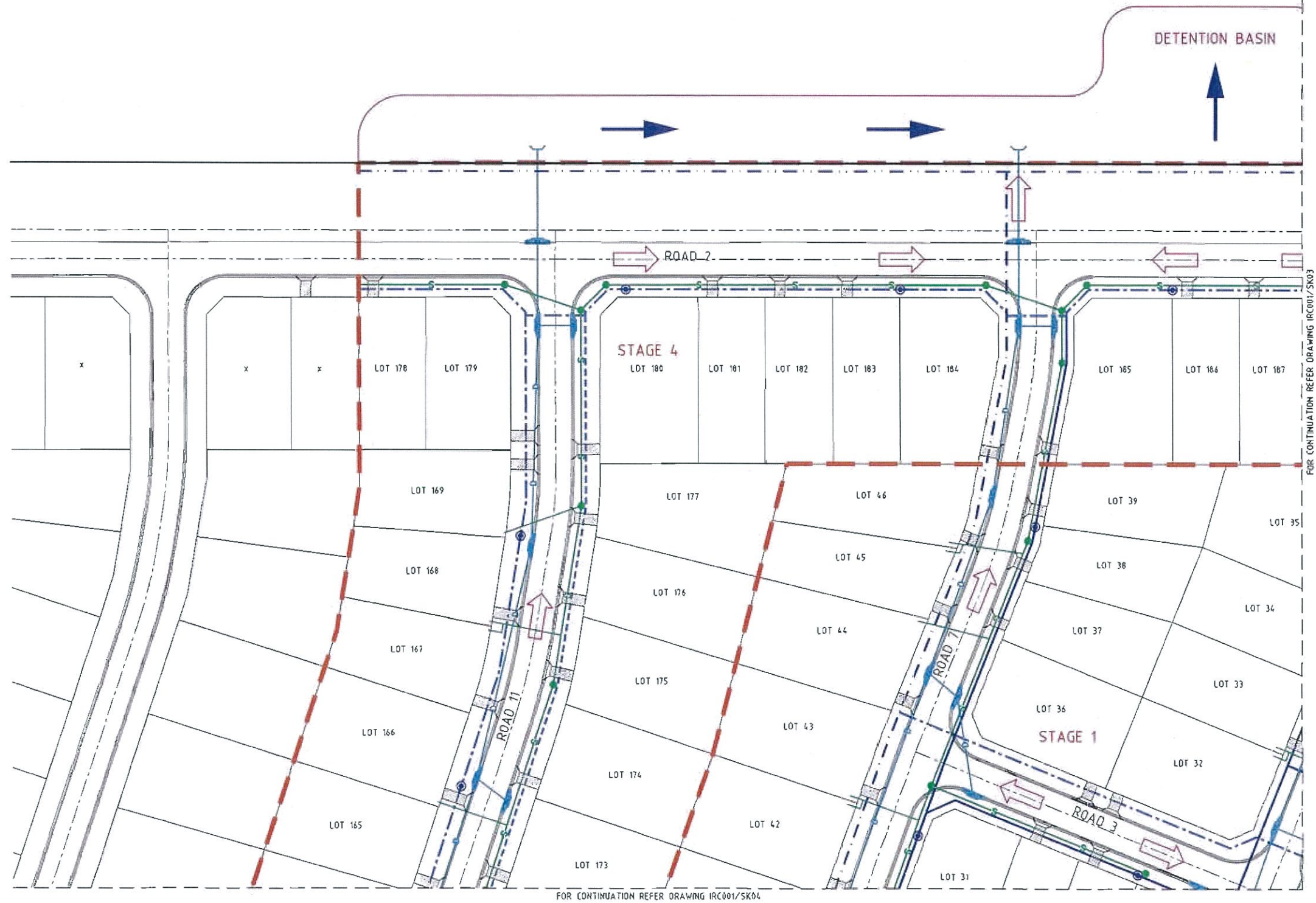




PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

- 7 MAR 2014

MEDQ



- LEGEND**
- PROPOSED WATER MAIN Ø375
 - PROPOSED WATER MAIN Ø225
 - PROPOSED WATER MAIN Ø200
 - PROPOSED WATER MAIN Ø150
 - PROPOSED WATER MAIN Ø100
 - PROPOSED WATER MAIN Ø63
 - PROPOSED WATER HYDRANT
 - PROPOSED SEWER AND MANHOLE
 - PROPOSED SEWER LOT CONNECTION
 - PROPOSED STORMWATER DRAINAGE
 - PROPOSED STORMWATER KERB INLET PIT
 - PROPOSED STORMWATER MANHOLE/FIELD INLET
 - PROPOSED OVERLAND FLOW PATH
 - PROPOSED DRIVEWAY LOCATION
 - PROPOSED STAGE BOUNDARY

0 10.0 20.0 30.0m
SCALE 1:500

PRELIMINARY ISSUE NOT FOR CONSTRUCTION



REAL PROPERTY DESCRIPTION:

DRAWN: J.OE VALTER
DESIGNED:
CHECKED:
PROJECT MANAGER: S.MARTIN
PROJECT DIRECTOR: S.MARTIN RPEQ 9114

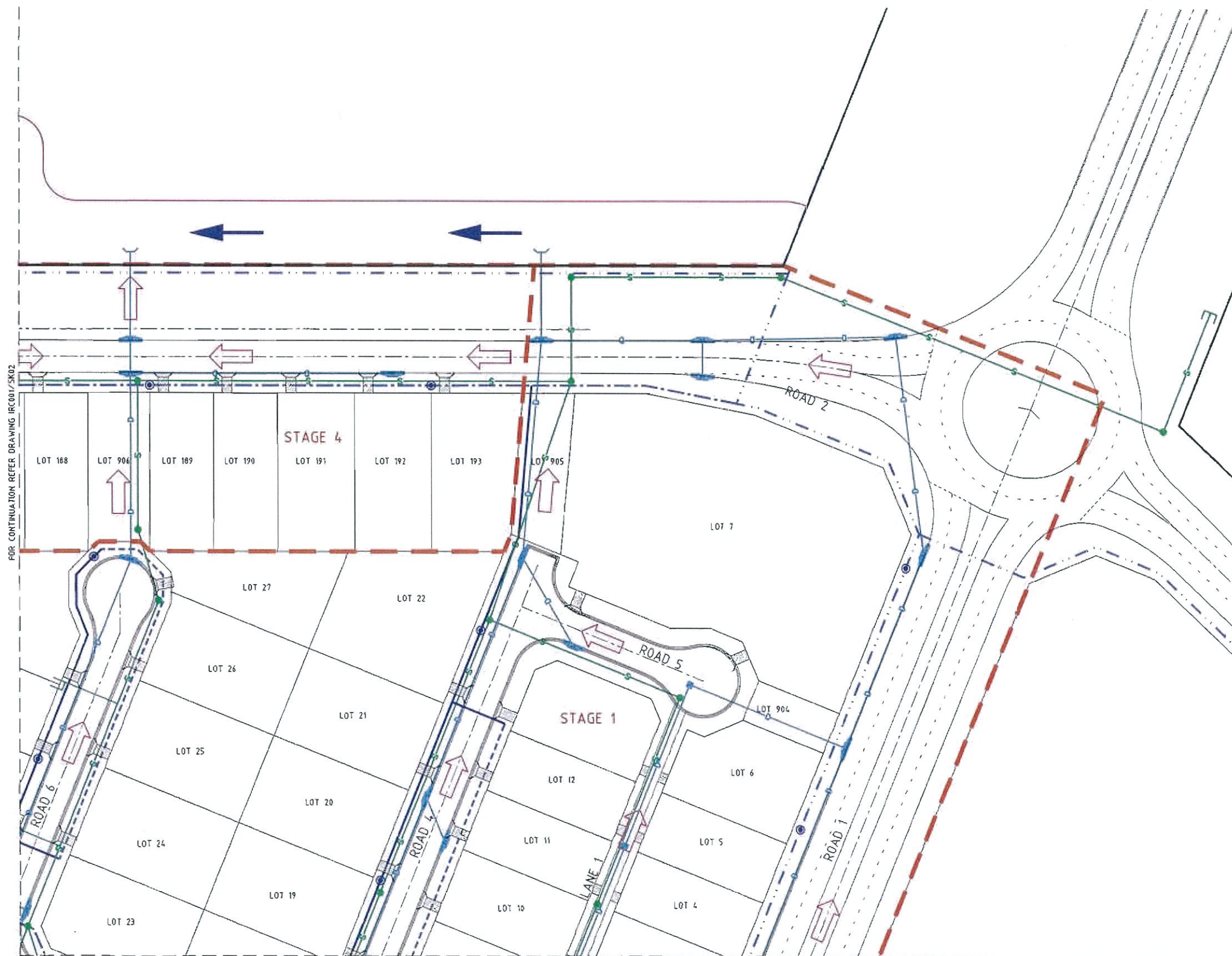
DATUM: AHD (DERIVED)

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URBAN LAND DEVELOPMENT AUTHORITY
BELYANDO ESTATE, MORANBAH
MASTER PLANNING - STAGES 1-4
COMBINED SERVICES PLAN - SHEET 1 OF 6

REV.	DATE	REVISIONS
1	08/11/12	PRELIMINARY ISSUE

DRAWING SIZE: A1	SCALE: 1:500	DRAWING No: IRC001/SK02	REV: 1
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PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

- 7 MAR 2014

MEDQ

LOCATION OF TRUNK WATER
MAINS SUBJECT TO DETAILED
DESIGN BY OTHERS

- LEGEND**
- PROPOSED WATER MAIN Ø375
 - PROPOSED WATER MAIN Ø225
 - PROPOSED WATER MAIN Ø200
 - PROPOSED WATER MAIN Ø150
 - PROPOSED WATER MAIN Ø100
 - PROPOSED WATER MAIN Ø63
 - PROPOSED WATER HYDRANT
 - PROPOSED SEWER AND MANHOLE
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 - PROPOSED STORMWATER KERB INLET PIT
 - PROPOSED STORMWATER MANHOLE/FIELD INLET
 - PROPOSED OVERLAND FLOW PATH
 - PROPOSED DRIVEWAY LOCATION
 - PROPOSED STAGE BOUNDARY

0 10.0 20.0 30.0m
SCALE 1:500

PRELIMINARY ISSUE NOT FOR CONSTRUCTION



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REAL PROPERTY DESCRIPTION:

DRAWN: J.DE VALTER
DESIGNED:
CHECKED:
PROJECT MANAGER: S.MARTIN
PROJECT DIRECTOR: S.MARTIN RPEQ 9114

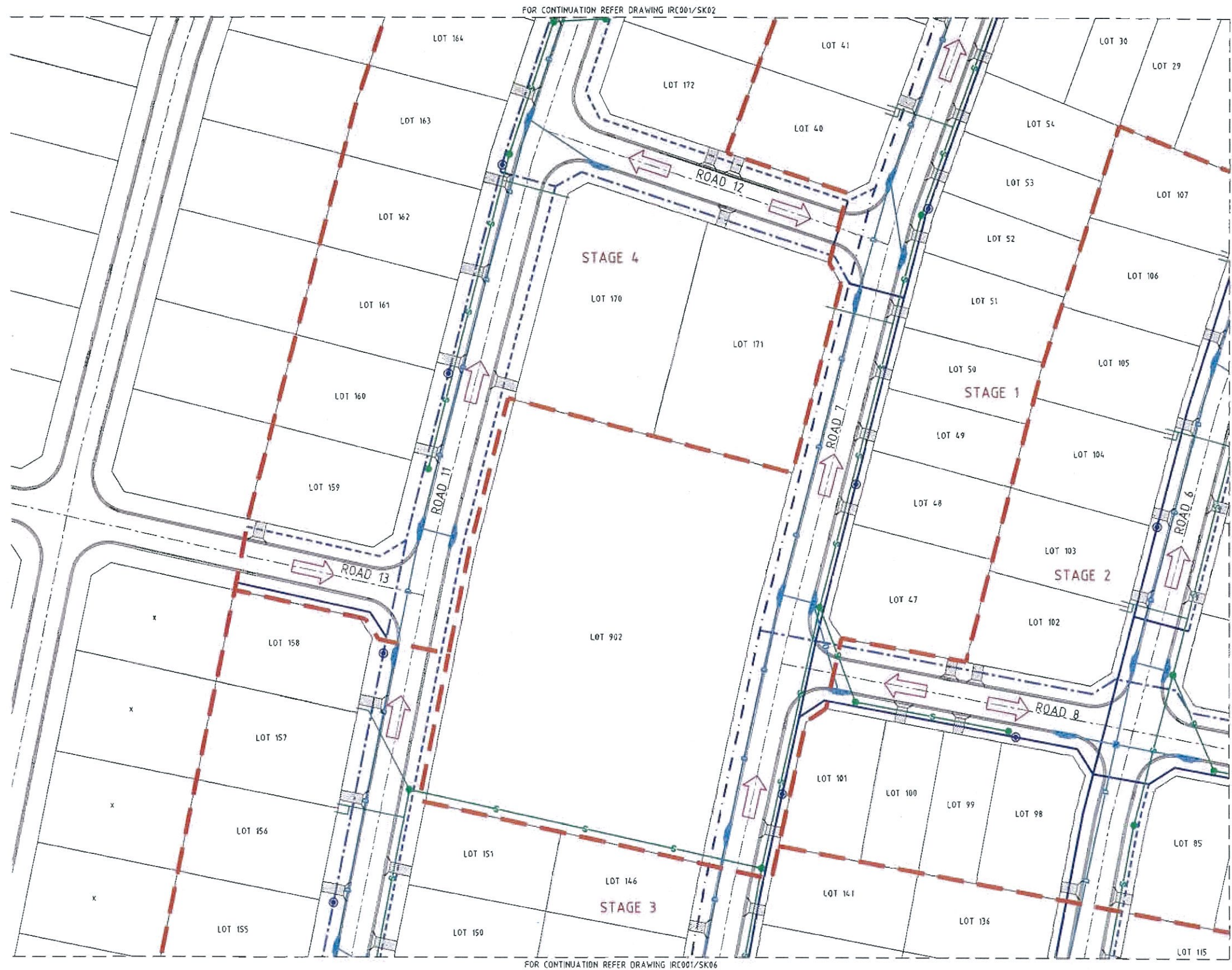
DATUM: AHD (DERIVED)

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URBAN LAND DEVELOPMENT AUTHORITY

BELYANDO ESTATE, MORANBAH
MASTER PLANNING - STAGES 1-4
COMBINED SERVICES PLAN - SHEET 2 OF 6

DRAWING SIZE	SCALE	1:500	DRAWING No.	IRC001/SK03	REV	1
A1	XREF	IRC001-XR-SK				



PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

- 7 MAR 2014

MEDQ

LEGEND

- PROPOSED WATER MAIN Ø375
- PROPOSED WATER MAIN Ø225
- PROPOSED WATER MAIN Ø200
- PROPOSED WATER MAIN Ø150
- PROPOSED WATER MAIN Ø100
- PROPOSED WATER MAIN Ø63
- PROPOSED WATER HYDRANT
- PROPOSED SEWER AND MANHOLE
- PROPOSED SEWER LOT CONNECTION
- PROPOSED STORMWATER DRAINAGE
- PROPOSED STORMWATER KERB INLET PIT
- PROPOSED STORMWATER MANHOLE/FIELD INLET
- PROPOSED OVERLAND FLOW PATH
- PROPOSED DRIVEWAY LOCATION
- PROPOSED STAGE BOUNDARY

0 10.0 20.0 30.0m
SCALE 1:500

PRELIMINARY ISSUE NOT FOR CONSTRUCTION

JAS-ANZ



REAL PROPERTY DESCRIPTION:

DRAWN:
J. DE VALTER

DATUM: AHD (DERIVED)

CHECKED:

PROJECT MANAGER:
S. MARTIN

PROJECT DIRECTOR:
S. MARTIN RPEQ 9114



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URBAN LAND DEVELOPMENT AUTHORITY

BELYANDO ESTATE, MORANBAH
MASTER PLANNING - STAGES 1-4
COMBINED SERVICES PLAN - SHEET 3 OF 6

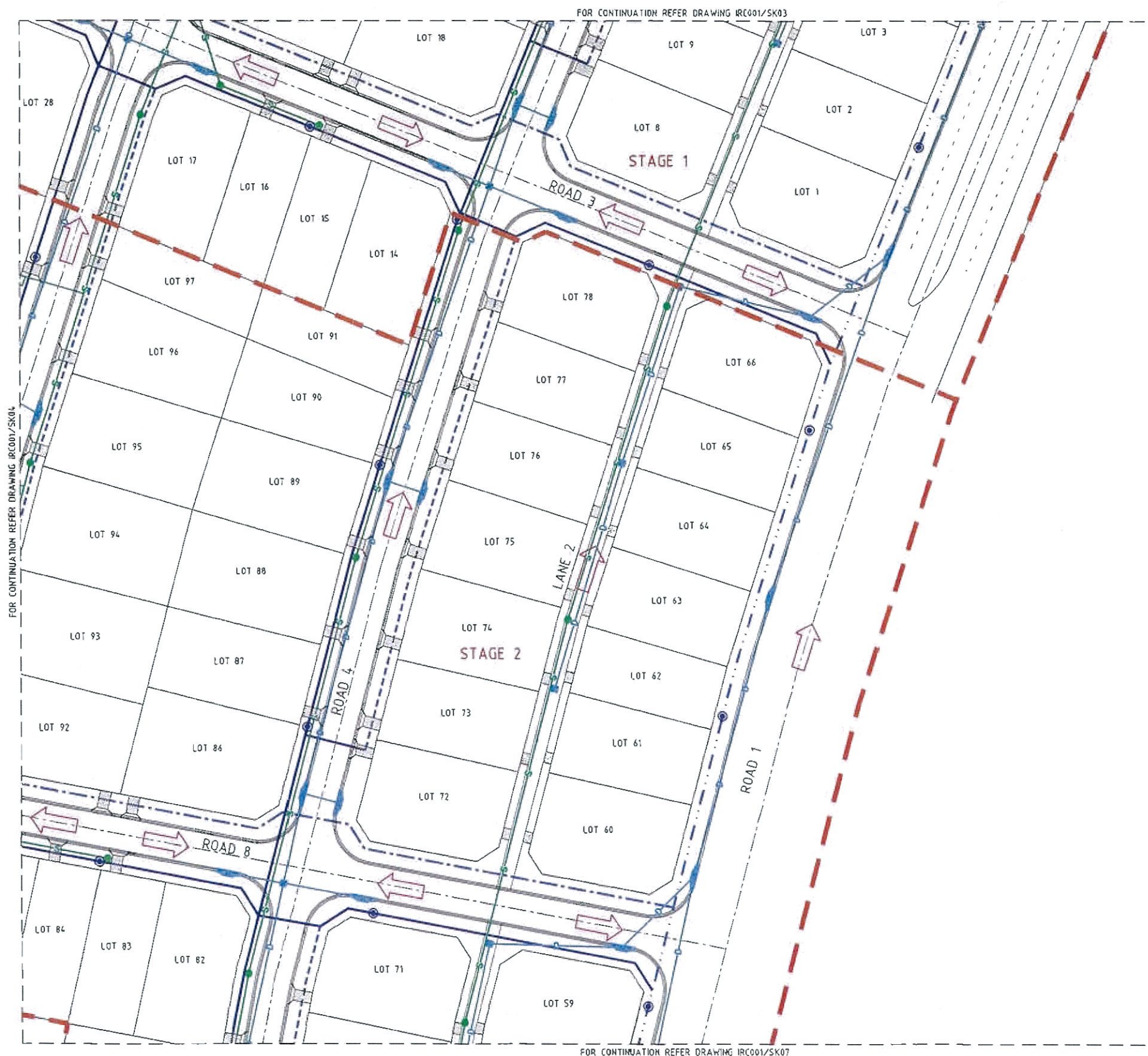
DRAWING SIZE: A1
SCALE: 1:500
XREF: IRC001-XR-SK

DRAWING No.: IRC001/SK04

REV 1

REV.	DATE	REVISIONS
1	08/11/12	PRELIMINARY ISSUE

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PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

- 7 MAR 2014

MEDQ

LEGEND

- PROPOSED WATER MAIN Ø375
- PROPOSED WATER MAIN Ø225
- PROPOSED WATER MAIN Ø200
- PROPOSED WATER MAIN Ø150
- PROPOSED WATER MAIN Ø100
- PROPOSED WATER MAIN Ø63
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- PROPOSED OVERLAND FLOW PATH
- PROPOSED DRIVEWAY LOCATION
- PROPOSED STAGE BOUNDARY

0 10.0 20.0 30.0m
SCALE 1:500

PRELIMINARY ISSUE NOT FOR CONSTRUCTION



REAL PROPERTY DESCRIPTION:

DRAWN:
J.DE VALTER

DATUM: AHD (DERIVED)

DESIGNED:

CHECKED:

PROJECT MANAGER:
S.MARTIN

PROJECT DIRECTOR:
S.MARTIN RPED 9114



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URBAN LAND DEVELOPMENT AUTHORITY

BELYANDO ESTATE, MORANBAH
MASTER PLANNING - STAGES 1-4
COMBINED SERVICES PLAN - SHEET 4 OF 6

DRAWING SIZE
A1

SCALE
1:500

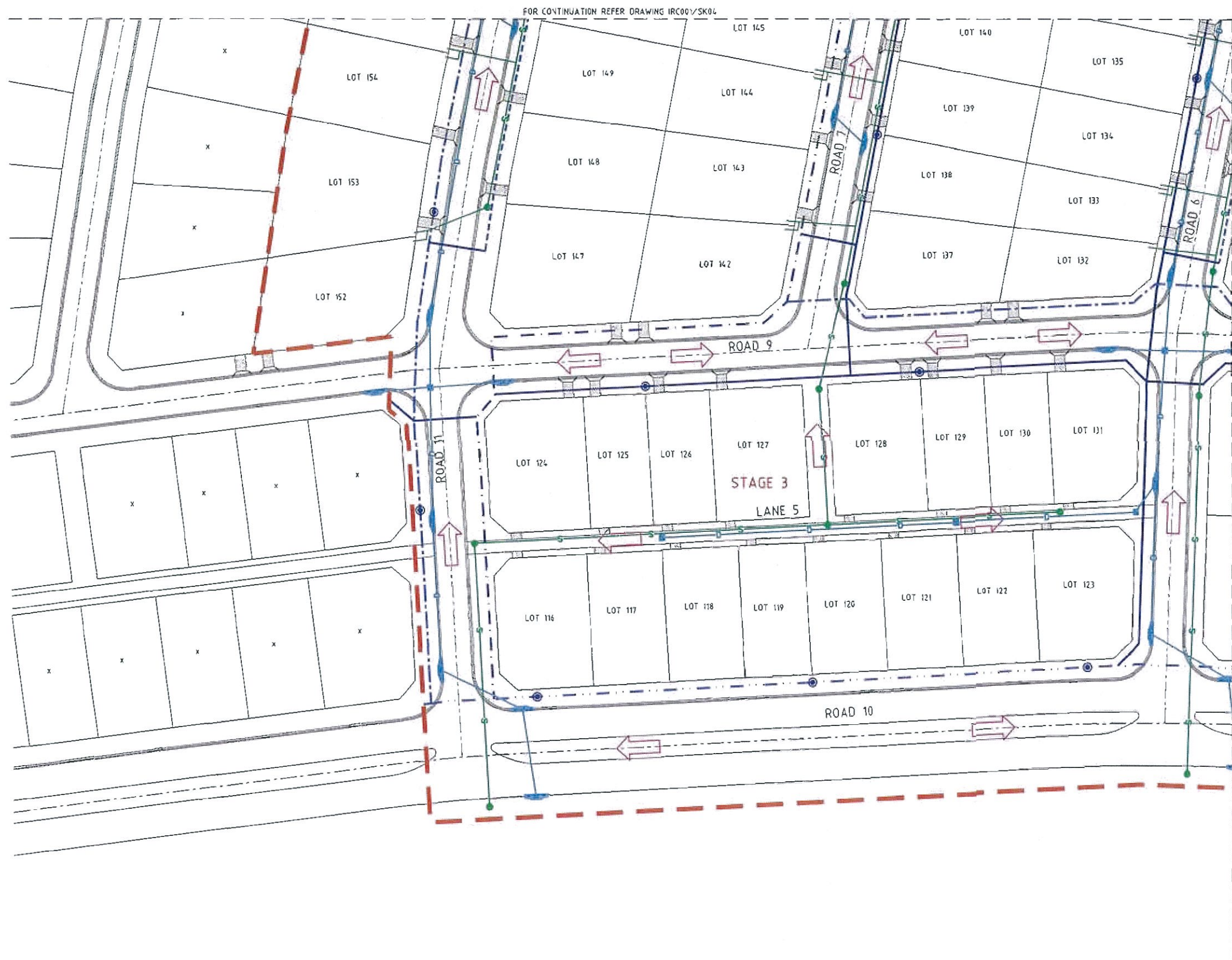
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DRAWING No.

IRC001/SK05

REV
1

1 08/11/12 PRELIMINARY ISSUE



PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

- 7 MAR 2014

MEDQ

LEGEND

- PROPOSED WATER MAIN Ø375
- PROPOSED WATER MAIN Ø225
- PROPOSED WATER MAIN Ø200
- PROPOSED WATER MAIN Ø150
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- PROPOSED STORMWATER MANHOLE/FIELD INLET
- PROPOSED OVERLAND FLOW PATH
- PROPOSED DRIVEWAY LOCATION
- PROPOSED STAGE BOUNDARY

0 10.0 20.0 30.0m
SCALE 1:500

PRELIMINARY ISSUE NOT FOR CONSTRUCTION



REAL PROPERTY DESCRIPTION:

DRAWN:
J. DE VALTER

DESIGNED:

CHECKED:

PROJECT MANAGER:
S. MARTIN

DATUM: AHD (DERIVED)

PROJECT DIRECTOR:
S. MARTIN RPEQ 9114



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URBAN LAND DEVELOPMENT AUTHORITY

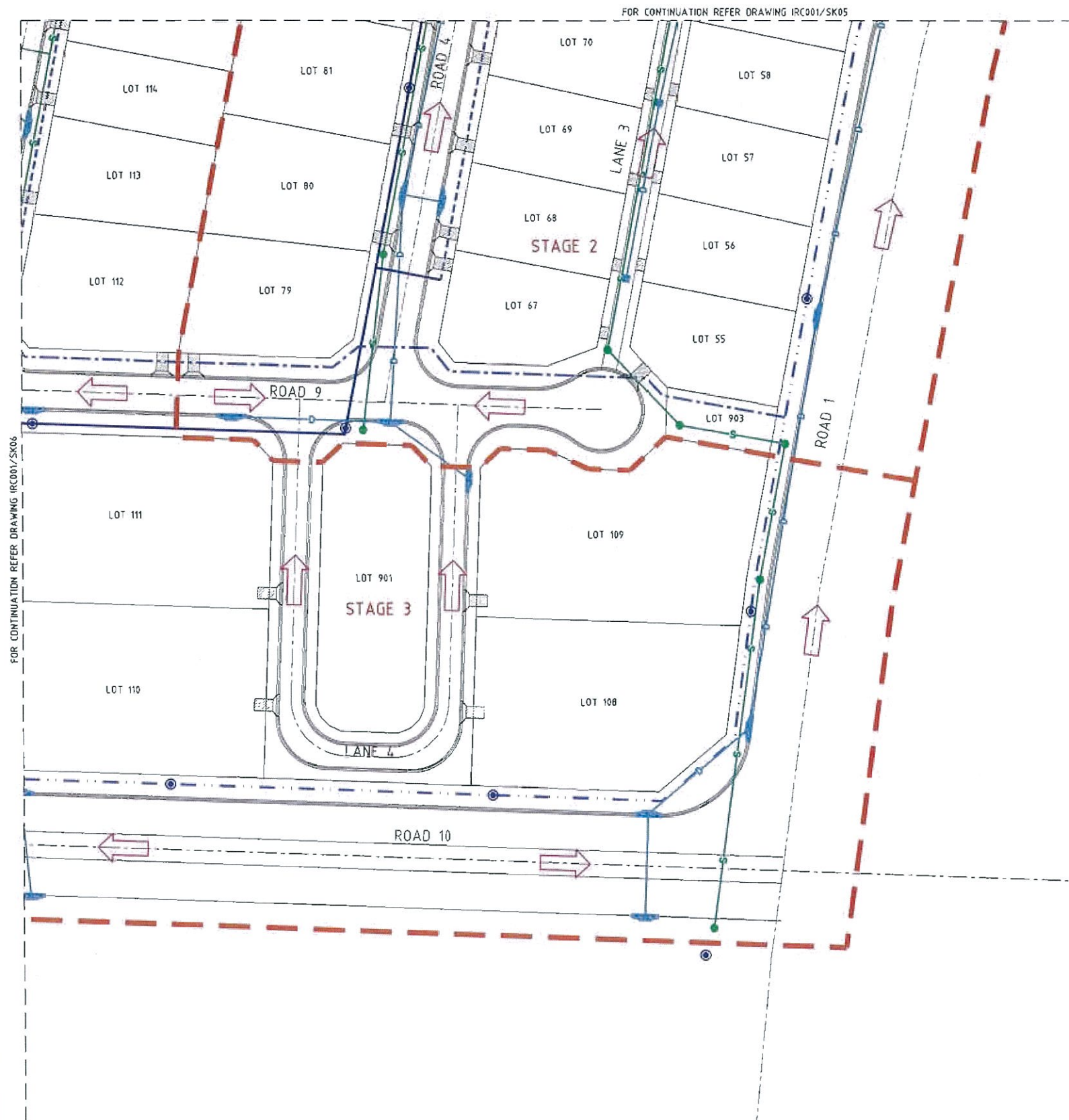
BELYANDO ESTATE, MDRANBAH
MASTER PLANNING - STAGES 1-4
COMBINED SERVICES PLAN - SHEET 5 OF 6

DRAWING SIZE SCALE 1:500
A1 XREF IRC001-XR-SK

DRAWING No.
IRC001/SK06

REV
1

REV.	DATE	REVISIONS
1	08/11/12	PRELIMINARY ISSUE



PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

- 7 MAR 2014

MEDQ

LEGEND

- PROPOSED WATER MAIN Ø 375
- PROPOSED WATER MAIN Ø 225
- PROPOSED WATER MAIN Ø 200
- PROPOSED WATER MAIN Ø 150
- PROPOSED WATER MAIN Ø 100
- PROPOSED WATER MAIN Ø 63
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- PROPOSED STORMWATER KERB INLET PIT
- PROPOSED STORMWATER MANHOLE/FIELD INLET
- PROPOSED OVERLAND FLOW PATH
- PROPOSED DRIVEWAY LOCATION
- PROPOSED STAGE BOUNDARY

0 10.0 20.0 30.0m

SCALE 1:500

PRELIMINARY ISSUE NOT FOR CONSTRUCTION



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REAL PROPERTY DESCRIPTION:

DRAWN:
J. DE VALTER

DESIGNED:

CHECKED:

PROJECT MANAGER:
S. MARTIN

DATUM: AHD (DERIVED)

PROJECT DIRECTOR:
S. MARTIN RPEQ 9114



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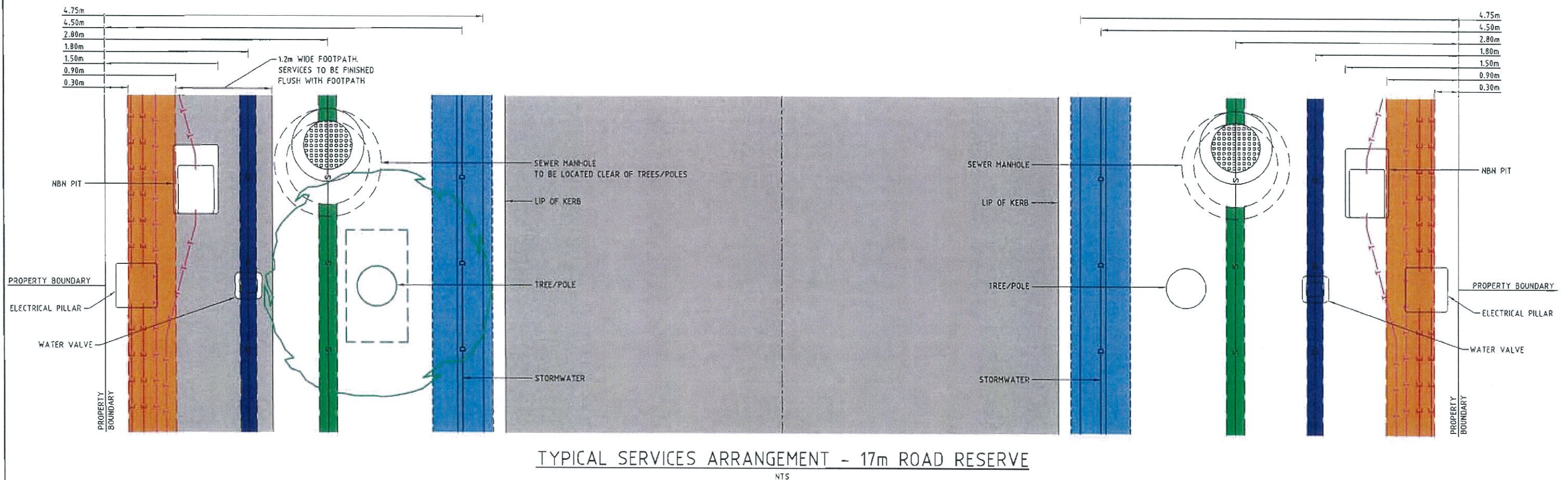
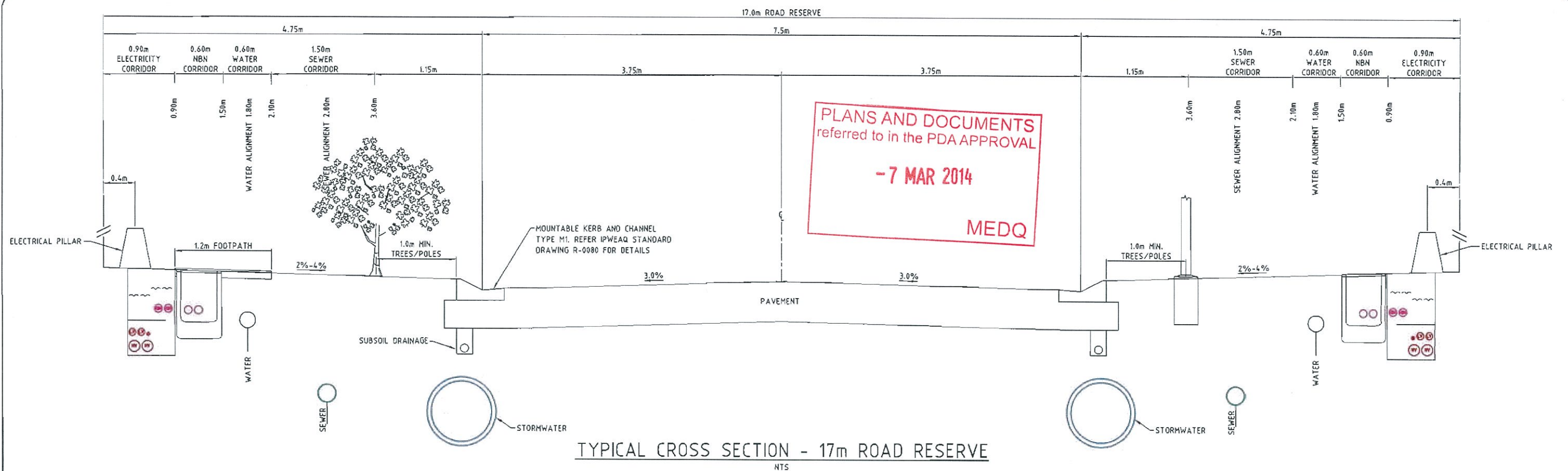
URBAN LAND DEVELOPMENT AUTHORITY

BELYANDO ESTATE, MORANBAH
MASTER PLANNING - STAGES 1-4
COMBINED SERVICES PLAN - SHEET 6 OF 6

DRAWING SIZE: A1
SCALE: 1:500
XREF: IRC001-XR-SK

DRAWING No: IRC001/SK07

REV
1



PRELIMINARY ISSUE NOT FOR CONSTRUCTION



REAL PROPERTY DESCRIPTION:

DRAWN:
G.PARKER

DATUM: AHD (DERIVED)

DESIGNED:

CHECKED:

PROJECT MANAGER:
S.MARTIN

PROJECT DIRECTOR:
S.MARTIN RPEQ 9114

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URBAN LAND DEVELOPMENT AUTHORITY

BELYANDO ESTATE, MORANBAH

MASTER PLANNING - STAGES 1-4

TYPICAL ROAD CROSS SECTION AND SERVICE ALIGNMENT PLAN

DRAWING SIZE
A1

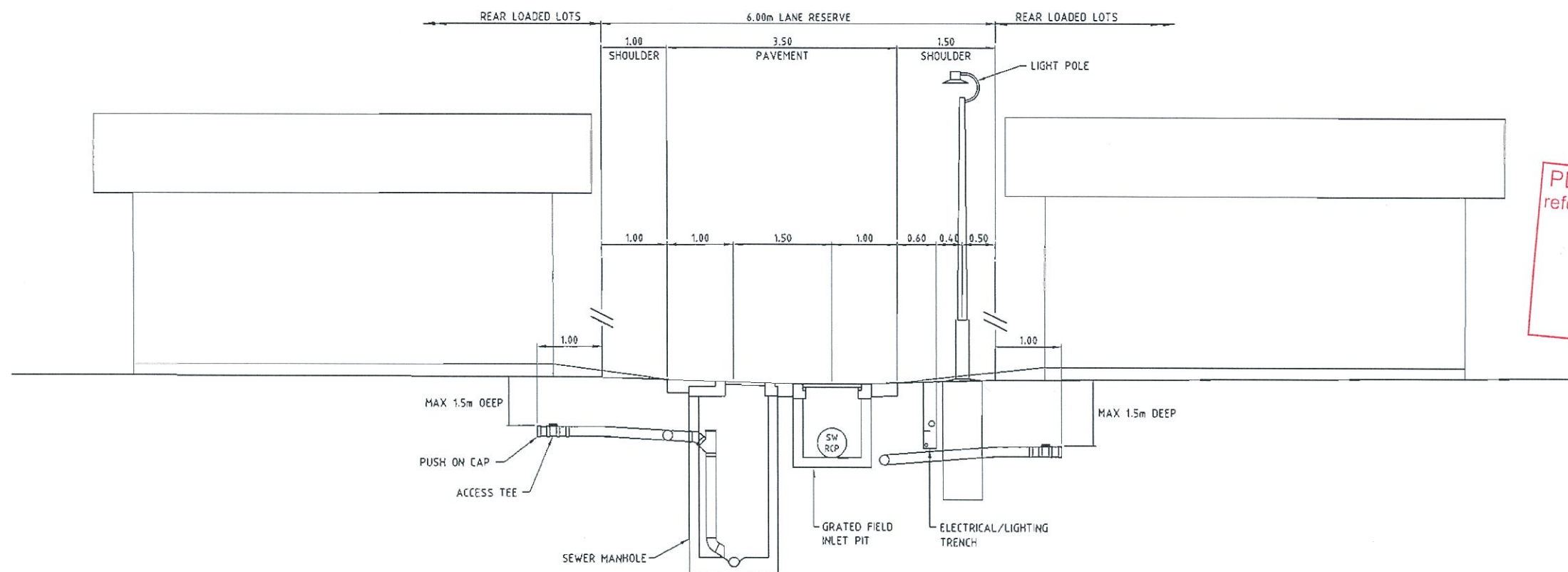
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XREF

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DRAWING No.

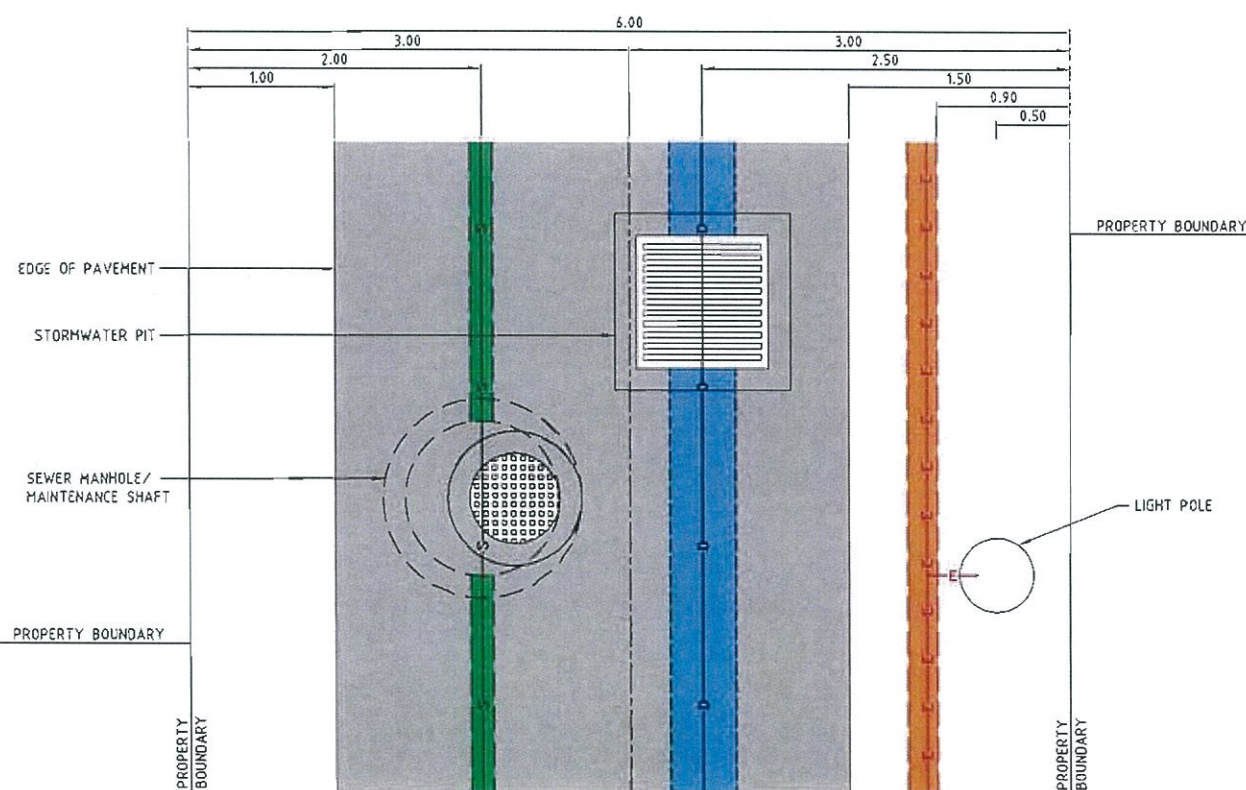
IRC001/SK08

REV
1



TYPICAL CROSS SECTION - LANEWAY

NTS



TYPICAL SERVICES ARRANGEMENT - LANEWAY

NTS

PRELIMINARY ISSUE NOT FOR CONSTRUCTION



REAL PROPERTY DESCRIPTION:

DRAWN:
G.PARKER

DATUM: AHD (DERIVED)

DESIGNED:

CHECKED:

PROJECT MANAGER:
S.MARTIN

PROJECT DIRECTOR:
S.MARTIN RPEQ 9114



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URBAN LAND DEVELOPMENT AUTHORITY

BELYANDO ESTATE, MORANBAH

MASTER PLANNING - STAGES 1-4

COMBINED SERVICES PLAN - LOCALITY AND KEY PLAN

DRAWING SIZE SCALE N/A
A1 XREF

DRAWING No.
IRC001/SK09

REV
1

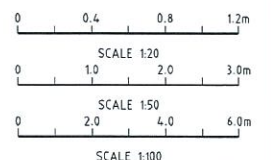
1 08/11/12 PRELIMINARY ISSUE

45mm ASPHALT SURFACING (DG14)
125mm BASE COURSE (DMR TYPE 2.1)
125mm SUB BASE COURSE (DMR TYPE 2.3)
175mm LOWER SUB BASE (DMR TYPE 2.5)
PAVEMENT DESIGN BASED ON ASSUMED
SUBGRADE CBR 5.0% (SOAKED) AND
DESIGN TRAFFIC 2×10^6 ESA.

PRIME & 2 COAT SEAL
125mm BASE COURSE (DMR TYPE 2.1)
125mm SUB BASE COURSE (DMR TYPE 2.3)
270mm LOWER SUB BASE (DMR TYPE 2.5)
300mm SUBGRADE REPLACEMENT (CBR 15) (IF REQUIRED)
PAVEMENT DESIGN BASED ON ASSUMED
SUBGRADE CBR 3.0% (SOAKED) AND
DESIGN TRAFFIC 1x10⁶ ESA.



MEDQ



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D.GIBSON RPEQ 13230

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2

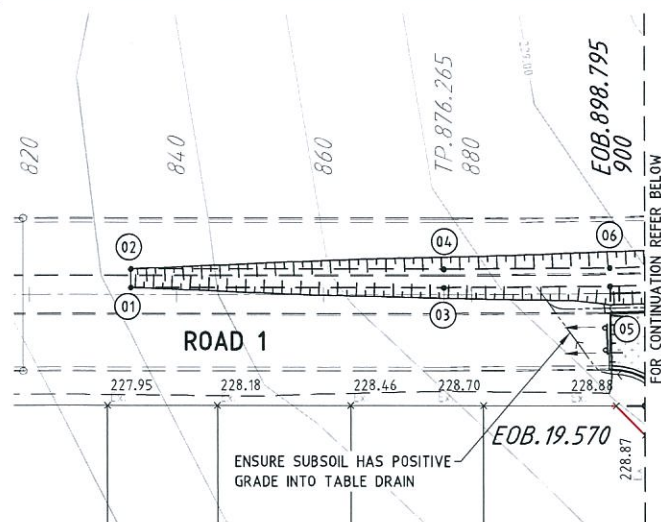
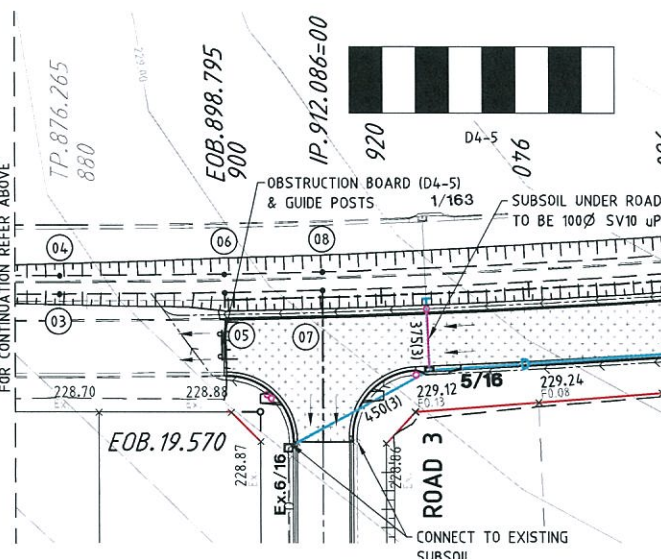
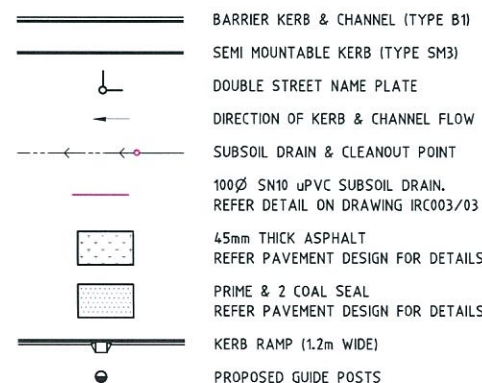


TABLE DRAIN SETOUT POINT DETAILS

POINT	EASTING	NORTHING	LEVEL
01	606777.077	7565047.516	Ex.228.064
02	606778.528	7565045.480	Ex.228.064
03	606742.456	7565022.843	228.290
04	606743.907	7565020.807	228.290
05	606724.248	7565009.606	228.409
06	606725.737	7565007.598	228.409
07	606713.601	7565001.621	228.542
08	606715.053	7564999.584	228.542
09	606564.750	7564867.701	230.073
10	606566.572	7564865.988	230.073
11	606534.525	7564835.551	230.373
12	606536.346	7564833.838	230.373
13	606492.163	7564788.024	230.731
14	606494.073	7564786.411	230.731
15	606489.269	7564784.598	230.756
16	606491.179	7564782.985	230.756



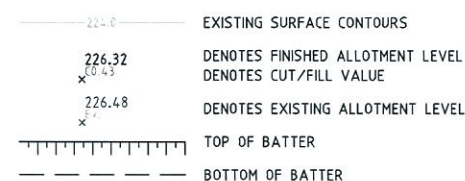
ROADWORKS LEGEND



ROADWORKS NOTES

- ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT LATEST ISSUE COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- FOR ROAD LONGITUDINAL AND CROSS SECTIONS, REFER TO DRAWING IRC003/05-17.
- FOR INTERSECTIONS, REFER ROADWORKS DETAILS PLAN DRAWING IRC003/18-21.
- ALL CHAINAGES SHOWN ARE PEGGED CHAINAGES.
- EXISTING SERVICES MAY BE LOCATED WITHIN THE SITE. THE CONTRACTOR IS TO LOCATE ALL SERVICES BY CONTACTING THE RELEVANT AUTHORITY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- FOR KERB & CHANNEL DETAILS, REFER IPWEAQ STANDARD DRAWING R-0080.
- FOR SUBSOIL DRAIN DETAILS, REFER DRAWING IRC003/03.
- FOR KERB RAMP DETAILS, REFER DRAWING IRC003/03.

EARTHWORKS LEGEND

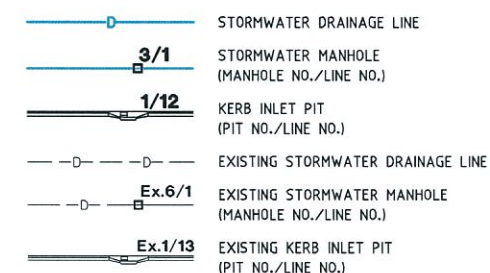


EARTHWORKS NOTES

- ALL BACKFILL TO BE COMPACTED TO NOT LESS THAN 95% OF THE STANDARD MAXIMUM DRY DENSITY TO A.S.1289 IN MAXIMUM 150mm LAYERS, UNLESS NOTED OTHERWISE.
- ALL FILL 300mm BELOW ROAD BOXING TO BE COMPACTED TO NOT LESS THAN 97% OF THE STANDARD MAXIMUM DRY DENSITY TO A.S.1289 IN MAXIMUM 150mm LAYERS, UNLESS NOTED OTHERWISE.
- CONTOURS SHOWN THUS $\text{---} \cdot \cdot \cdot \text{---}$ INDICATE GROUND LEVELS PRIOR TO THE COMMENCEMENT OF THIS STAGE.

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL
-7 MAR 2014
MEDQ

STORMWATER LEGEND



STORMWATER NOTES

- FOR HYDROLOGY AND HYDRAULIC DETAILS, REFER TO STORMWATER DATA TABLES ON DRAWING IRC003/31-32.
- FOR STORMWATER SETOUT & LEVELS, PIPE LENGTHS AND CLASS AND MANHOLE TYPES, REFER DRAWING IRC003/23-26.
- ALL RCP CUTS TO BE MADE USING A MASONRY SAW.
- ALL RCP'S UNDER ROAD PAVEMENT TO BE BACKFILLED WITH CRUSHER DUST, TO UNDERSIDE OF PAVEMENT.
- FOR REVEGETATION DETAILS REFER TO JOB SPECIFICATION.

EXISTING SERVICES
ALL EXISTING SERVICES ARE TO BE LOCATED BY THE CONTRACTOR THROUGH CONTACTING THE RELEVANT SERVICE AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY WORK

0 10.0 20.0 30.0m
SCALE 1:500

PRELIMINARY ISSUE NOT FOR CONSTRUCTION

REV.	DATE	REVISIONS
2	05/08/13	MINOR AMENDMENTS - TABLE DRAIN REALIGNMENT
1	05/08/13	ISSUED FOR APPROVAL



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REAL PROPERTY DESCRIPTION:
LOT 29 ON SP218555

DRAWN: J.STROGUSZ	DATUM: AHD
DESIGNED: J.STROGUSZ	PSM 23364 RL.231.974 MERIDIAN: MGA ZONE 55
CHECKED: G.FYSH	
PROJECT MANAGER: M.RYAN	PROJECT DIRECTOR: D.GIBSON RPEQ 13230

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ISAAC REGIONAL COUNCIL

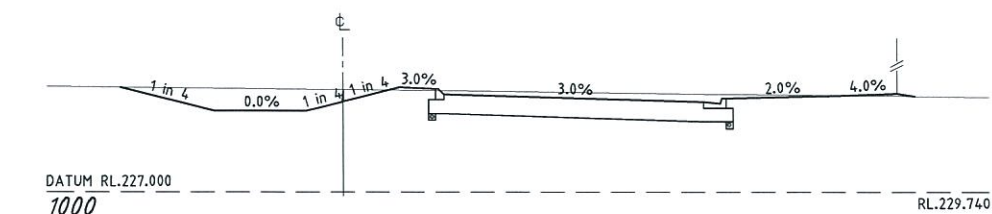
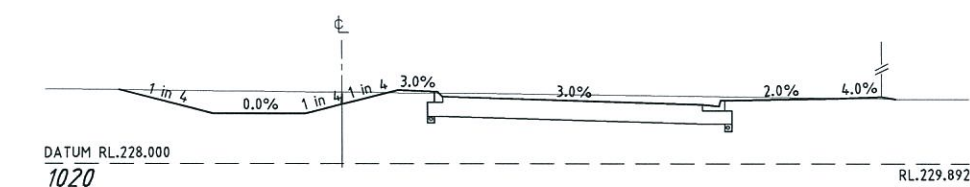
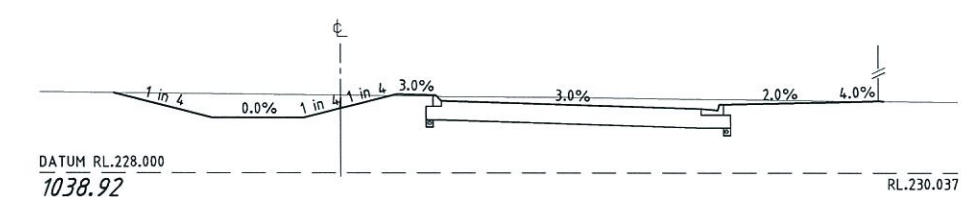
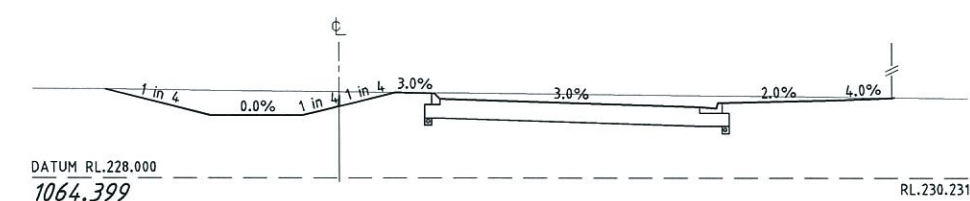
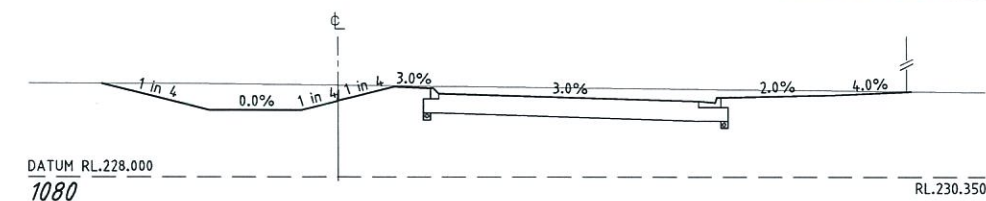
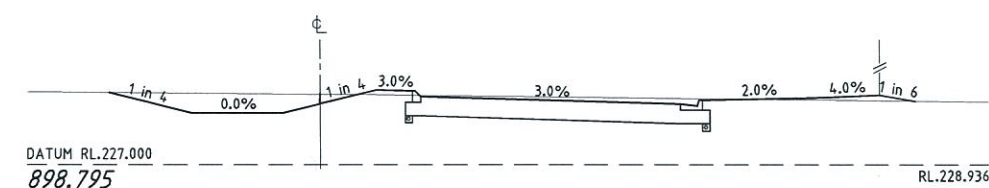
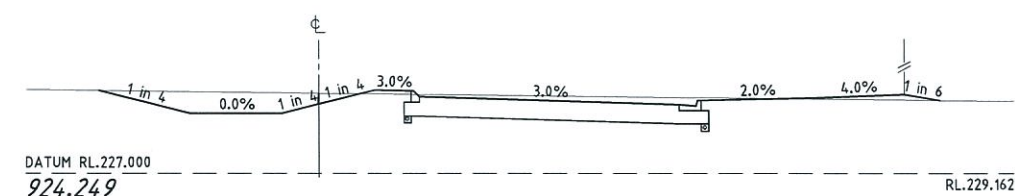
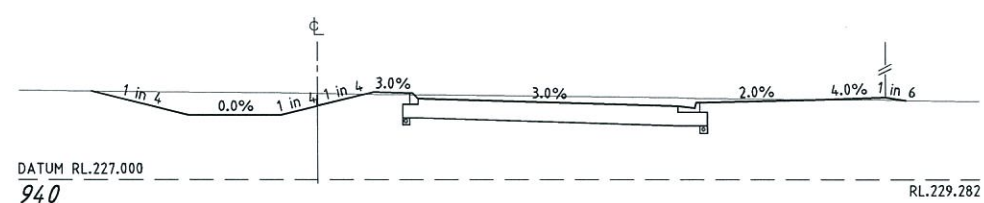
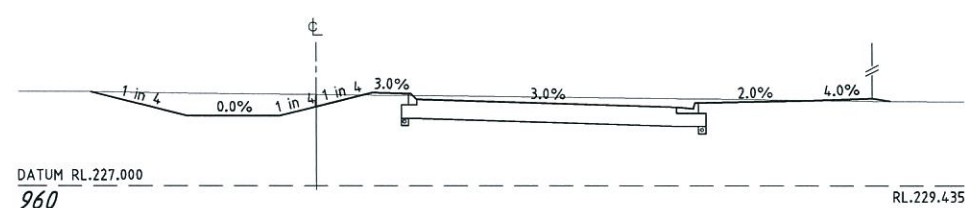
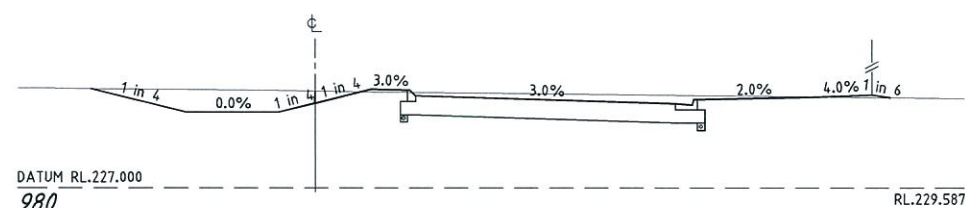
BELYANDO ESTATE - TEMPORARY ACCESS ROAD
BELYANDO ESTATE, MORANBAH
ROAD 1 ROADWORKS & STORMWATER DRAINAGE PLAN

DRAWING SIZE	SCALE	DRAWING No.	REV
A1	1:500	IRC003/04	2

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

- 7 MAR 2014

MEDQ

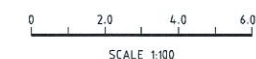


NOTES:

1. FOR ROAD PAVEMENT DETAILS AND TYPICAL CROSS SECTION, REFER DRAWING IRC003/03.

ROAD 1 CROSS SECTIONS

SCALE 1:100



PRELIMINARY ISSUE NOT FOR CONSTRUCTION



REAL PROPERTY DESCRIPTION:

LOT 29 ON SP218555

DRAWN:
J.STROGUSZ

DATUM: AHD

DESIGNED:
J.STROGUSZ

PSM 23364

CHECKED:
G.FYSH

RL.231.974
MERIDIAN: MGA ZONE 55

PROJECT MANAGER:
M.RYAN

PROJECT DIRECTOR:
D.GIBSON RPEQ 13230

UDP Consulting Engineers

Urban Development Design Infrastructure Project Management

DALGETY PLACE
84 DENHAM STREET
PO BOX 1110
TOWNSVILLE QLD 4810

Phone: (07) 4772 0866
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Web: www.udpconsulting.com.au

ISAAC REGIONAL COUNCIL

BELYANDO ESTATE - TEMPORARY ACCESS ROAD
BELYANDO ESTATE, MORANBAH
ROAD 1 CROSS SECTIONS - SHEET 1 OF 2

DRAWING SIZE SCALE 1:100
A1 XREF

DRAWING No. IRC003/11

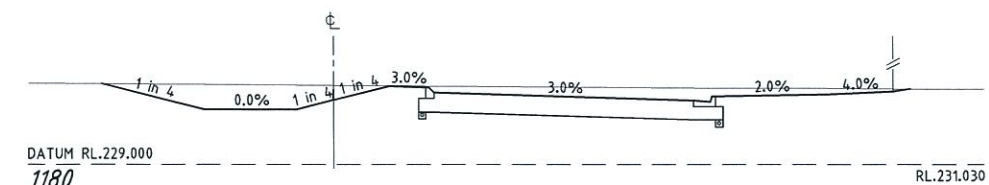
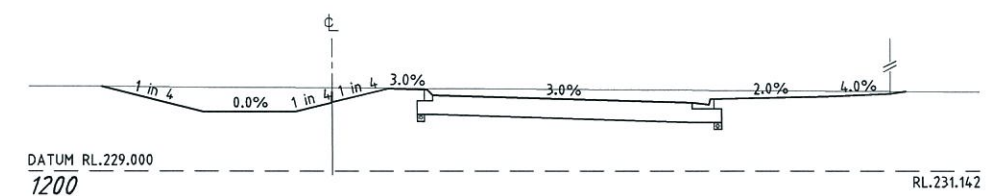
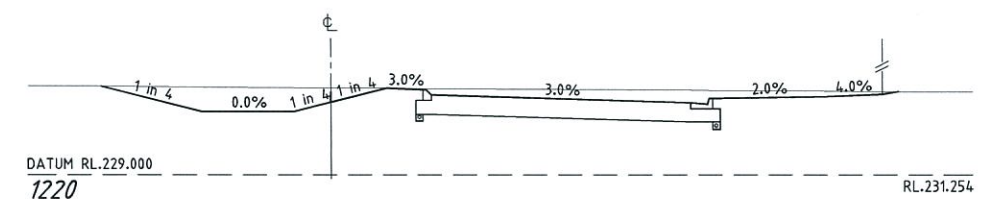
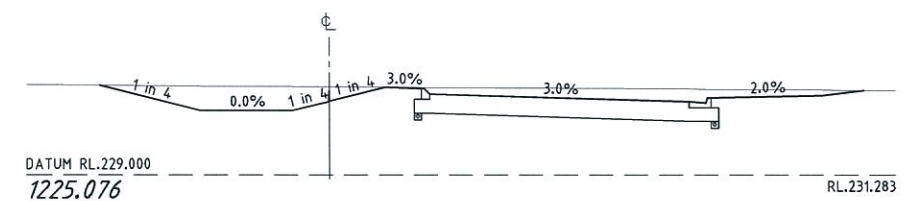
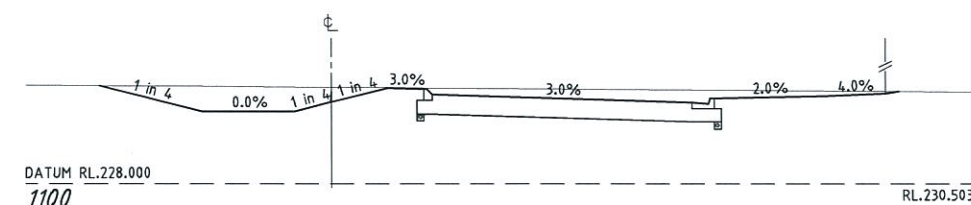
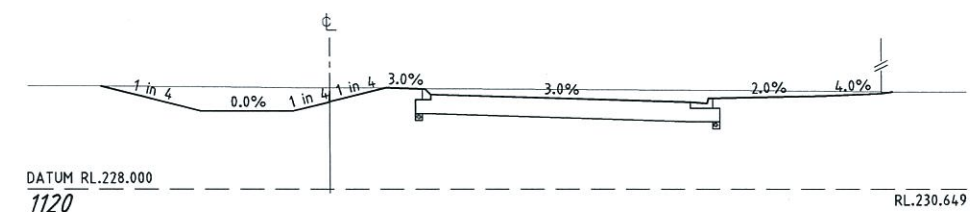
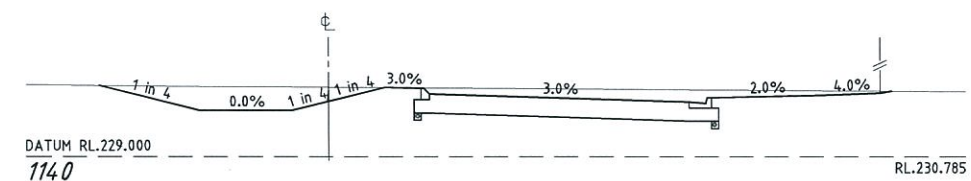
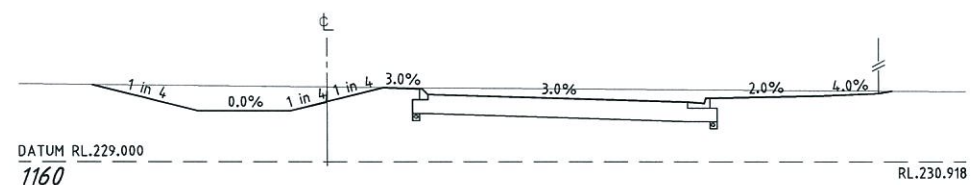
REV 2

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PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

- 7 MAR 2014

MEDQ



NOTES:

- FOR ROAD PAVEMENT DETAILS AND TYPICAL CROSS SECTION, REFER DRAWING IRC003/03.

ROAD 1 CROSS SECTIONS

SCALE 1:100

0 2.0 4.0 6.0m
SCALE 1:100

PRELIMINARY ISSUE NOT FOR CONSTRUCTION



REAL PROPERTY DESCRIPTION:
LOT 29 ON SP218555

DRAWN:
J.STROGUSZ
DESIGNED:
J.STROGUSZ
CHECKED:
G.FYSH
PROJECT MANAGER:
M.RYAN
DATUM: AHD
PSM 23364
RL.231.974
MERIDIAN: MGA ZONE 55
PROJECT DIRECTOR:
D.GIBSON RPEQ 13230

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ISAAC REGIONAL COUNCIL

BELYANDO ESTATE - TEMPORARY ACCESS ROAD
BELYANDO ESTATE, MORANBAH
ROAD 1 CROSS SECTIONS - SHEET 2 OF 2

DRAWING SIZE A1	SCALE XREF	DRAWING No. IRC003/12	REV 2
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