

REQUIREMENTS FOR ALL RESIDENTIAL LOTS

These provisions are to be used in addition to the Queensland Development Code. Where there is conflict between QDC and this PoD, this PoD will prevail.

1. Setbacks

1.1. The building setbacks are in accordance with Table 1.1 and 1.2 measured to the outmost projection of the wall or balustrade for any deck or verandah excluding eaves, window hoods or screens/shutters. Setbacks in the tables set out below provide a minimum distance to be achieved.

Table 1.1 – Low Rise Residential - Class 1 Dwelling					
Mn. separation from boundary to built form	Lot width 12.5-14.9		Lot width 15.0-19.9		Lot width 20.0+
	1st Level	2nd Level	1st Level	2nd Level	
Front	3.0	3.0	3.0	3.0	3.0
Side	1.0	1.0	1.0	1.5	1.2
Rear to house	3.0	3.0	3.0	3.0	3.0
2nd frontage	1.5	1.5	1.5	1.5	1.5

Table 1.2 – Caport, Shed & Patio/Pergola - Class 10 Building and Structures					
Minimum separation from boundary to the built form	Lot width 12.5-14.9		Lot width 15.0-19.9		Lot width 20.0+
	First level	First level	First level	First level	
Front to Shed	5.0	5.0	5.0	5.0	5.0
Front to Car Port	0.550 5.0m	0.550 5.0m	0.550 5.0m	0.550 5.0m	0.550 5.0m
Front to other structures (if not mentioned above)	4.0	4.0	4.0	4.0	4.0
2nd frontage (side street)	1.5	1.5	1.5	1.5	1.5

Table 2.1 – Dwellings per site and site coverage					
Max. number of dwellings per site	Adaptable		Courtyard		MFD
	Long	Trans	Long	Trans	
Max. total site coverage	60%	60%	60%	60%	75%

Table 2.2 – Building Scale and Density					
Max. number of dwellings per site	Adaptable		Courtyard		MFD
	Long	Trans	Long	Trans	
Max. total site coverage	60%	60%	60%	60%	75%

2.1. The number of dwellings on each residential lot do not exceed the maximum number of dwellings prescribed in Table 2.1.

2.2. Site cover on each residential lot does not exceed the maximum total site coverage identified in Table 2.1.

2.3. Buildings and structures do not exceed two storeys and have maximum height of 8.5m above ground level.

2.4. No building or structure over 2m is to be built within a 6m by 6m truncation at the corner of 2 road frontages.

2.5. Expression of the roof form must include hipped, gable or skillion profiles.

2.6. Parapet elements are encouraged to provide articulation in conjunction with a dominant roof profile. A flat roof or a continuous parapet built form solution is not considered in keeping with the desired aesthetic. Parapet elements are encouraged to provide articulation in conjunction with a dominant roof profile.

2.7. Roof pitch for hip and gable roofs shall be no less than 25 degrees. Roof pitch for skillion roofs shall be between 7.5 degrees and 15 degrees. Skillion roofs less than 7.5 degrees shall be concealed by a parapet which can be no greater than 60% of the street elevation.

2.8. Buildings orientate towards and overlook streets and public spaces, not rear lanes except where there is a secondary dwelling or three or more dwellings on an adaptable lot.

2.9. All conditioning units and rainwater tanks must all be located behind the main building line and be visible from the street screened with landscape or architectural screens.

2.10. Private open space for a one or two bedroom dwelling unit is a minimum 9m² with a minimum dimension of 3.0 metres.

2.11. Private open space for a three or more bedroom house/dwelling unit is a minimum 12m² with a minimum dimension of 3.0 metres.

2.12. Private open space, is accessible from a living room; Has a maximum gradient not exceeding 1:20.

3. Built to boundary walls

3.1. Built to boundary walls are:

- limited to lots and locations identified on the Plan of Development as being appropriate for built to boundary walls;
- limited to one side boundary;
- no windows or openings to the side boundary;
- maximum average height of 3.5m;
- maximum height of 4.5m.

3.2. Built to boundary walls are not to exceed a maximum length of 65 per cent of the side boundary.

3.3. For the avoidance of doubt, where not B or B (within 250mm) all other parts of the building must comply with the nominated setbacks.

4. Environmental Controls

4.1. Eave overhangs – Eaves are required as an extension of the roof form and provide necessary weather and solar protection to walls and openings. Where eaves are visible from the street, raking soffits are desirable to enhance the built form character.

4.2. Eaves shall be a minimum of 0.64m to outside of fascia unless on zero lot boundary.

4.3. Window hoods – horizontal awnings are encouraged to provide weather and solar protection to windows. Expressed hanger supports to hoods/awnings are desirable and in keeping with the sub-tropical design aesthetic.

4.4. Window hoods are permitted on max 50% of all windows and should be primarily over windows facing North or West.

4.5. Privacy / Solar screens – Powdercoat aluminium or painted timber batten or louvre screens are encouraged to provide privacy and shading of openings – primarily to West and North elevations.

4.6. Balustrade treatment – Balustrades to upper level balconies should provide a balance between maintaining privacy and visual connection to public spaces. Preferred materials for balustrades shall include aluminium battens (where BCA compliant), ic panels, board cladding and glass infill.

5. Lot Services

5.1. Water meters are to be located within property boundary in accordance with Isaac Regional Council development standards.

5.2. Site has drying and rubbish bin areas behind the main dwelling and preferably screened.

5.3. Electricity and Communication infrastructure is provided within underground conduits.

5.4. Letterbox clearly visible and identifiable from street and are located in private property within the lot.

6. Parking

6.1. For a one bedroom dwelling unit 1 covered space per dwelling.

6.2. For a two or more bedroom house or dwelling unit 2 spaces per dwelling, preferably in an enclosed garage or at least one which must be capable of being covered. Car spaces may be provided in tandem.

6.3. Driveways and crossovers are located generally in accordance with preferred access locations identified on the Plan of Development to reduce conflicts with development infrastructure and adjoining private property within the lot.

6.4. An alternative location may be considered on its merits and approved by Council. DSDIP - PDA Development Assessment.

6.5. The maximum width of a driveway and crossover on verge measured at the property boundary:

- serving a double garage or carport shall be 4.8 metres at the lot boundary;
- serving a single garage or carport shall be 3.0 metres at the lot boundary;
- Maximum of one driveway per dwelling for lots with rear lanes fronting major dual carriageway roads (road reserve width greater than 18m), with the driveway from rear lane only. Otherwise lots with rear lanes can utilise access of each frontage (ie front and back).

6.6. Minimum distance of a driveway from an intersection of one street with another street is 6.0m measured from the corner truncation of the lot. On lot with a frontage less than 12.5m, any undercover parking is provided with a clearance height of 2.4m.

7. Streetscape Diversity and Activation

7.1. Buildings incorporate two or more of the following design elements to provide building diversity as well as respond to the climate:

- varandahs;
- roof overhangs;
- window hoods/screens;
- awnings and shade structures.

7.2. Front entry to all dwellings is clearly defined, with elements such as a direct path and separate covered area at the front door.

7.3. Individual dwelling entries and courtyards are to be directly accessible from adjoining streets and public spaces.

7.4. All buildings with a width of more than 10m that are visible from a street or a park are articulated to reduce the mass of the building by:

- stepping of the main facade and garage opening;
- windows recessed into the facade;
- provision of balconies, porches or verandahs;
- provision of window hoods;
- shadow lines created on the building through minor changes in the facade (0.1m minimum).

7.5. Buildings facing more than one street must address each street frontage or park frontage through one or more of these elements:

- varandahs;
- porches;
- awning and shade structures;
- variation to roof and building lines;
- inclusion of window openings;
- use of varying building materials.

8. Fencing

8.1. Front fences where:

- over 1.2m in height are aligned with the building line of the house;
- 1.2m or less in height are aligned on the front boundary;
- Side fences where they front the street (ie corner lots) and fences that directly front park or open space are to comply with the following:
- maximum height of 1.2m where solid and forming a wall; or
- maximum height of 1.8m where fencing contains openings that make more than 50 per cent transparent;
- All precluded metal fences must be a minimum of 1.0m or behind the adjacent building.

8.4. For fence on rear lanes see section 11. For fence on rear lanes see section 11.

8.5. Street Edge

Integrated screen fencing to delineate the private and public space – For a one bedroom house or dwelling unit 2 spaces per dwelling, preferably in an enclosed garage or at least one which must be capable of being covered. Car spaces may be provided in tandem.

8.6. Entrance clarity – residential entries, gates, pathways, openings in carports and garages are compatible with the main building design in terms of height, roof form, detailing, materials and colours.

8.7. If visible from the street (excluding laneways) sheds and carports must not be more than 6m wide, or 50% of the building frontage, whichever is lesser.

8.8. Garages are located behind the front building facade by a minimum of 1m. In the case of 2 storey dwellings, garages are recessed beneath the upper storey by a least 1m.

8.9. Shed and carport structures are not to be more than 4.5m high.

8.10. Sheds, garages and other detached standalone structures must all be located behind the main (front) building line on streets (not including laneways). Carports may be located in front of the building line and must remain open and are not enclosed by walls.

8.11. Sheds, carports and garages

Carports and garages are compatible with the main building design in terms of height, roof form, detailing, materials and colours.

8.12. If visible from the street (excluding laneways) sheds and carports must not be more than 6m wide, or 50% of the building frontage, whichever is lesser.

8.13. Garages are located behind the front building facade by a minimum of 1m. In the case of 2 storey dwellings, garages are recessed beneath the upper storey by a least 1m.

8.14. Shed and carport structures are not to be more than 4.5m high.

8.15. Sheds, garages and other detached standalone structures must all be located behind the main (front) building line on streets (not including laneways). Carports may be located in front of the building line and must remain open and are not enclosed by walls.

REQUIREMENTS FOR RESIDENTIAL LOTS – TRADITIONAL LANEWAY, ADAPTABLE AND COURTYARD LANEWAY FORMS

10. Rear Lanes

10.1. Orientation of main dwellings are to the street and not rear lane. Secondary dwellings or the third and fourth dwelling on an adaptable lot may orientate to the rear lane.

10.2. Mail boxes are located on street frontage and not rear lane in accordance with Isaac Regional Council requirements.

10.3. Refuse is to be stored and collected from rear lane.

10.4. Where sheds, garages and other detached standalone parking structures at the rear of dwellings on rear lane lots must be accessible from the rear lane.

10.5. Where garages, carports and sheds are to be located at the rear of the property they are to be set back a minimum of 0.5m from lane. Tilt panel garage doors are not permitted on lanes, unless at no time does the door enter the lane during operation.

10.6. Fences on laneways are maximum 1.8m high and may comprise screen private open space, car parking and service areas.

10.7. Landscaping is encouraged along the rear boundary to lanes to visually soften and to provide shade to the lane.

10.8. Garages opening on to lanes are to be a minimum of 3m wide per car space to facilitate turning movements.

10.9. Lots with two dwellings (ie Adaptable or Detached with secondary dwelling) must provide parking for the secondary dwelling off the laneway. It must be clearly identifiable which car parking area belongs to each dwelling.

11. Adaptable Lots

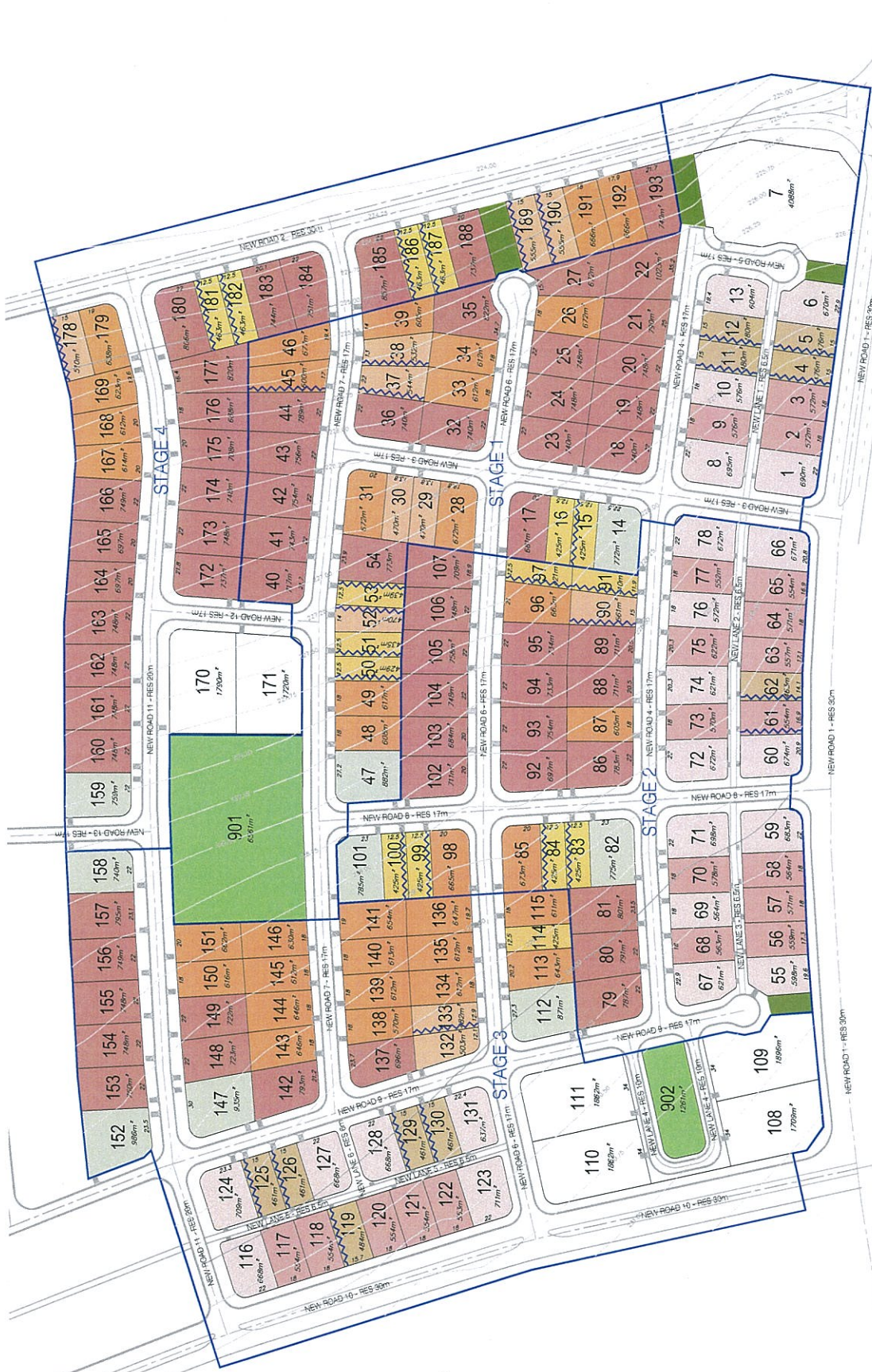
11.1. Lots must have a clearly defined path to the entry to each dwelling from their respective street or lane frontage.

11.2. Lots must have a clearly defined path to the entry of each dwelling from their respective carpark.

11.3. Lots where attached dwellings are accessed from both street and lane frontages the built form must address the street and lane respectively.

11.4. Building design must ensure privacy for habitable spaces in dwellings from adjacent lots and/or adjacent dwellings on a single lot by providing a minimum separation distance of:

- 4m between balconies that are offset by less than 45 degrees or 3m between balconies that are offset by 45 degrees or more;
- 4m between windows or between a window and a balcony that are offset by less than 45 degrees;



PLANS AND DOCUMENTS referred to in the PDA APPROVAL

- 7 MAR 2014

MEDQ

AMENDED IN RED

05 MAR 2014

By BRINNA FYFFE (name) MEDQ

optional

	Width (m)	Depth (m)	Total Lots
Traditional Large	22	34	63
Traditional Long	18	34	35
Traditional Lane	18	31	20
Adaptable	18	31	22
Courtyard Lane	15	31	11
Courtyard	15	34	10
Villa	12.5	34	16
Multi-family dwellings	Varies		9
Total			186

Land Use		
Balance lots	1.49 ha	7%
Residential lots	12.02 ha	54%
Road	8.02 ha	36%
Open space	0.78 ha	4%
Total	22.31 ha	100%