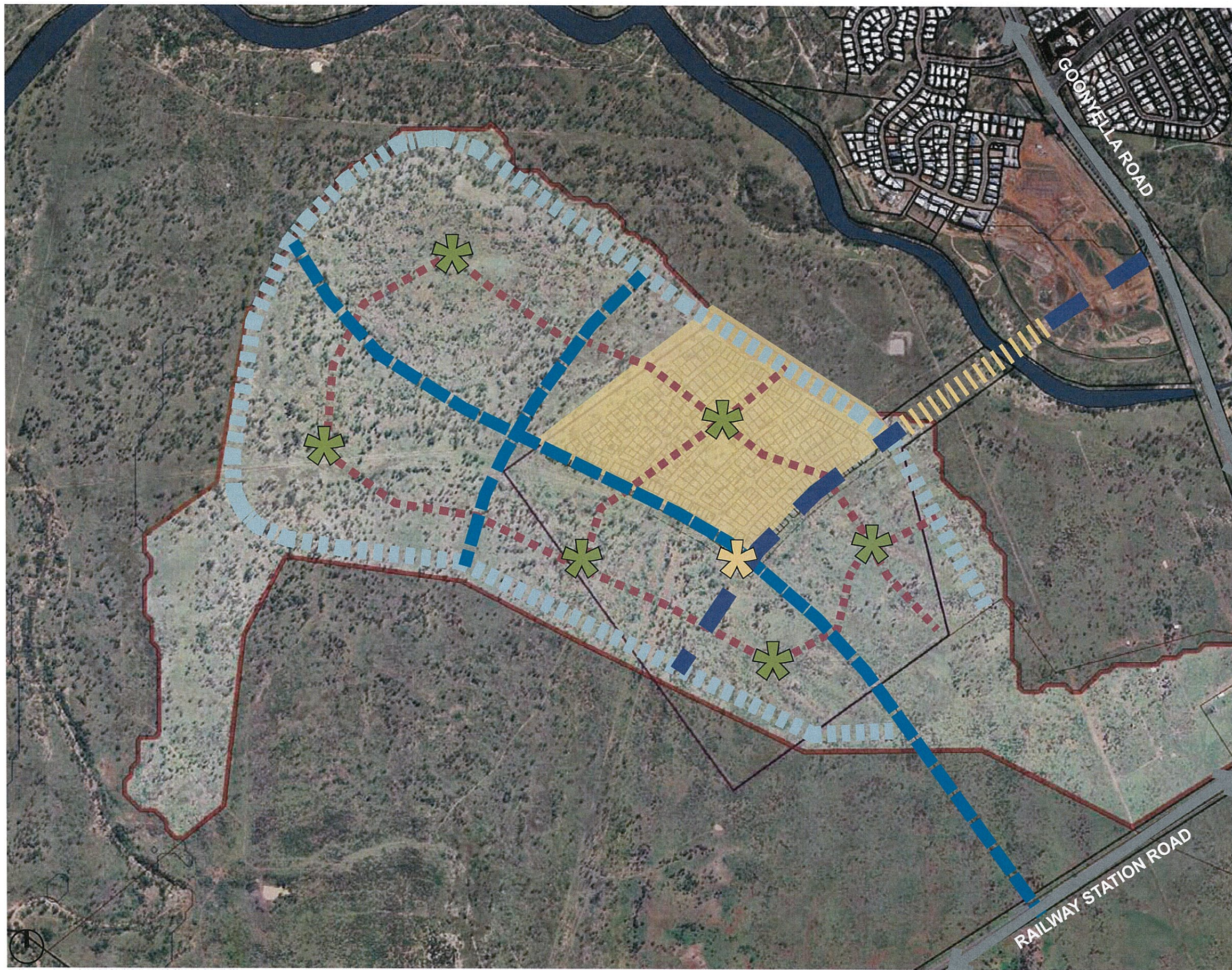




- LEGEND**
-  ROAD TYPE A - Sub Arterial Estate Entry Boulevard
 -  ROAD TYPE B - Sub Arterial Estate Boulevard
 -  ROAD TYPE C - Trunk Collector Street Parkland Boulevard
 -  ROAD TYPE D - Collector Street Internal Connector Street
 -  BRIDGE CONNECTION
 -  PROPOSED NEIGHBOURHOOD PARKS
 -  ACTIVITY NODE
 -  UNCONSTRAINED AREA
 -  PHASE 1 BELYANDO ESTATE
 -  DUST EXCLUSION AREA
 -  SHOOTING RANGE AND BUFFER
 -  GROSVENOR CREEK
 -  EXISTING ROADS

SCALE
0 100m 200m 300m 400m 500m

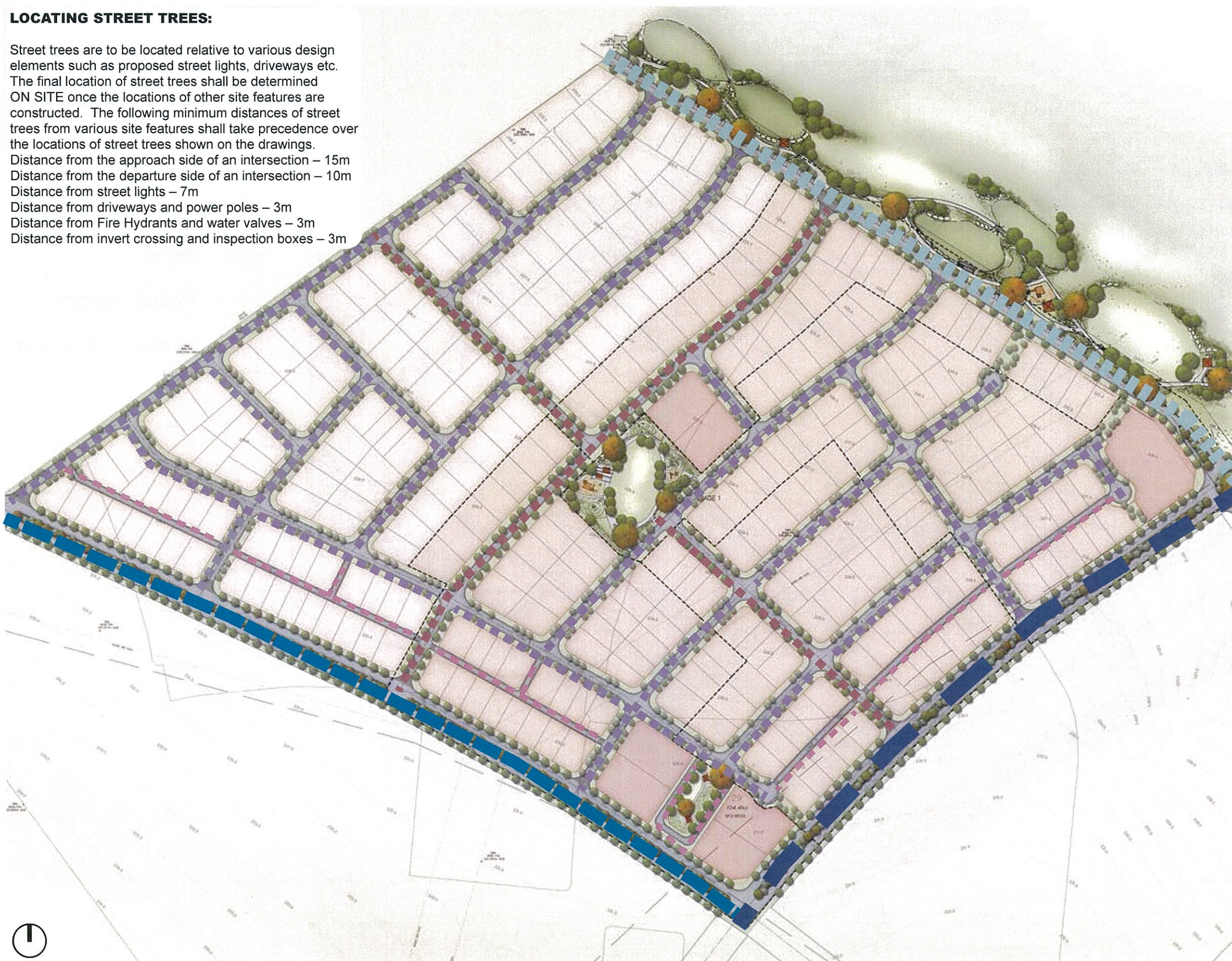
LOCATING STREET TREES:

Street trees are to be located relative to various design elements such as proposed street lights, driveways etc. The final location of street trees shall be determined ON SITE once the locations of other site features are constructed. The following minimum distances of street trees from various site features shall take precedence over the locations of street trees shown on the drawings.

- Distance from the approach side of an intersection – 15m
- Distance from the departure side of an intersection – 10m
- Distance from street lights – 7m
- Distance from driveways and power poles – 3m
- Distance from Fire Hydrants and water valves – 3m
- Distance from invert crossing and inspection boxes – 3m

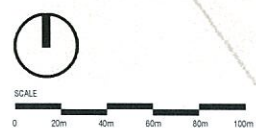
LEGEND

-  MEDIUM DENSITY RESIDENTIAL LOTS
-  LOW DENSITY LOTS
-  STREET TREES
-  FEATURE TREES
-  ROAD TYPE A - Sub Arterial Estate Entry Boulevard
-  ROAD TYPE B - Sub Arterial Internal Estate Boulevard
-  ROAD TYPE C - Trunk Collector Parkland Boulevard
-  ROAD TYPE D - Collector Street (17m and 20m road reserves depending on pathway requirements)
-  ROAD TYPE E - Access Street Residential Street
-  ROAD TYPE F - Access Place Laneways
-  FUTURE STAGES
-  FUTURE DEVELOPMENT

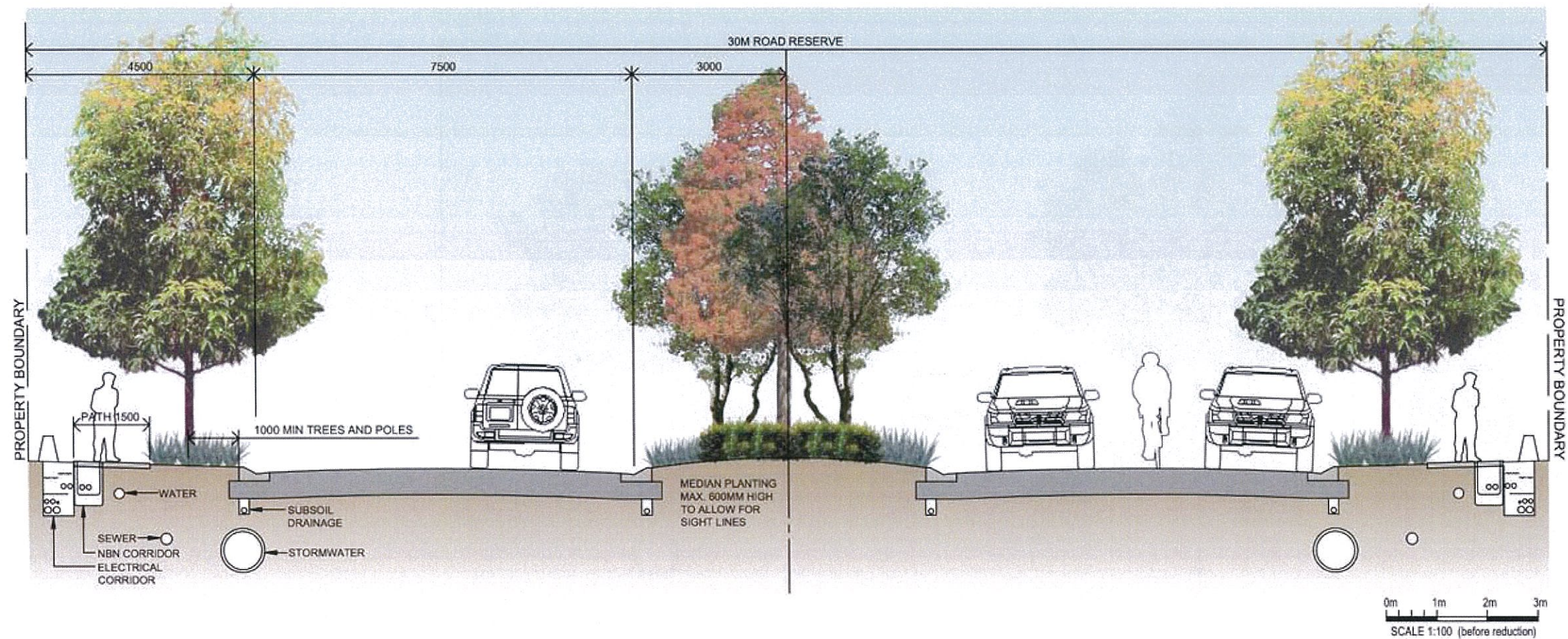




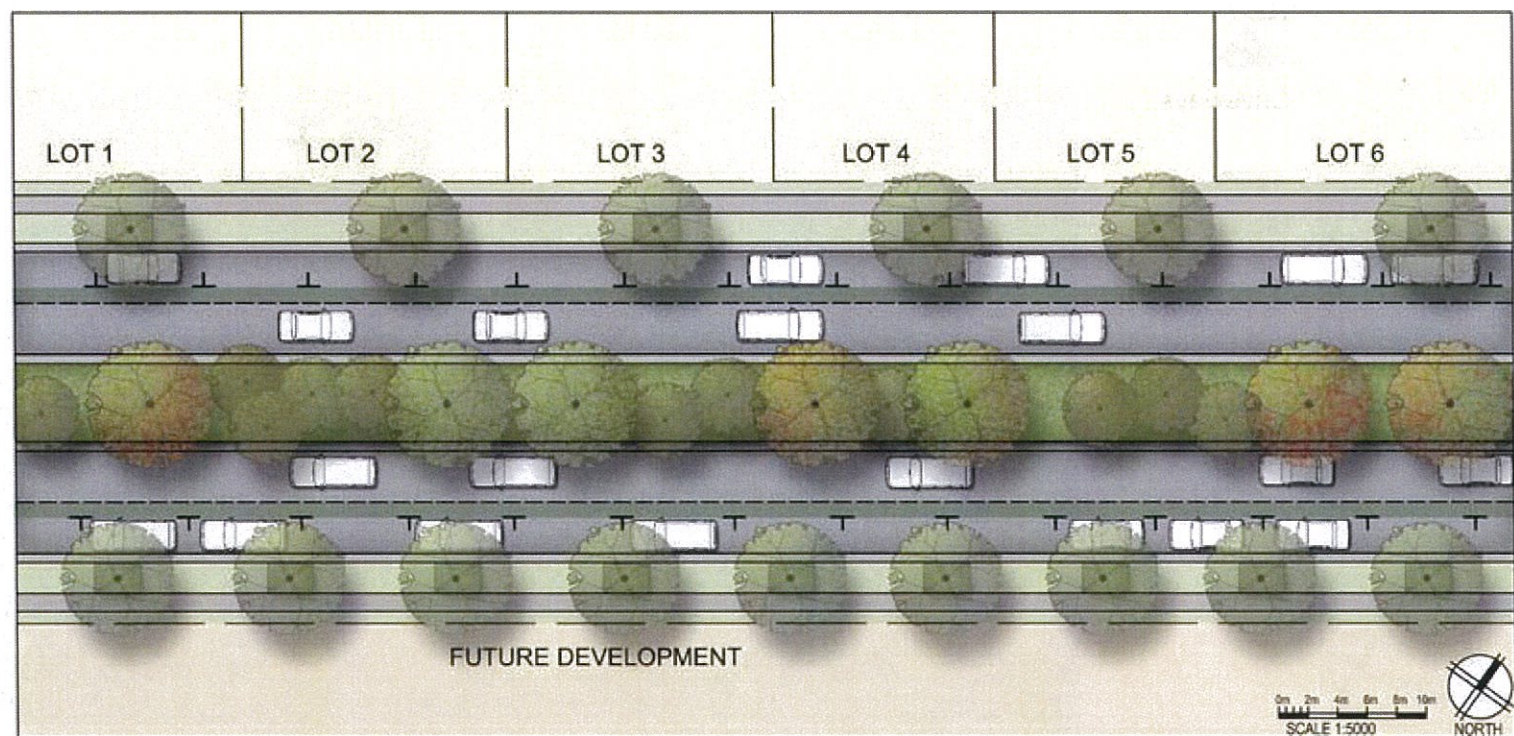
- LEGEND**
-  2.5M WIDE SHARED BICYCLE & PEDESTRIAN PATH (layout indicative only)
 -  1.5M WIDE PATH
 -  1.2M WIDE PATH
 -  NEIGHBOURHOOD PARK
 -  FUTURE CONVENIENCE RETAIL
 -  FUTURE STAGES
 -  FUTURE DEVELOPMENT



ROAD TYPE A - SUB ARTERIAL - ESTATE ENTRY BOULEVARD



TYPICAL ELEVATION VIEW

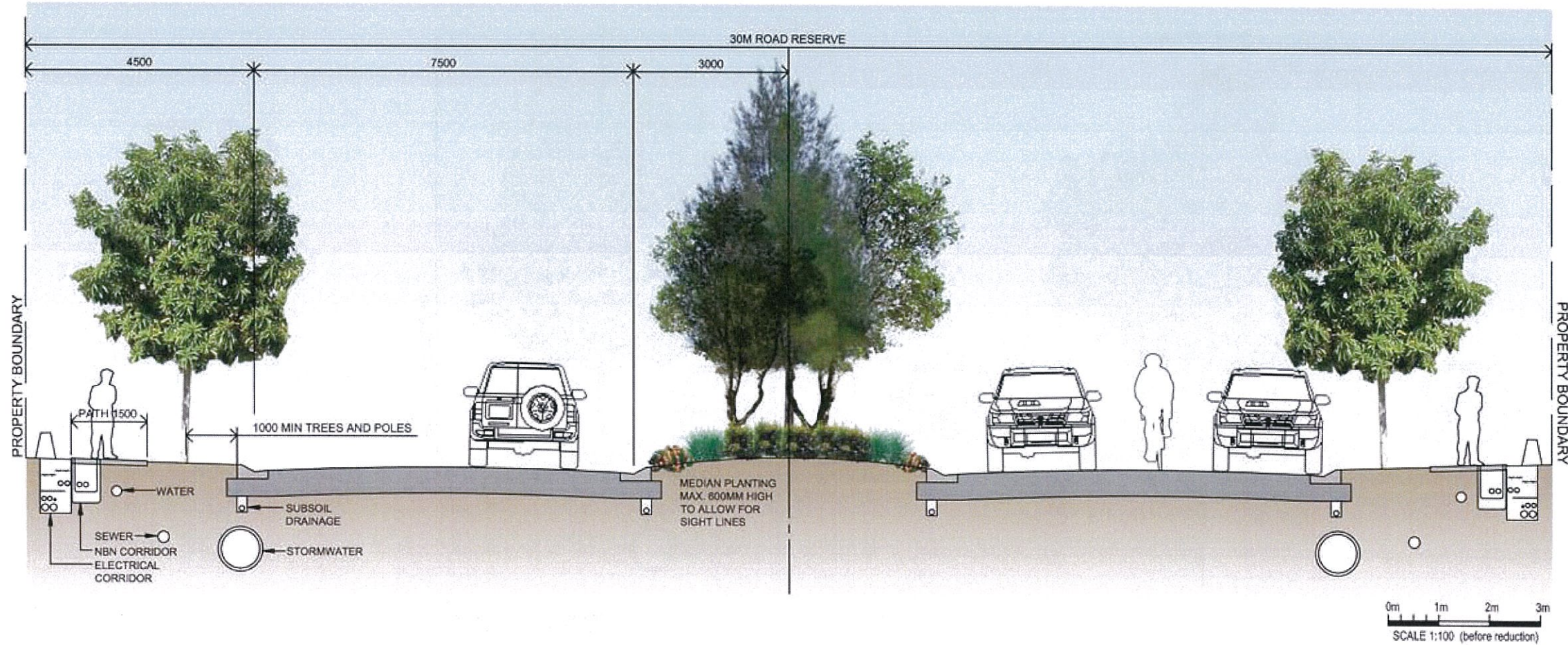


TYPICAL PLAN VIEW

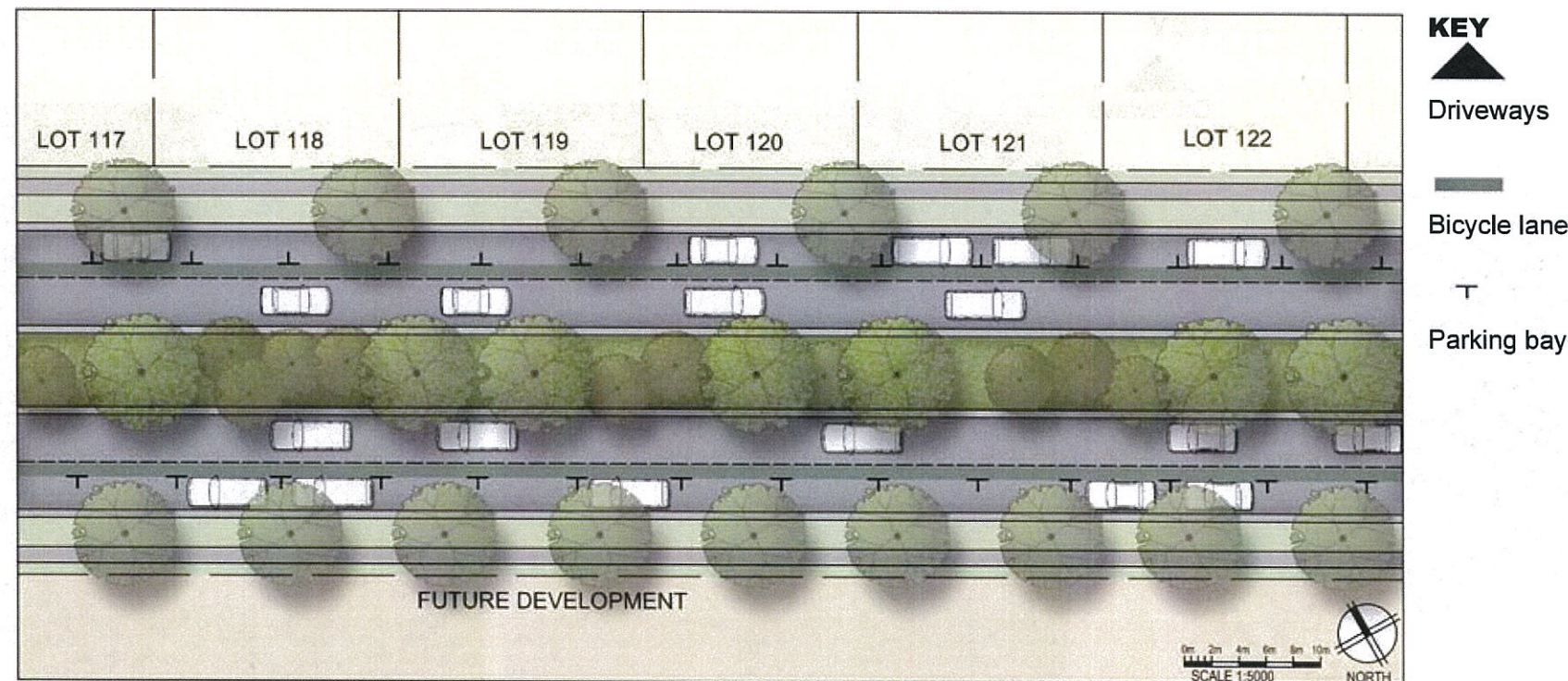
KEY



ROAD TYPE B - SUB ARTERIAL - INTERNAL ESTATE BOULEVARD



TYPICAL ELEVATION VIEW

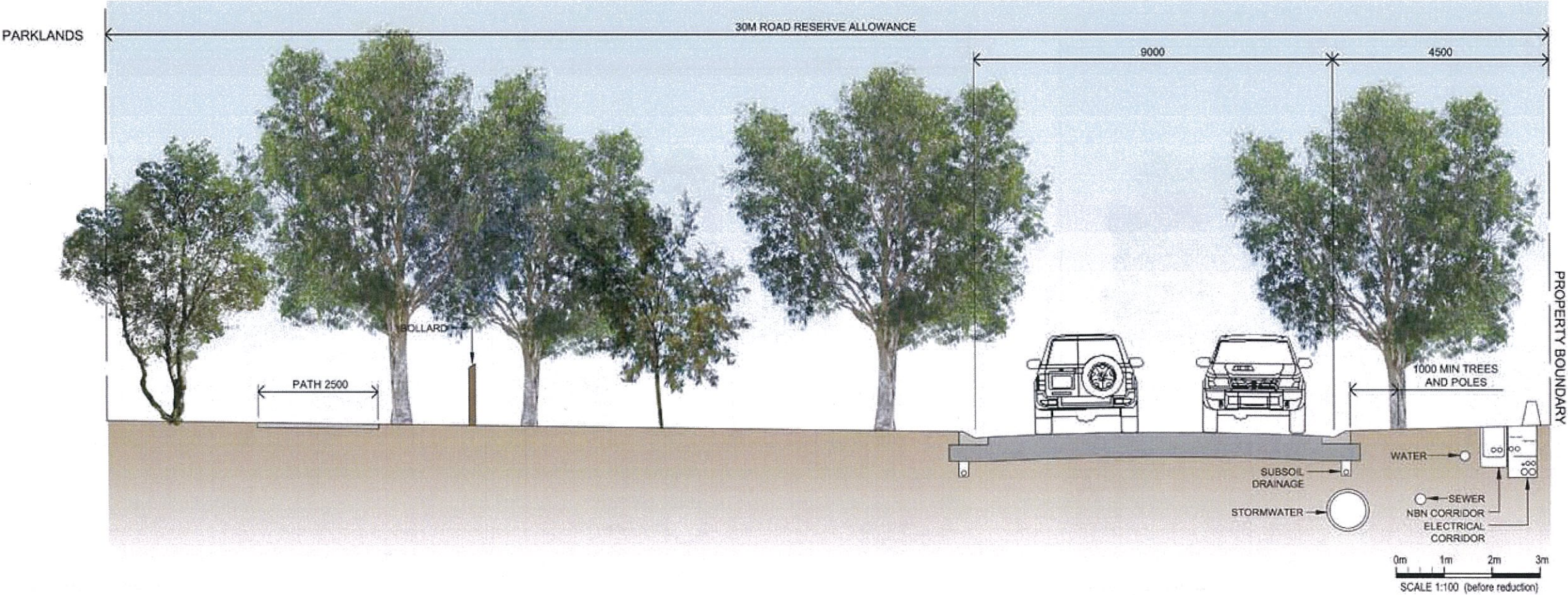


TYPICAL PLAN VIEW

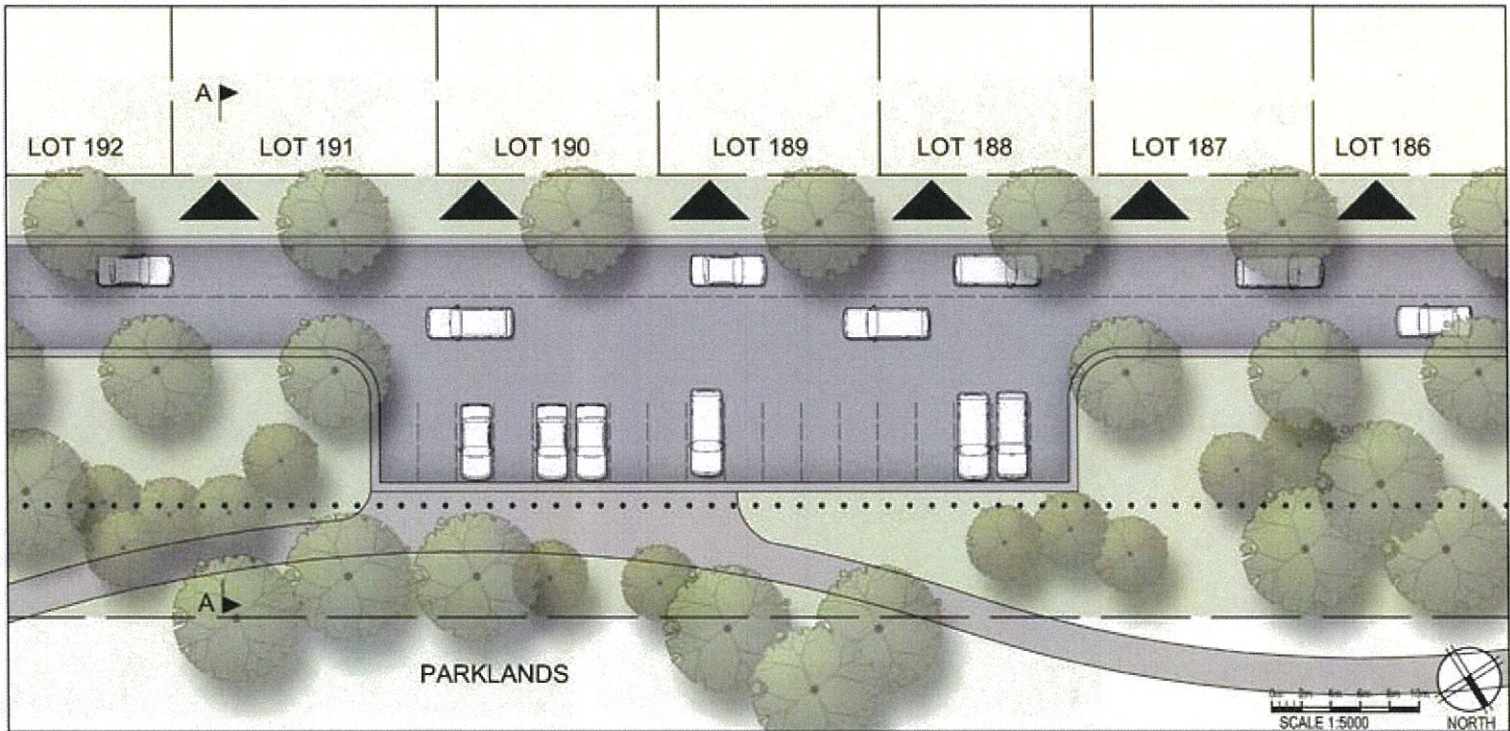


Photo example of boulevard with planted median and street trees.
NOTE: Footpath should be continuous and not broken up with driveways.

ROAD TYPE C - TRUNK COLLECTOR STREET - PARKLAND BOULEVARD



TYPICAL ELEVATION VIEW



TYPICAL PLAN VIEW

NOTE: Footpath should be continuous and not broken up with driveways.

KEY
▲
Driveways

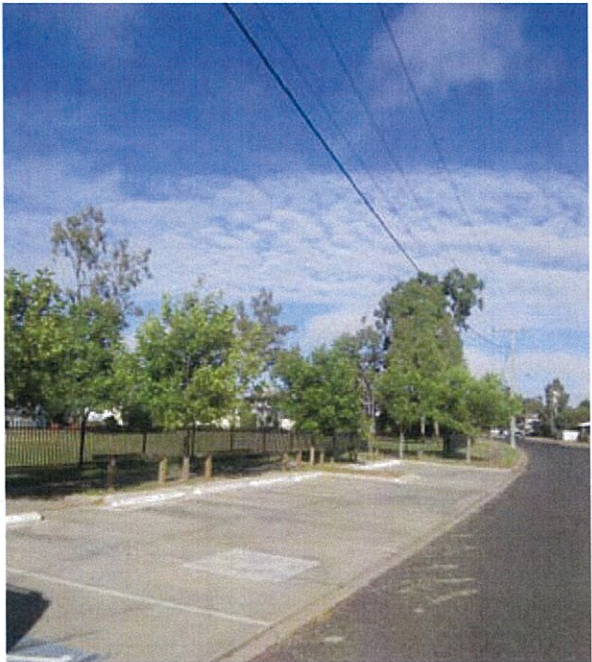
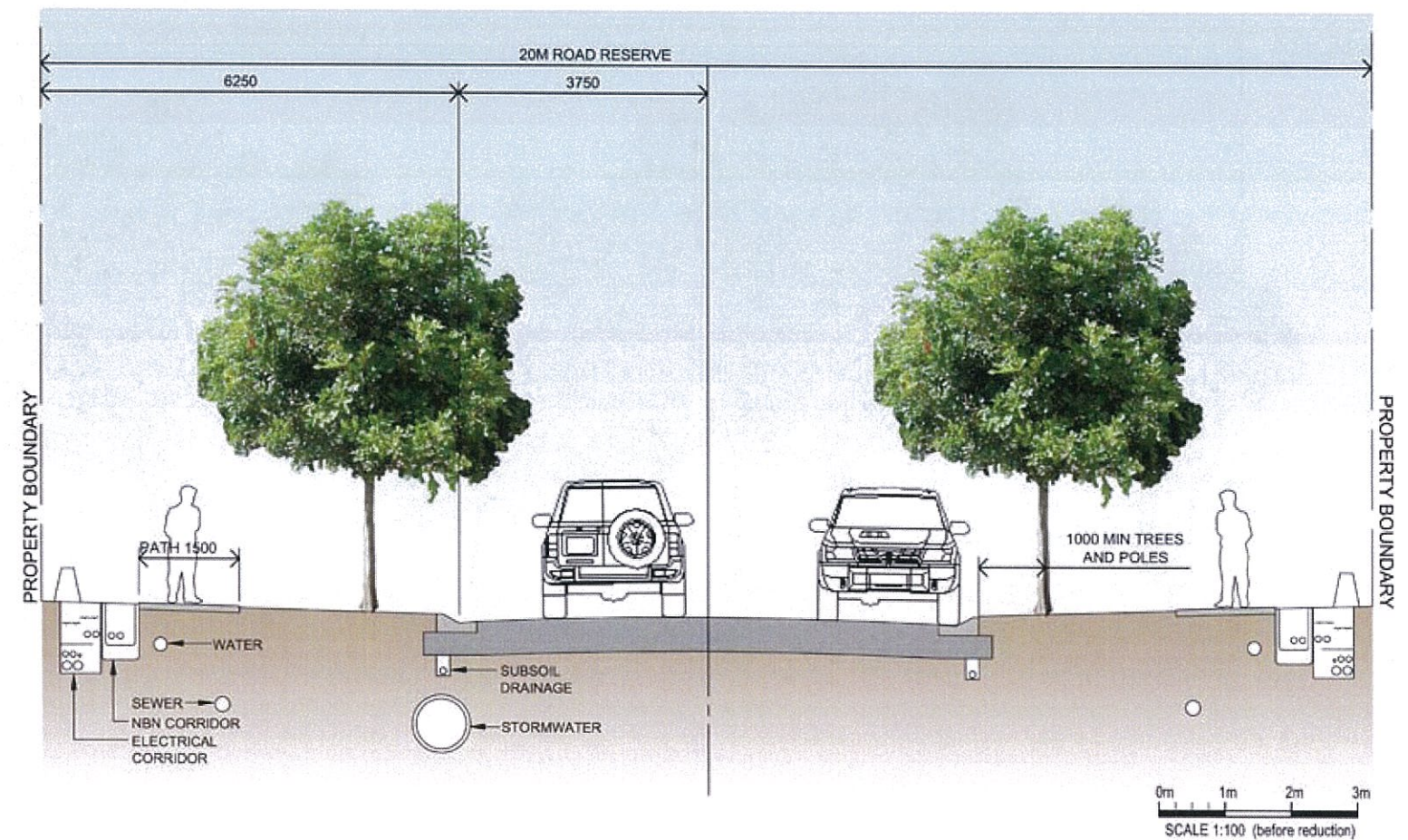
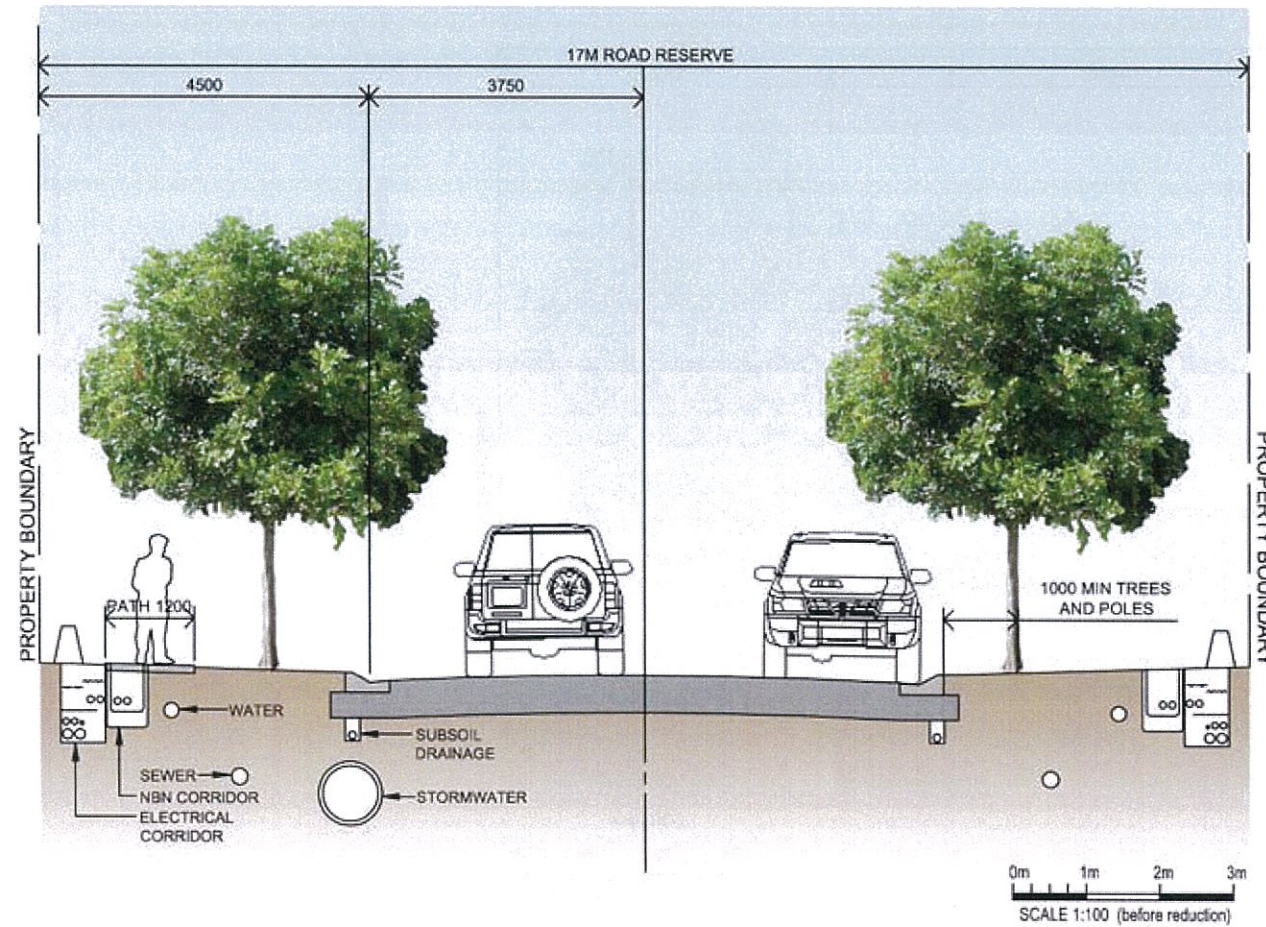


Photo example of parking bays to park verge.



Photo example of planting and bollards to road verge.

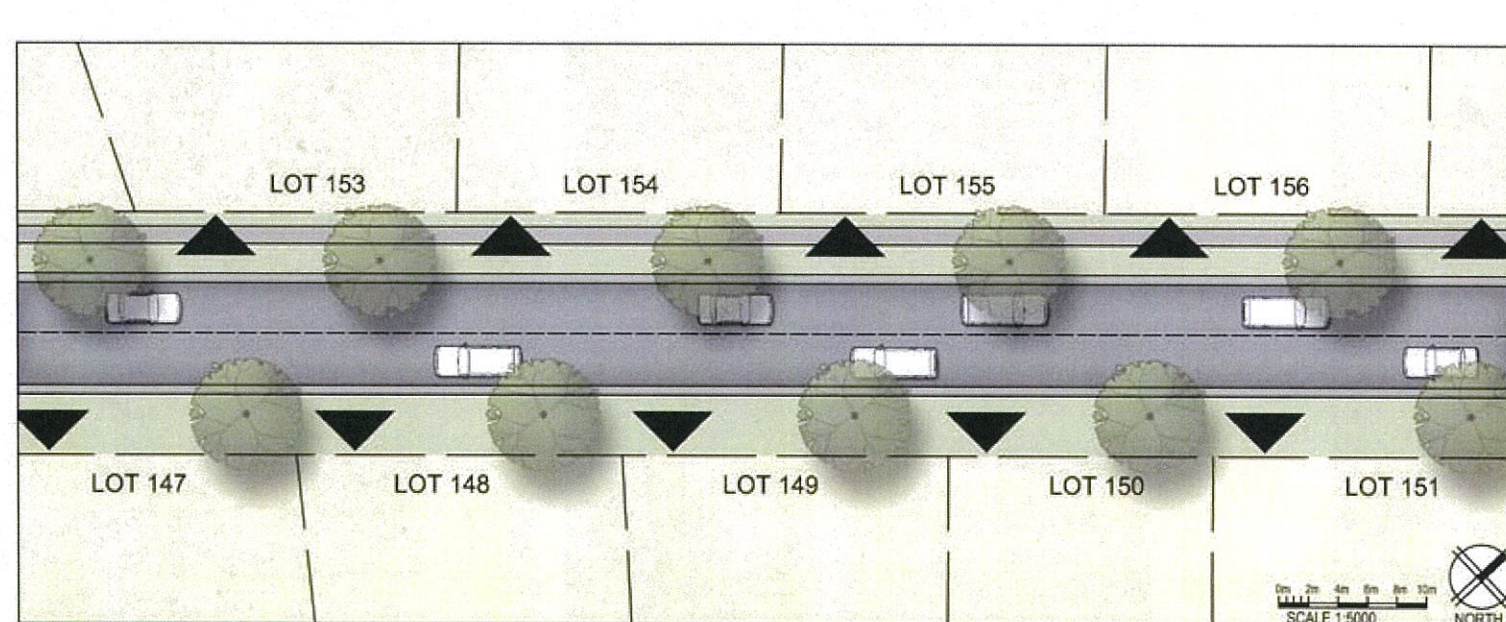
ROAD TYPE D - COLLECTOR STREET



TYPICAL ELEVATION VIEW - 17M ROAD RESERVE

NOTE: Refer to path hierarchy plan for required road reserved.
Two 1500 wide paths will require the 20M road reserve.

TYPICAL ELEVATION VIEW - 20M ROAD RESERVE



TYPICAL PLAN VIEW

NOTE: Footpath should be continuous and not broken up with driveways.

KEY
▲ Driveways

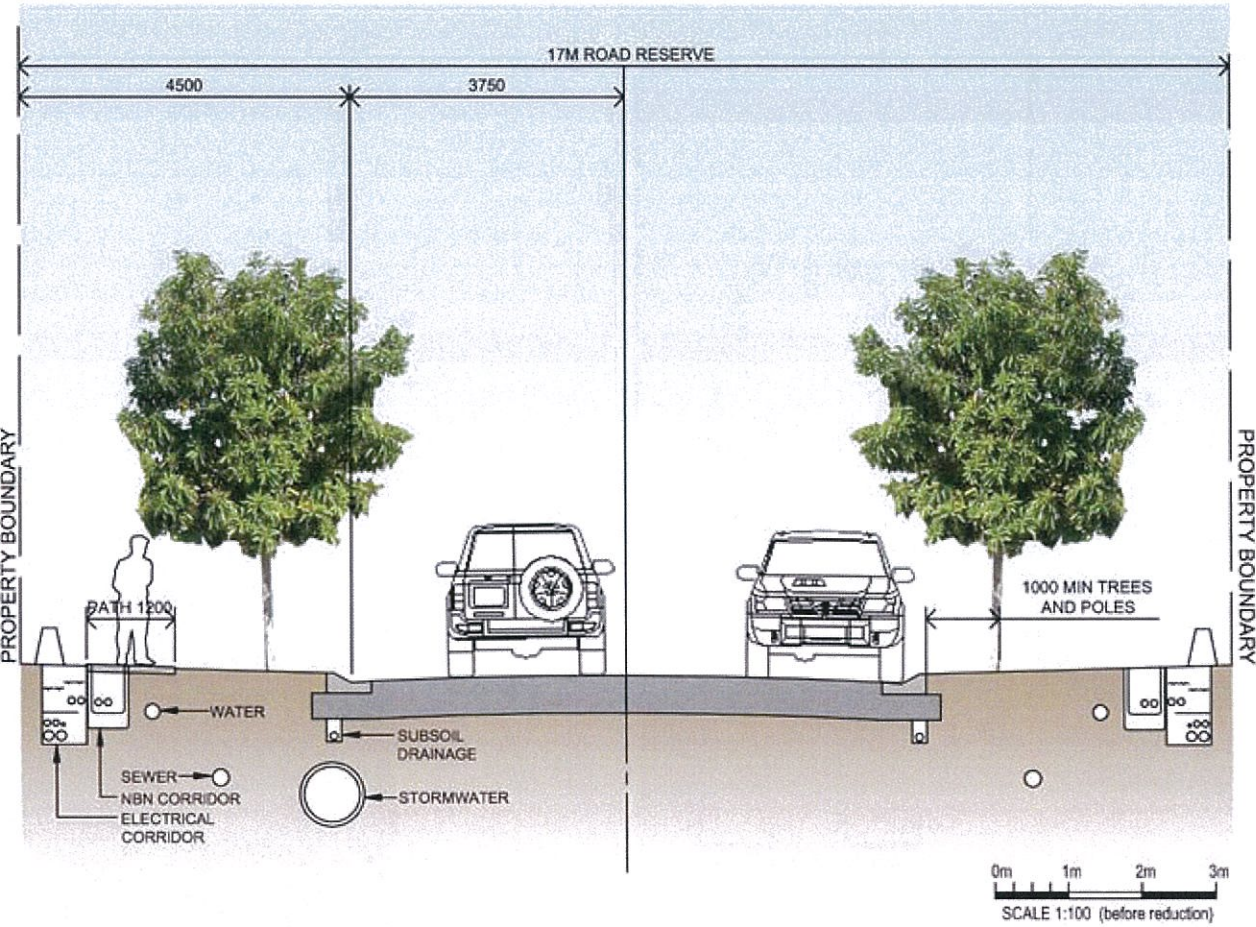


Photo example of residential street with street trees.

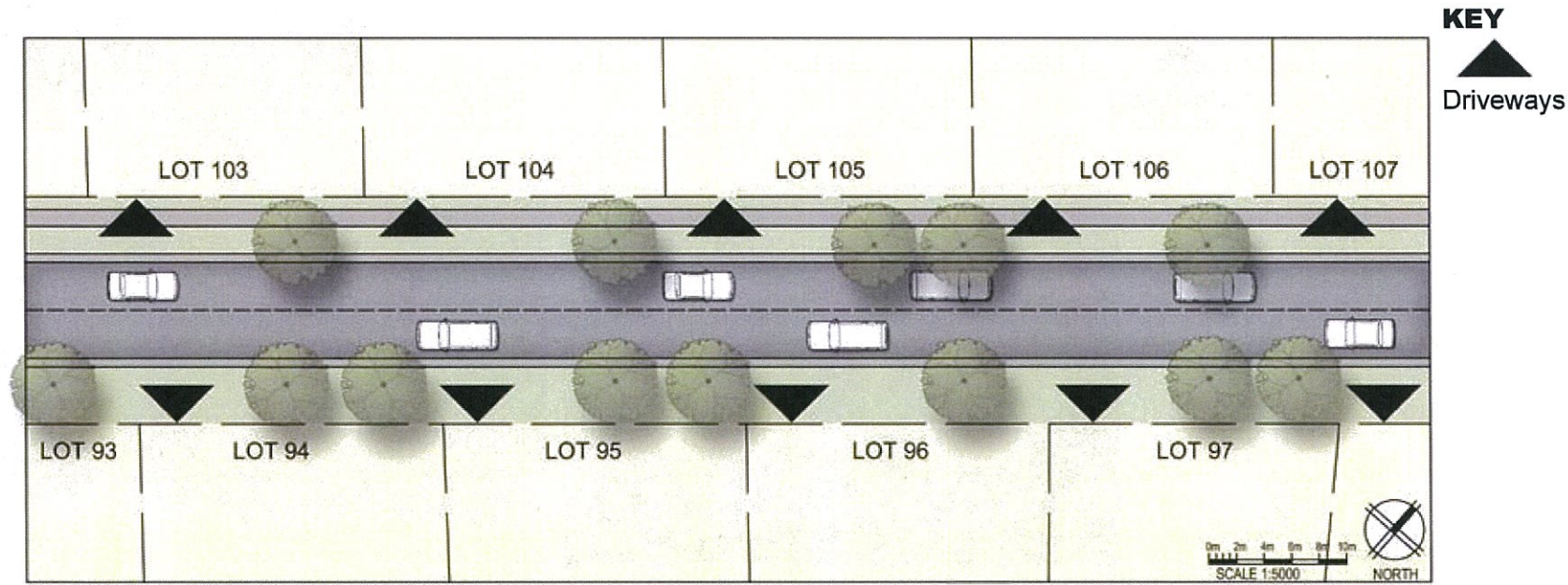


Planting and crossing thresholds to boulevard and internal connector streets intersections.

ROAD TYPE E - ACCESS STREET - RESIDENTIAL STREET



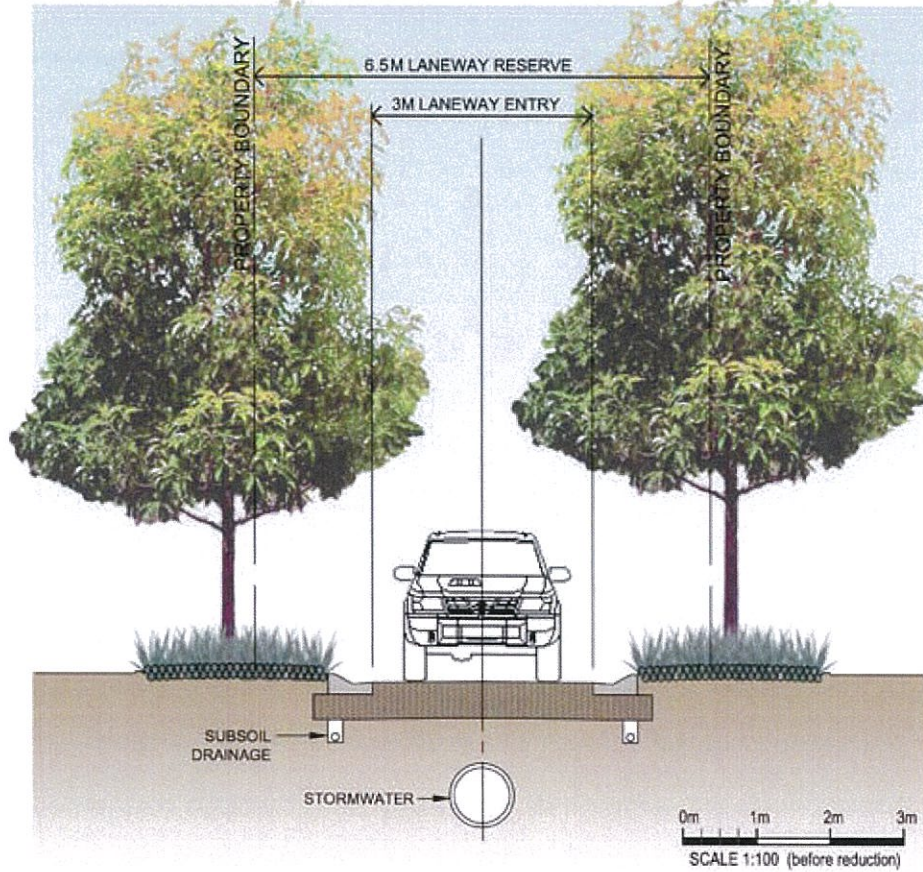
TYPICAL ELEVATION VIEW



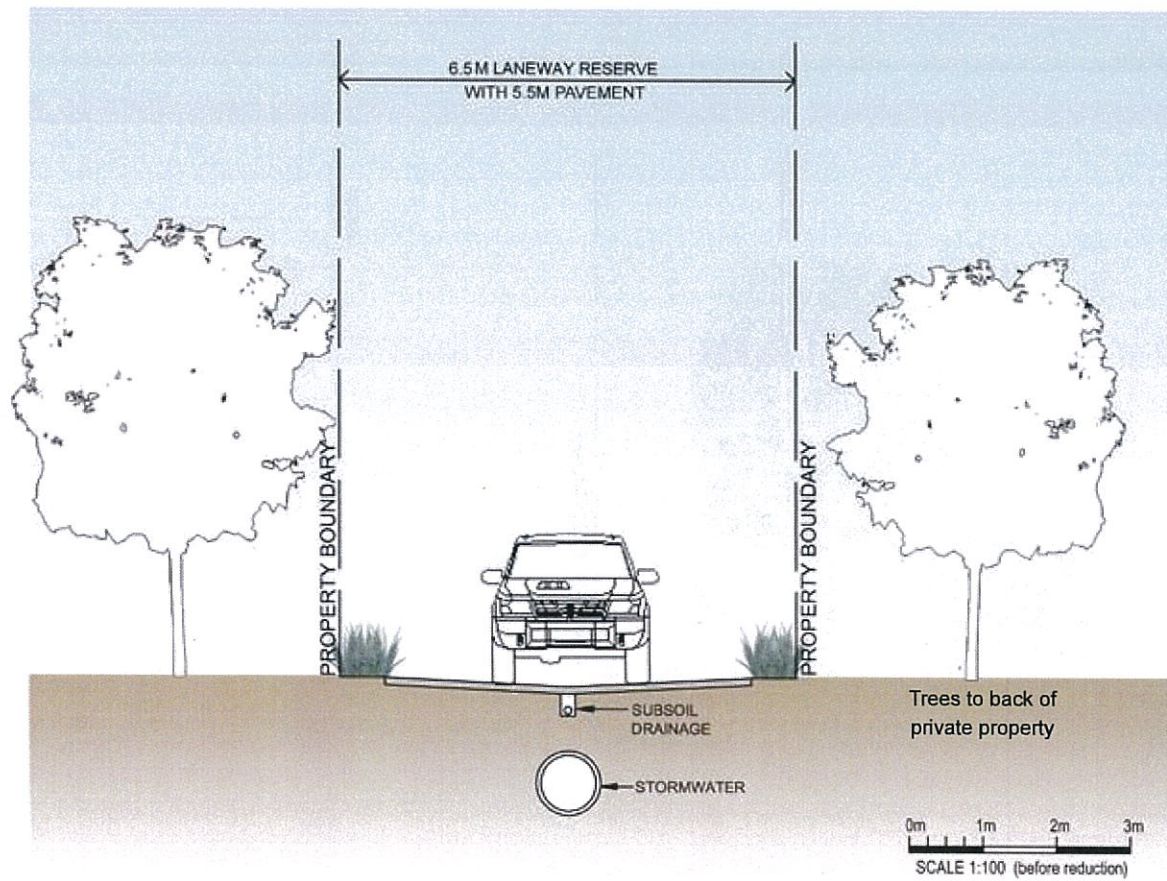
NOTE: Footpath should be continuous and not broken up with driveways.

TYPICAL PLAN VIEW

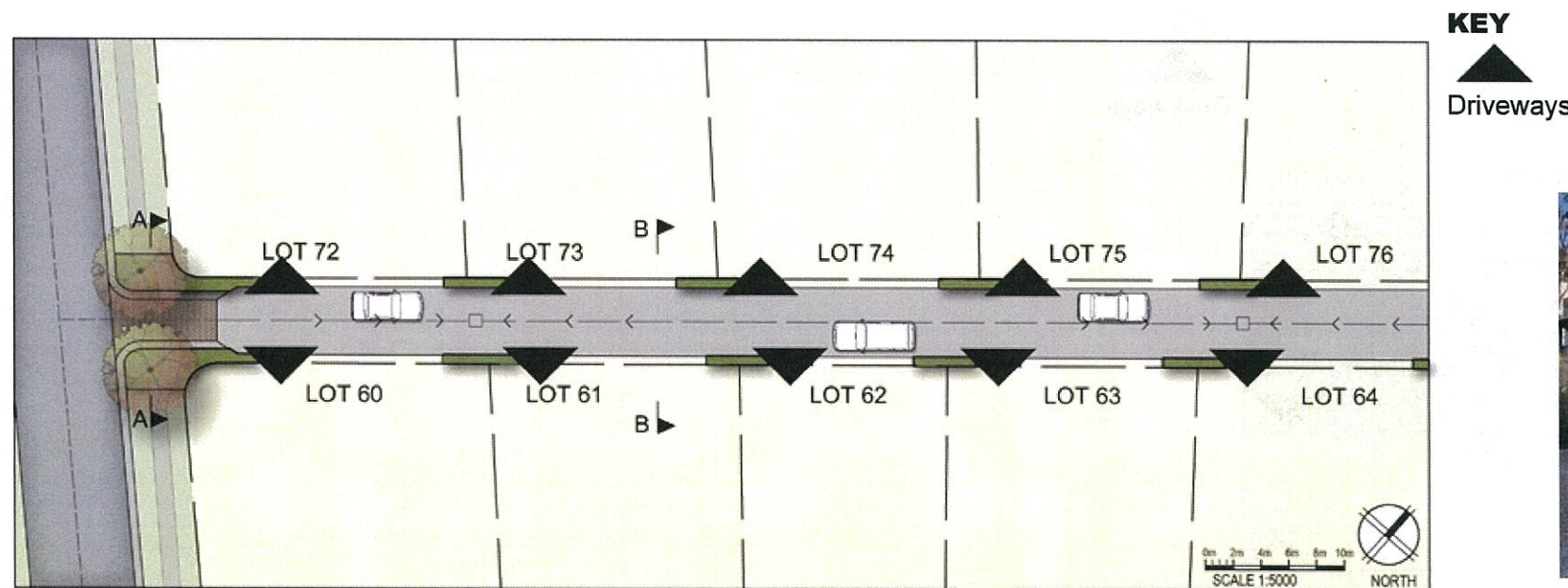
ROAD TYPE F - ACCESS PLACE - LANEWAYS



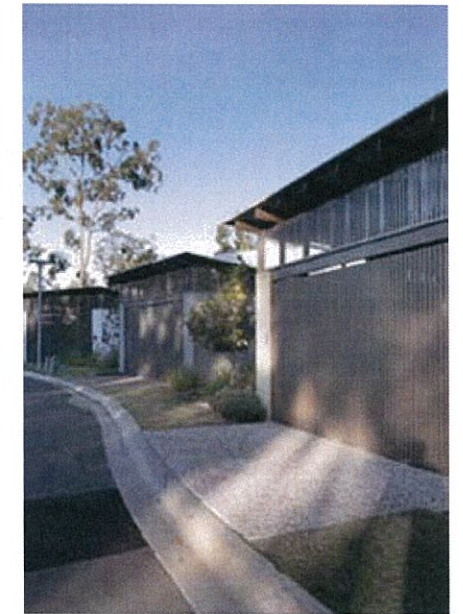
TYPICAL ELEVATION VIEW A



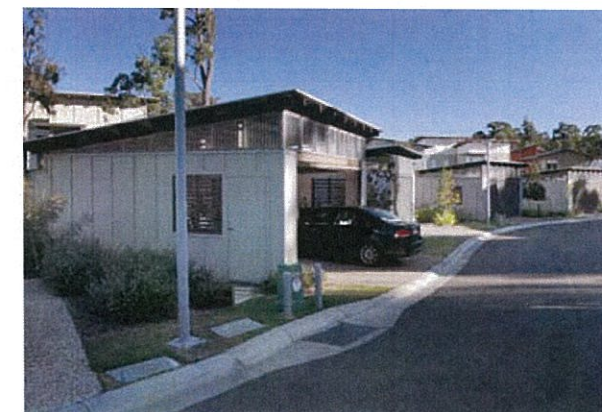
TYPICAL ELEVATION VIEW B



TYPICAL PLAN VIEW



Carparks and planting with turf to laneway extents.



Example photo illustrating garage fronting on to laneway.



Photo illustrating planted and fenced treatment to laneway property boundary.