



Notes:
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 2. Dimensions have been rounded to the nearest 0.1 metres.
 3. The boundaries shown on this plan should not be used for the final detailed engineers design.
 4. Final truncation shown are indicative only.
 5. Final truncation details to be resolved at time of final survey. Where possible 6m x 6m x 3 chord truncations will be utilised.
 6. This Plan is to be read in conjunction with the *Stockland Paradise Waters Plan of Development* documentation as approved by the DDC (and all applicable assessing authority).
 7. Refer to the Plan of Development documentation for details of the proposed truncation, including the location of the truncation and specifically outlined on this plan.

Parking Ratio: 311 Parking Bays for 205 Dwellings
Therefore there is an average of 1.52 parking per Dwelling.

Ratio: 5:1 Parking Days for 200

Legend

General Det

Site Boundary

■ One boundary
■ Proposed Stage

4m Reserve

Outer Bushfire M

Inner Bushfire M.

Indicative Footpa

Open Space and

Minor Neighbour

Indicative 3.5m V

Possible On-Street

Dual Frontage Loop

Plan Of Development

MADE IN U.S.A.

Optional Built to

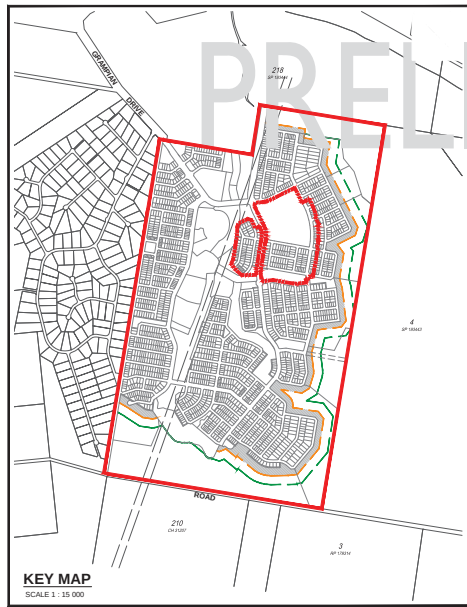
Maximum Building

 Preferred Garage
 Preferred Garage Primary Private Care

EVAPORATION

KEY MAP

SCALE 1 : 15 000



Legend

General Details

- Site Boundary
- Proposed Stage Boundary
- Indicative Footpath Location
- Open Space and recreation
- Indicative 3.5m Wide Driveway
- 4m Reserve
- Possible On-Street Parking Location
- Dual Frontage Lots - Refer to Plan of Development

Plan Of Development Details

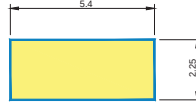
- Optional Built to Boundary Wall
- Maximum Building Footprint Envelope
- Preferred Garage Location
- Primary Private Open Space Location (min 12m²)

Allotment Types

- 25m Deep Allotments
 - Urban Allotment - 6.5 x 15m
 - Town Home Allotment 8.5 x 25m
 - Villa Allotment - 10.5 x 25m
 - Premium Villa Allotment - 12.5 x 25m
 - Courtyard Allotment - 14 x 25m
 - Traditional Allotment - 16 x 25m
- 28m Deep Allotments
 - Villa Allotment - 10.5 x 28m
 - Premium Villa Allotment - 12.5 x 28m
 - Courtyard Allotment - 14 x 28m
 - Traditional Allotment - 16 x 28m
- 32m Deep Allotments
 - Premium Villa Allotment - 12.5 x 32m
 - Courtyard Allotment - 14 x 32m
 - Traditional Allotment - 16 x 32m
- Large Allotments
 - Future Primary School Site - Per MCU Approval Dev 2012/267

Parking Ratio: 255 Parking Bays for 171 Dwellings

Therefore there is approximately 1.5 Parks per Dwelling

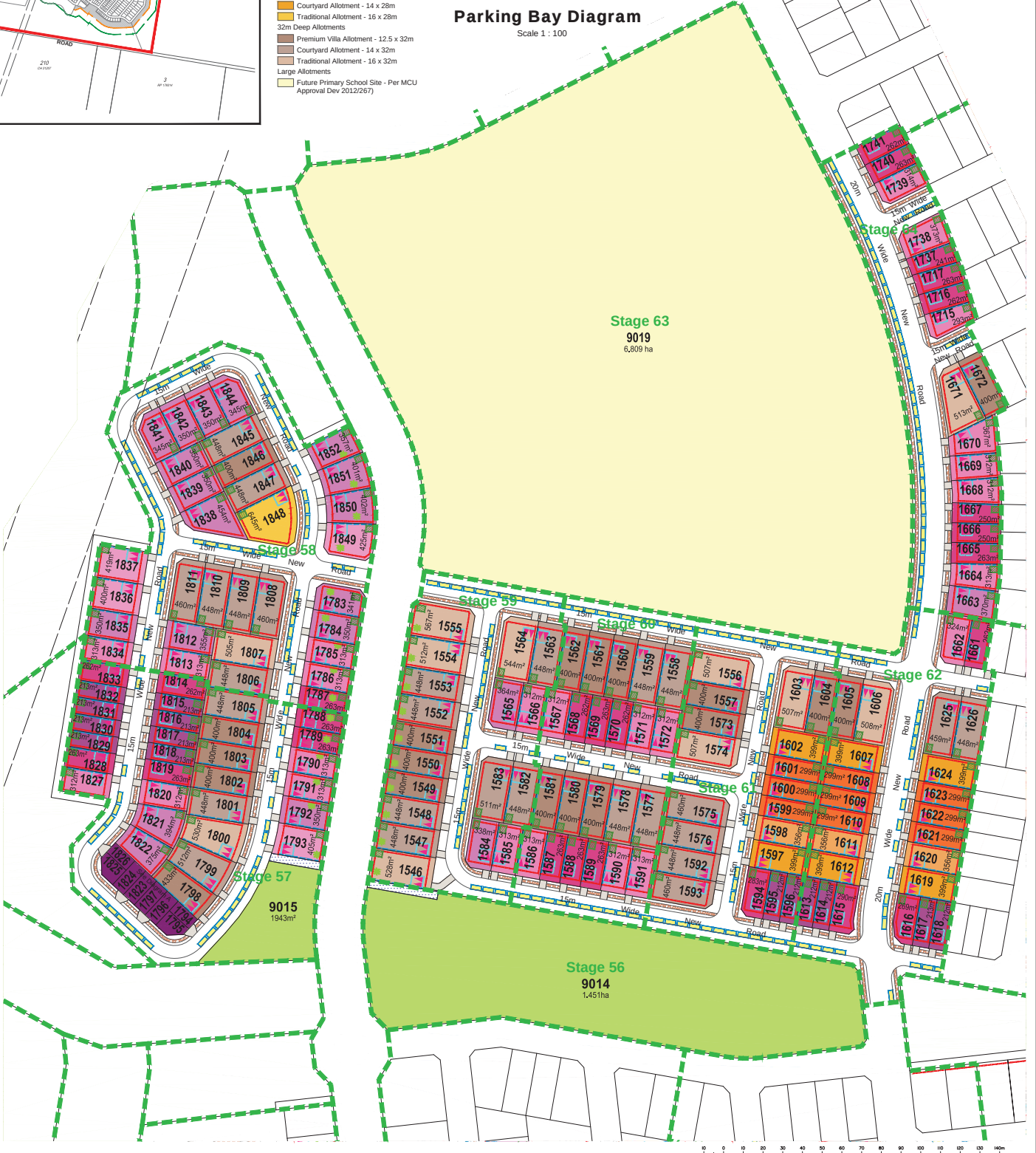
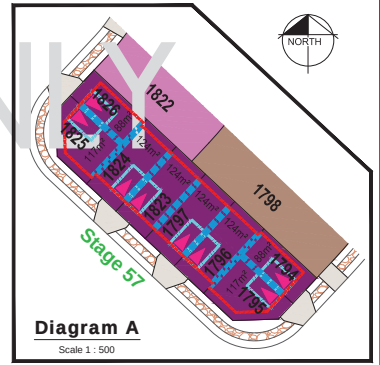


Parking Bay Diagram

Scale 1: 100

Note
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This Plan is to be read in conjunction with the 'Stockland Paradise Waters Plan of Development' documentation as approved by EDQ (and for applicable assessing authority). Refer to Plan of Development documentation for applicable setback, parking and built form provisions not specifically outlined on this plan.



REVISION	Level Datum		Date	23 JANUARY 2014	CLIENT	STOCKLAND PROPOSED SUBDIVISION STAGES 56 - 64 PLAN OF DEVELOPMENT			PROJECT		STOCKLAND RESIDENTIAL ESTATE  RPS Australia East Pty Ltd ACN 140 292 762 ABN 44 140 292 762 743 Ann Street PO Box 1359 Fortitude Valley QLD 4006 T +61 7 3237 8899 F +61 7 3237 8833 W rpsgroup.com.au
	Origin		Comp By	TJE					Plan Ref	105598-71	
			DWG Name	105598Pro							
			Local Authority	IPSWICH CITY COUNCIL							
	Scale		Sheet	Locality							
	1:1000		A1	DEEBING HEIGHTS							
			Job Reference	105598							

Legend

General Details

- Site Boundary
- Proposed Stage Boundary
- Indicative Footpath Location
- Open Space and recreation
- 4m Reserve
- Outer Bushfire Management Zone
- Inner Bushfire Management Zone
- Indicative 3.5m Wide Driveway
- Possible On-Street Parking Location

Plan Of Development Details

- Optional Built to Boundary Wall
- Maximum Building location Envelope
- Preferred Garage Location
- Primary Private Open Space Location (min 12m²)

Allotment Types

25m Deep Allotments

- Town Home Allotment 8.5 x 25m
- Villa Allotment - 10.5 x 25m
- Premium Villa Allotment - 12.5 x 25m
- Courtyard Allotment - 14 x 25m
- Traditional Allotment - 16 x 25m
- Premium Traditional Allotment - 18 x 25m

28m Deep Allotments

- Villa Allotment - 10.5 x 28m
- Premium Villa Allotment - 12.5 x 28m
- Courtyard Allotment - 14 x 28m
- Premium Traditional Allotment - 18 x 28m

32m Deep Allotments

- Premium Villa Allotment - 12.5 x 32m
- Courtyard Allotment - 14 x 32m
- Traditional Allotment - 16 x 32m
- Premium Traditional Allotment - 18 x 32m

Large Allotments

- Balance (Future Residential - Per MCU Approval Dev 2012/267)

Note

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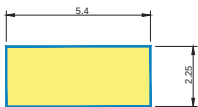
The boundaries shown on this plan should not be used for final detailed engineers design.

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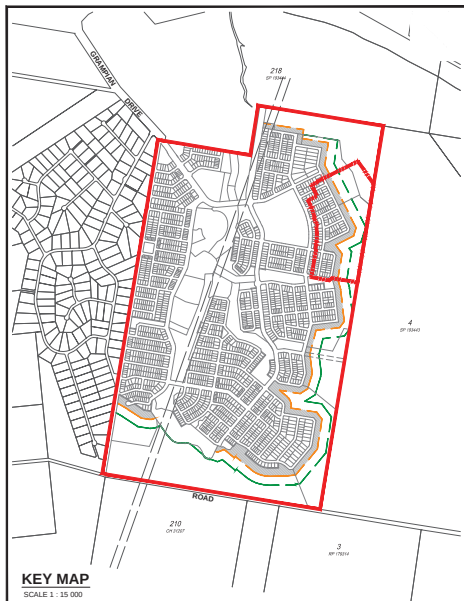


Parking Bay Diagram

Scale 1 : 100

Parking Ratio: 190 Parking Bays for 114 Dwellings

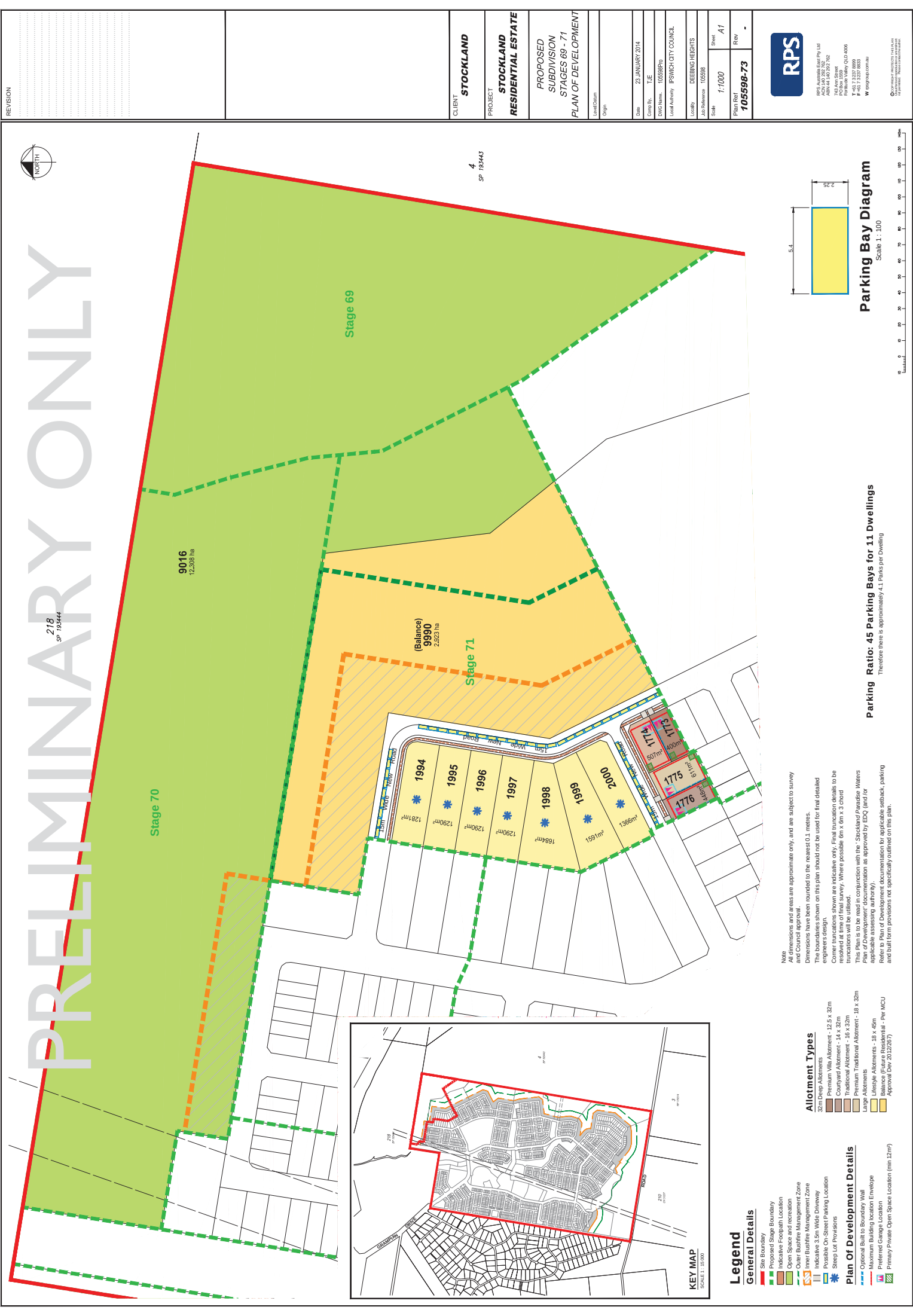
Therefore there is approximately 1.7 Parks per Dwelling



KEY MAP

SCALE 1 : 15 000

REVISION		Level Datum		Date	23 JANUARY 2014	CLIENT STOCKLAND <i>PROPOSED SUBDIVISION STAGES 65 - 68 PLAN OF DEVELOPMENT</i>	PROJECT STOCKLAND RESIDENTIAL ESTATE		 RPS Australia East Pty Ltd ACN 140 293 762 ABN 44 140 292 762 743 Argy Street PO Box 1009 Fortitude Valley QLD 4006 T +61 7 3237 8899 F +61 7 3237 8833 W rpsgroup.com.au Copyright notice: THIS PLAN unintentionally reproduced in whole or in part without the written consent of RPS Group Pty Ltd
		Origin		Comp By TJE					
				DWG Name 105598Pro					
				Local Authority IPSWICH CITY COUNCIL					
				Locality DEEBING HEIGHTS					
Scale 1:1000		Sheet A1		Job Reference 105598		Plan Ref 105598-72	Rev -		



REVISION	
CLIENT	STOCKLAND
PROJECT	STOCKLAND RESIDENTIAL ESTATE
	PROPOSED SUBDIVISION STAGES 69 - 71 PLAN OF DEVELOPMENT
Level Datum	Origin
Date	23 JANUARY 2014
Comp. By.	T.E
DWG Name	105598P0
Local Authority	IPSWICH CITY COUNCIL
Location	DEERING HEIGHTS
Job Reference	105598
Scale	1:1000
Sheet	A1
Plan Ref	105598-73
Rev	-



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PRELIMINARY ONLY

218
SP 103444

Stage 69

Stage 70

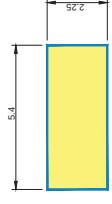
Stage 71

9016
12,208 ha

(Balance)
9990
2,423 ha

1994 1281m²
1995 1290m²
1996 1290m²
1997 1290m²
1998 164m²
1999 164m²
2000 164m²

1714 40m²
1713 40m²
1775 40m²
1776 40m²



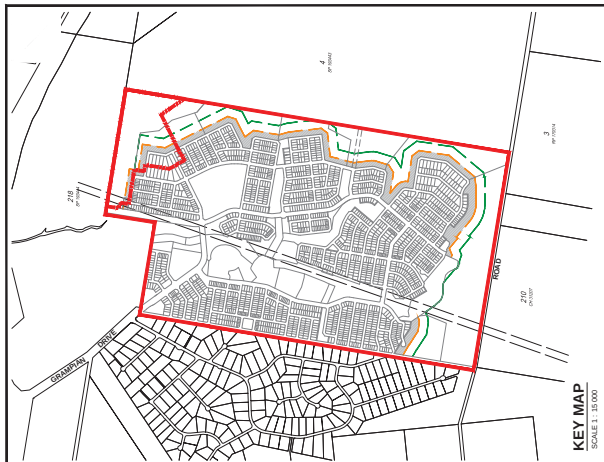
Parking Bay Diagram
Scale 1: 100

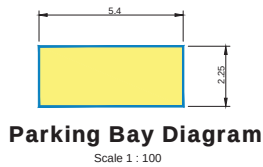
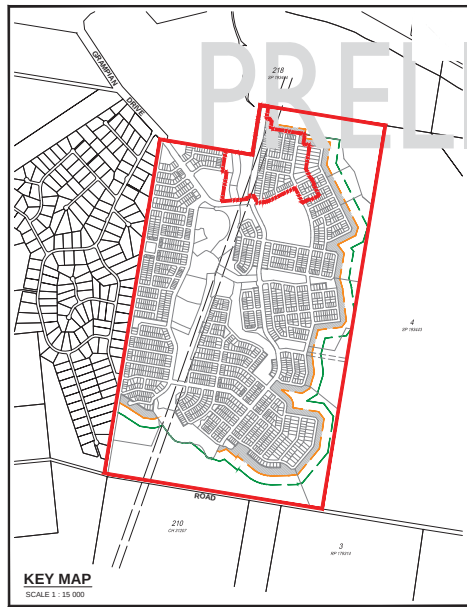
Parking Ratio: 45 Parking Bays for 11 Dwellings
Therefore there is approximately 4.1 Parks per Dwelling

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- Allotment Types**
- 32m Deep Allotments
 - Premium Villa Allotment - 12.5 x 32m
 - Conveyed Allotment - 14 x 32m
 - Premium Traditional Allotment - 18 x 32m
 - Low
 - Useable Allotments - 18 x 45m
 - Balance Future Residential - Per MCU
 - Approval Dec 2012/267

- Legend**
- General Details**
- Site Boundary
 - Proposed Stage Boundary
 - Indicative Footpath Location
 - Open Space and Recreation Zone
 - Inner Business Management Zone
 - Indicative 3.5m Wide Driveway
 - Possible On-Street Parking Location
 - Sheep Lot Provisions
- Plan of Development Details**
- Optional Built to Boundary Wall
 - Maximum Building Location Envelope
 - Preferred Garage Location
 - Primary Private Open Space Location (min 12m²)





Parking Ratio: 217 Parking Bays for 159 Dwellings
Therefore there is approximately 1.4 Parks per Dwelling

Legend

General Details

- Site Boundary
- Proposed Stage Boundary
- Indicative Footpath Location
- Open Space and recreation
- Major Neighbourhood Centre
- 4m Reserve
- Indicative 3.5m Wide Driveway
- Possible On-Street Parking Location
- Steep Lot Provisions
- Dual Frontage Lots - Refer to Plan of Development

Plan Of Development Details

- Optional Built to Boundary Wall
- Maximum Building location Envelope
- Preferred Garage Location
- Primary Private Open Space Location (min 12m²)

Allotment Types

- 25m Deep Allotments
 - Town Home Allotment - 8.5 x 25m
 - Villa Allotment - 10.5 x 25m
 - Premium Villa Allotment - 12.5 x 25m
 - Courtyard Allotment - 14 x 25m
 - Premium Traditional Allotment - 18 x 25m
- 28m Deep Allotments
 - Villa Allotment - 10.5 x 28m
 - Premium Villa Allotment - 12.5 x 28m
 - Courtyard Allotment - 14 x 28m
 - Premium Traditional Allotment - 18 x 28m
- 32m Deep Allotments
 - Villa Allotment - 10.5 x 32m
 - Premium Villa Allotment - 12.5 x 32m
 - Courtyard Allotment - 14 x 32m
 - Traditional Allotment - 16 x 32m
 - Premium Traditional Allotment - 18 x 32m
- Large Allotments
 - Lifestyle Allotments - 18 x 45m



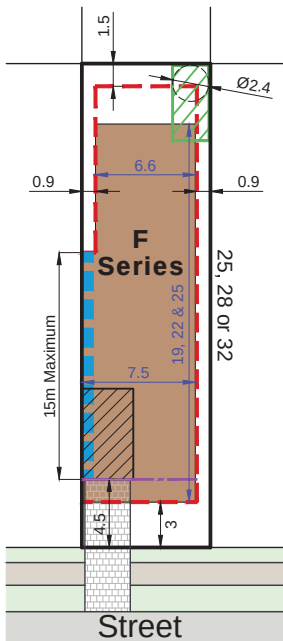
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Town Home Allotment

8.5m - <10.5m Wide

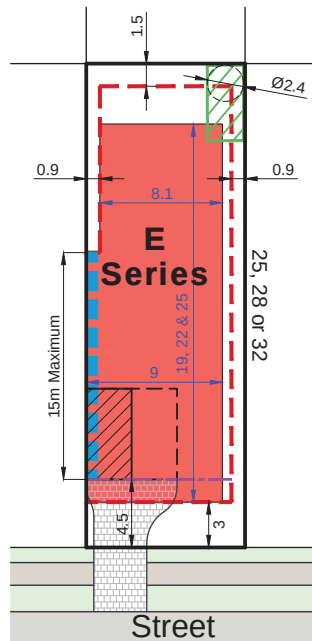
Lot Code



Villa Allotment

10.5m - <12.5m Wide

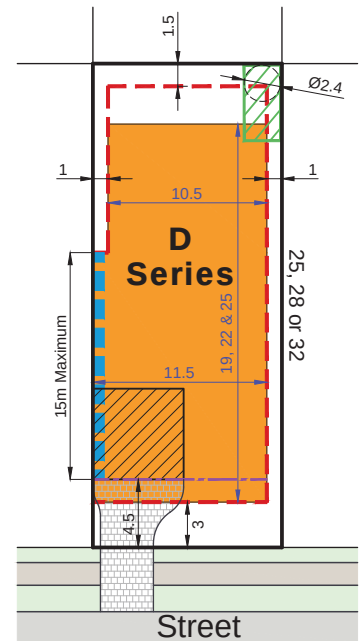
Lot Code



Premium Villa Allotment

12.5m - <14m Wide

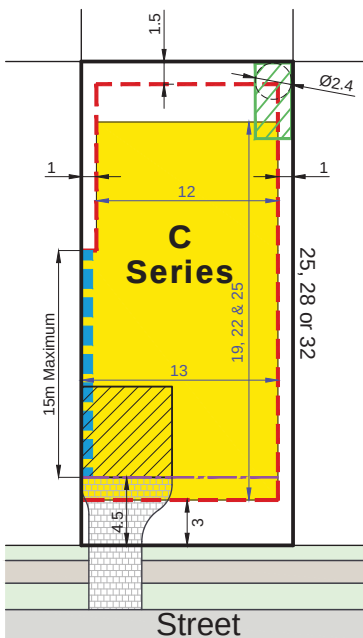
Lot Code



Courtyard Allotment

14m - <16m Wide

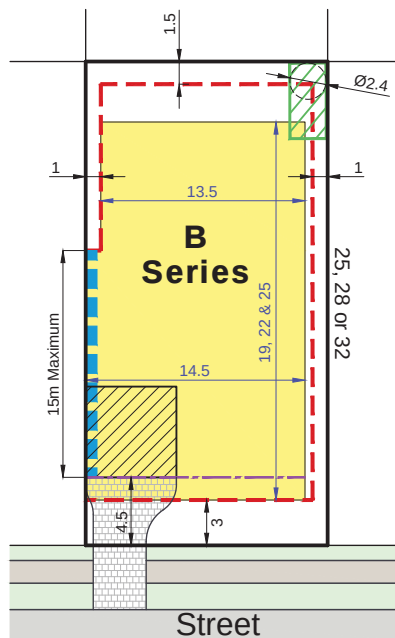
Lot Code



Traditional Allotment

16m - <18m Wide

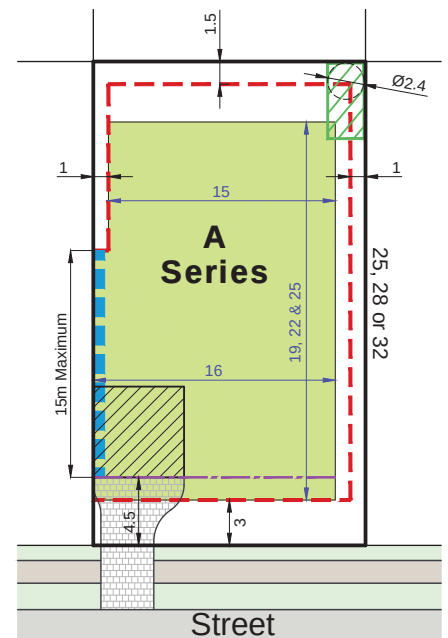
Lot Code



Premium Traditional Allotment Type 1 & 2

18m+ Wide

Type 1 Lot Code
Type 2 Lot Code



Legend

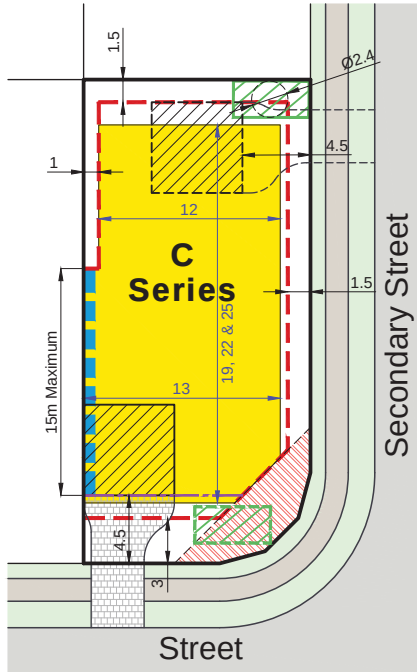
- Maximum Building Envelope
- Building Setback Dimensions
- Optional Built to Boundary Wall
- Garage Setback to Front Boundary

- Stockland product envelope
- Building product dimensions
- Preferred private open space location 12m² min. with min. dimension of 2.4m

- Garage location
- Single garage for single storey dwelling
- Double garage when 2 storey dwelling
- Indicative driveway location

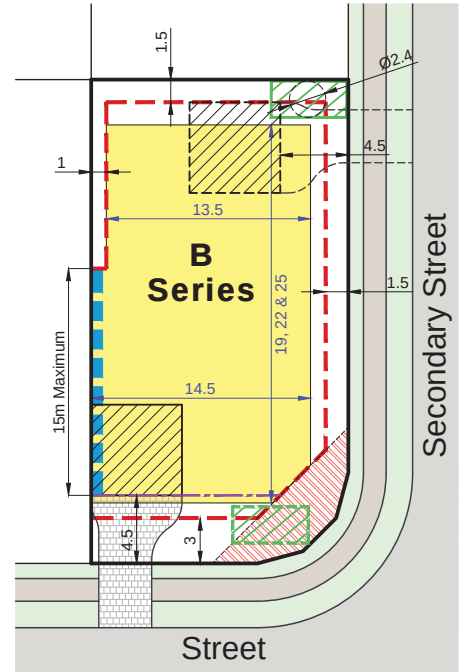
Courtyard Allotment

15m - <17m Wide



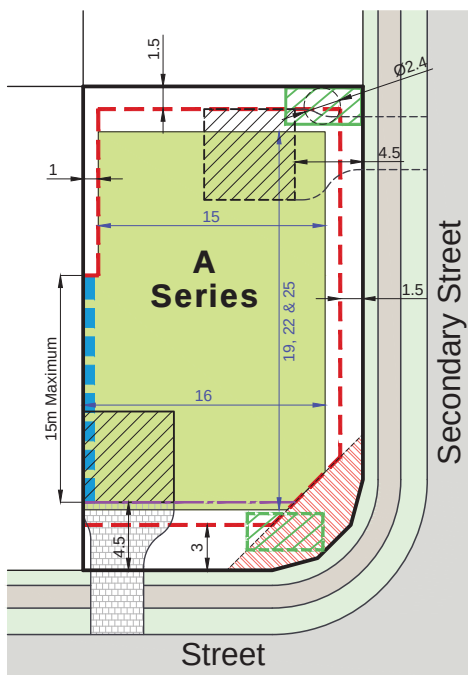
Traditional Allotment

17m - <18.5m Wide



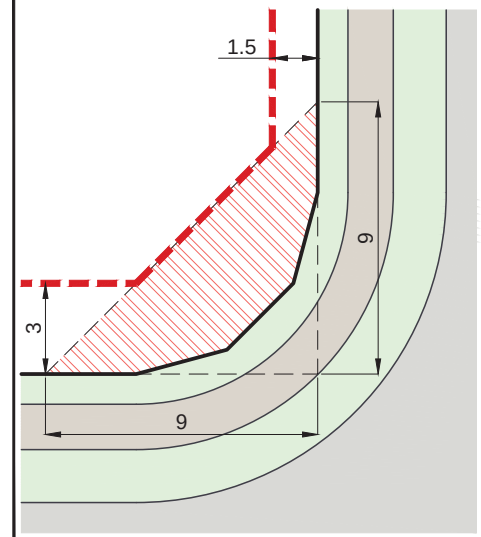
Premium Traditional Allotment Type 1 & 2

18.5m+ Wide



Corner Diagram

Scale: 1 : 250



Legend

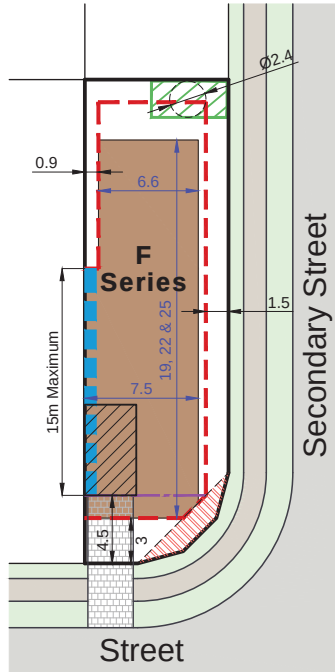
- Maximum Building Envelope
- Building Setback Dimensions
- Optional Built to Boundary Wall
- Garage Setback to Front Boundary
- Corner setback

- Stockland product envelope
- Building product dimensions
- Preferred private open space location 12m² min. with min. dimension of 2.4m
- Alternative location for private open space

- Garage location
- Single garage for single storey dwelling
Double garage when 2 storey dwelling
- Indicative driveway location
- Alternative garage location on secondary street: double garage permissible

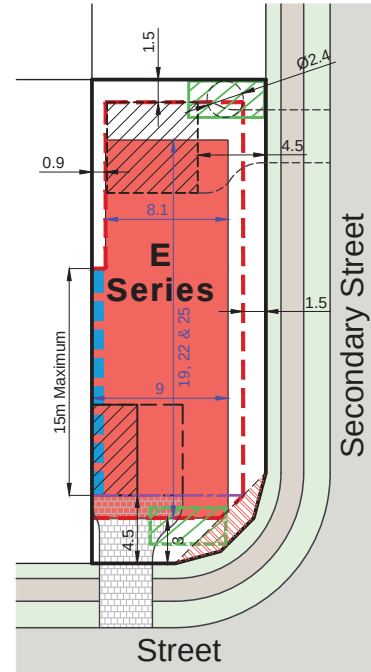
Town Home Allotment

9.5m – <11.5m Wide



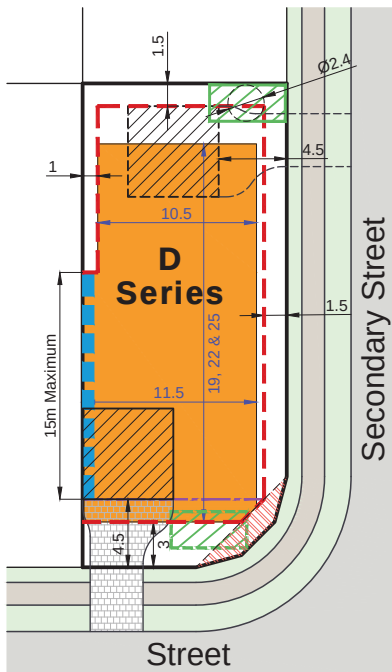
Villa Allotment

11.5m – <13.5m Wide



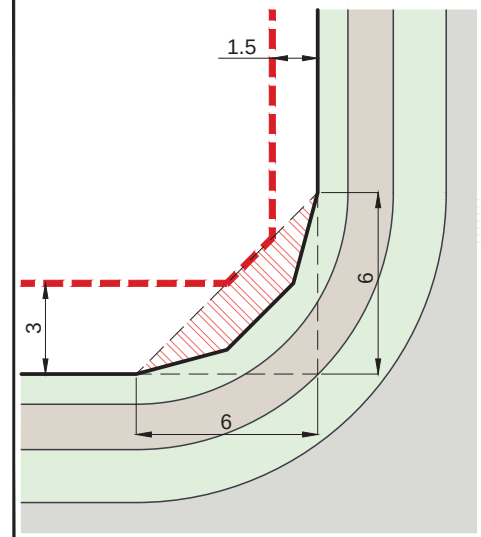
Premium Villa Allotment

13.5m – <15m Wide



Corner Diagram

Scale: 1 : 250



Legend

--- Maximum Building Envelope

← 6 → Building Setback Dimensions

--- Optional Built to Boundary Wall

--- Garage Setback to Front Boundary

--- Corner setback

--- Stockland product envelope

← 6 → Building product dimensions

--- Preferred private open space location
12m² min. with min. dimension of 2.4m

--- Alternative location for private open space

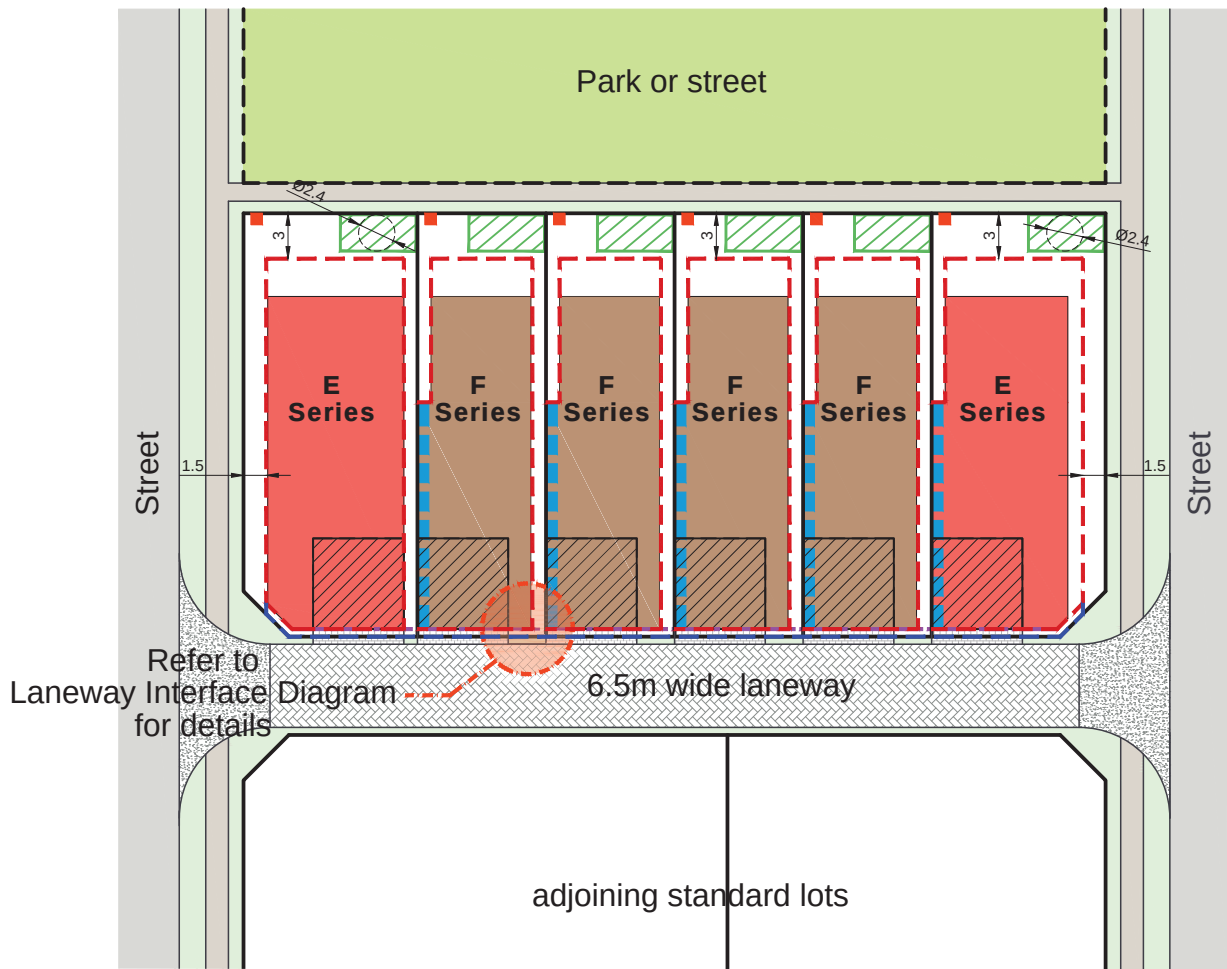
--- Garage location

--- Single garage for single storey dwelling
Double garage when 2 storey dwelling

--- Indicative driveway location

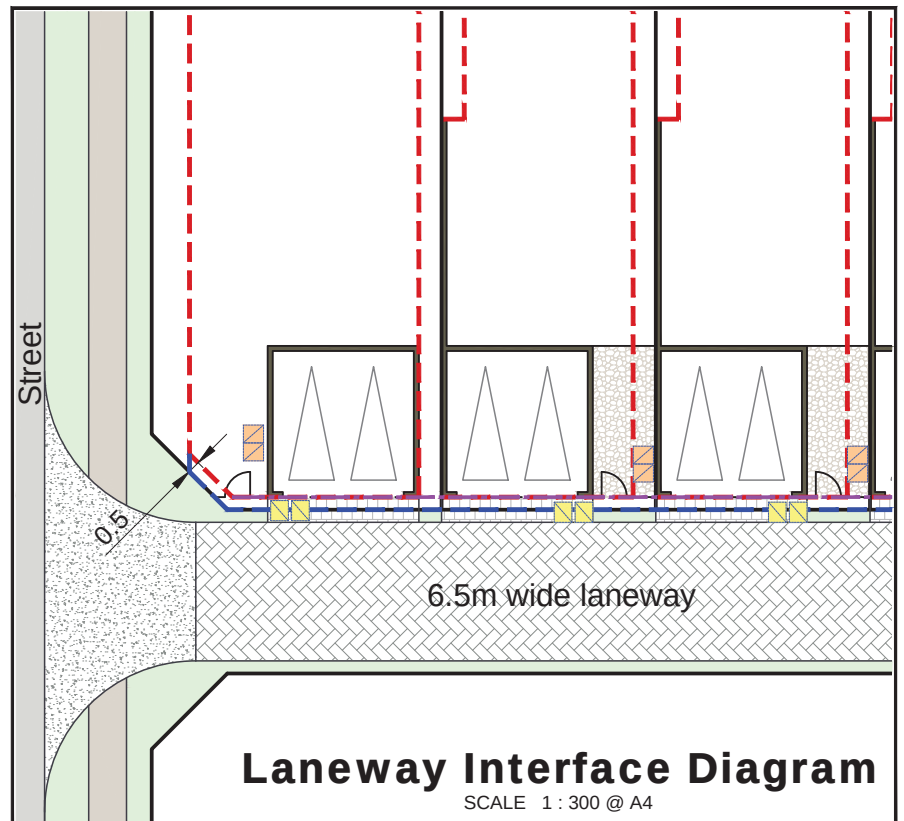
--- Alternative garage location on secondary street: double garage permissible

Typical Laneway Single Side Access onto park or street



Legend

- Indicative Garage
- Garage Location
- Setback Dimensions
- Indicative Driveway Location
- Preferred Private Open Space Location
12m² min. with min. dimension of 2.4m
- Double Garage when on Laneway
- Maximum Building Envelope - Ground Floor
- Maximum Building Envelope - Upper Floors
- Optional Built to Boundary Wall
- Garage Setback to Rear Boundary
- Stockland Product Type Envelope
- Preferred Location of Bin Storage
- Preferred Location of Bin Collection
- Preferred Letterbox Location
- Pedestrian Gate and Fence
- Paved / Gravel or Grassed Area



Typical Laneway Dual Sided Laneway Access



Legend

- Maximum Building Envelope - Ground Floor
- Maximum Building Envelope - Upper Floors
- Optional Built to Boundary Wall
- Garage Setback to Rear Boundary
- Stockland Product Type Envelope

- Garage Location
- Setback Dimensions
- Indicative Driveway Location
- Preferred Letterbox Location

- Preferred Private Open Space Location
12m² min. with min. dimension of 2.4m
- Double Garage when on Laneway