generated from the site during and outside construction work hours; - management of sedimentation and erosion which complies with management of groundwater and surface water collection, treatment and disposal in accordance with Ipswich City Council's standards; - management of contaminated soils (if required), including removal, treatment and replacement in accordance with site remediation plans prepared and approved specifically for this site; and - Unless otherwise approved - Hours of construction must be Monday to Saturday 6.30am to 6.30pm. Construction work in relation to the development must not be conducted outside the above hours or on Sunday or Public Holidays. (b) The Site Based Construction Management Plan shall be prepared in consultation with the professionals responsible for individual site related management plans to ensure that all aspects of the construction and environmental management are included. The construction management plan shall be reviewed and approved by the principal consultant overseeing and certifying the construction works. (c) All work shall be undertaken in accordance with the construction management plan which must be current and available on site at all times during the construction period.	(a) Prior to commencement of site works (b) During site works and prior to survey plan endorsement (c) As indicated