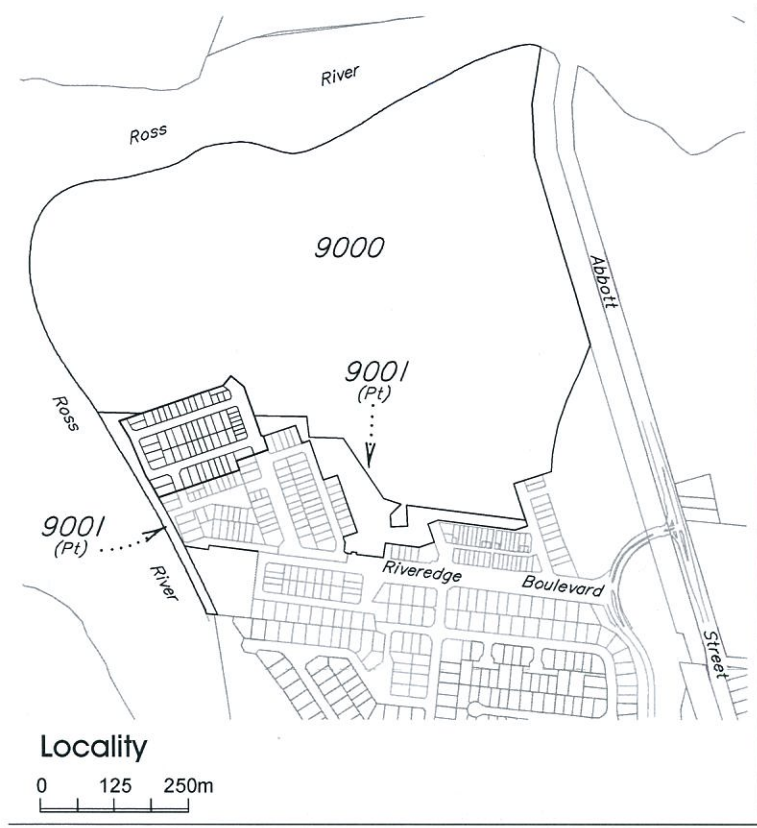


PROPOSED RECONFIGURATION

Lots 600 to 657
Cancelling Lot 9000 on SP255445
9001 on SP264446

Parish of Stuart
County of Elphinstone
City of Townsville

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

25 FEB 2014

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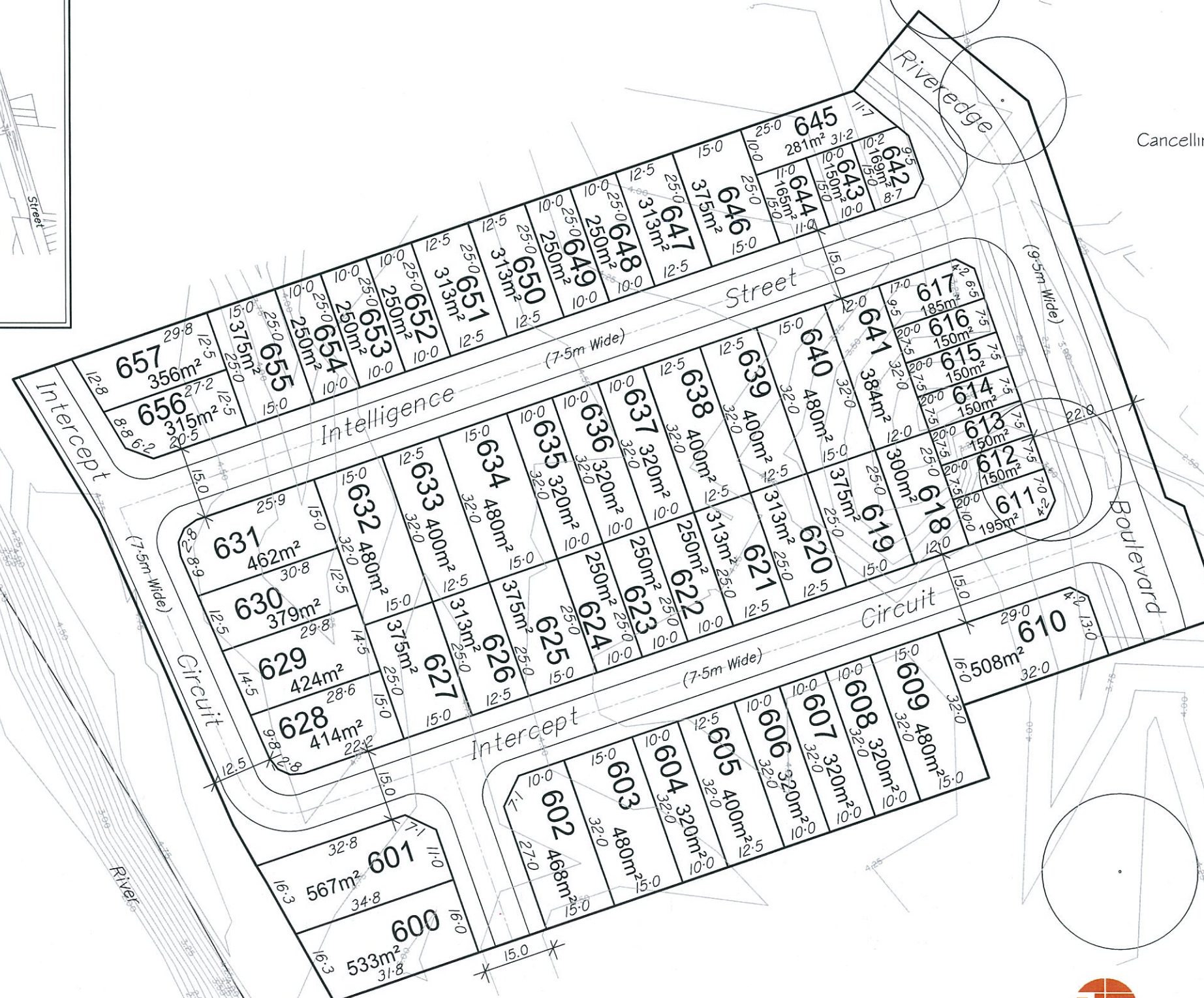
- STAGE 6 -

Areas

Stage Area 2.907 ha
25m Road Reserve Area 3095m²
15m Road Reserve Area 7505m²

Lengths

25m Road Reserve 145m
15m Road Reserve 535m



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Date: 19th February 2014
Scale: 1:1000 @ A3
Drawn: SEM
Job No: 29060/062-01
Plan No: 29060/064 K

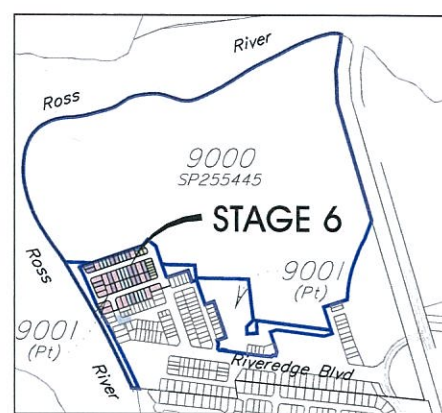
This plan is conceptual and for discussion purposes only. All areas, dimensions and land uses are preliminary, subject to investigation, survey, engineering, and Local Authority and Agency approvals.

surveying | town planning | project management | mapping and GIS

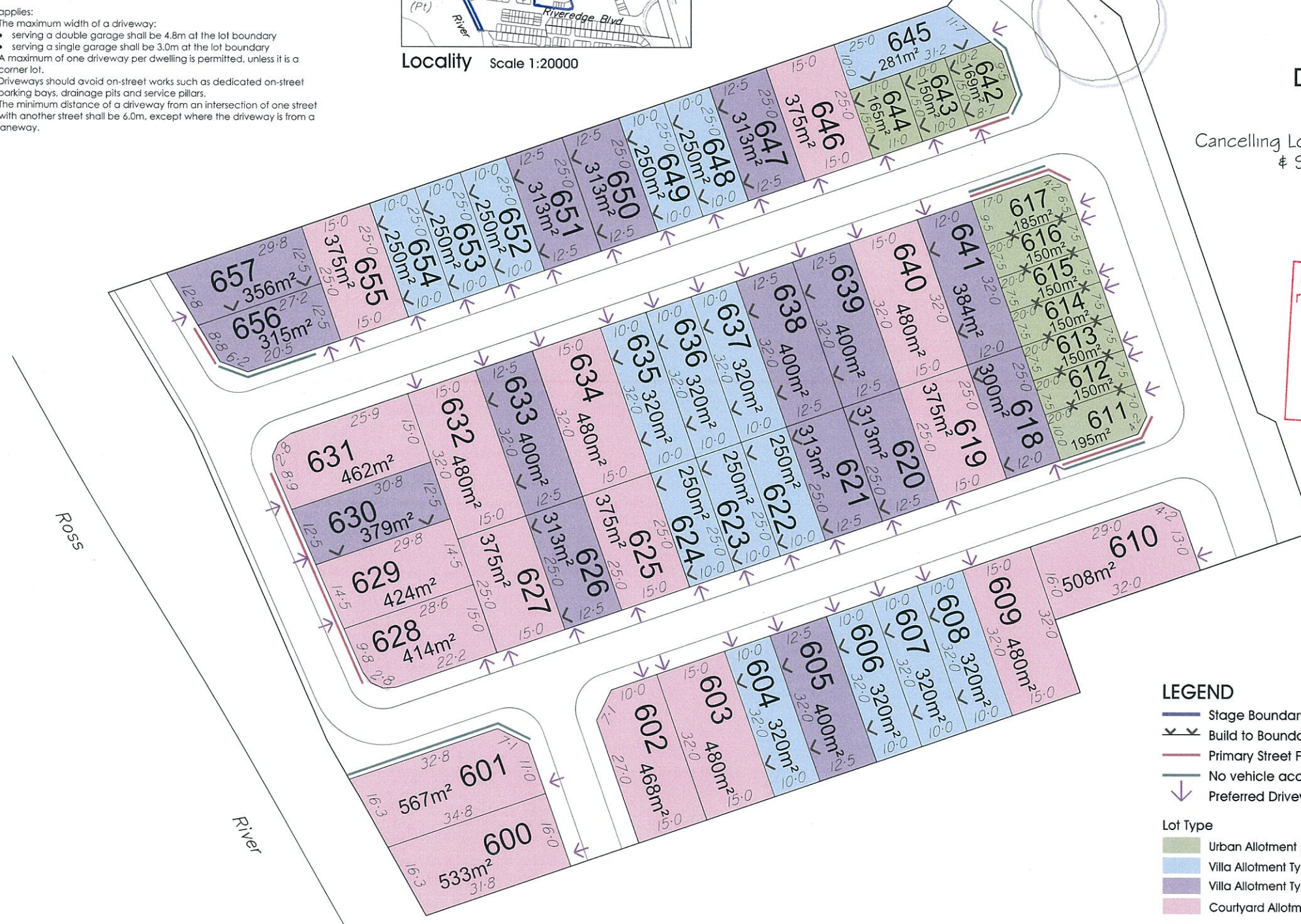
Notes :-

- The maximum height of building shall not exceed 2 storeys.
 - Orientation:**
 - Entries - Front doors and letterboxes of dwellings are to address the Street Frontage and be visible from the street.
 - Where dwellings encompass more than one frontage they are to be designed to address each street frontage.
 - Setbacks:**
 - Setbacks are as per the Site Development Table unless otherwise specified.
 - Built to boundary walls are preferred where shown.
 - Excluding Urban Allotments, built to boundary walls are to have a maximum length of 15m and a maximum height of 3.5m.
 - Boundary setbacks are measured to the wall of the structure.
 - Eaves should not encroach (other than where building is built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2.4m.
 - For Urban Allotments, built to boundary wall shall not exceed 75% of the lot boundary length and 6m in height.
 - Buildings on lots less than 10m wide may be built to more than one boundary. However, the dwelling on the adjoining lot to which the built to boundary relates must be built simultaneously or setback according to the Site Development Table.
 - Parking:**
 - Minimum off-street parking requirements -
Studio 1 & 2 bedroom dwellings - 1 space per dwelling, covered.
3 plus bedroom dwellings - 2 spaces which may be in tandem, 1 covered.
 - Double garages will not be permitted on any lot less than 10.0m wide.
 - Double garages may be permitted on a dwelling on allotments (not on a laneway) less than 12.5m wide but greater than 10m, where:
 - the garage is setback at least 1m behind the main face, excluding balconies, of the dwelling, and
 - the garage doors are articulated, comprise a mix of materials and colours, or are staggered.
 - Carports may be permitted where screened from the front and sides with a maximum of 50% transparency and a minimum height of 2m above the carport slab level (i.e., the carport is only open to the rear boundary of the site). However, car ports must not be provided to lots with a boundary to a public open space, or a Primary Park Frontage.
 - Allotments (not on a laneway) with a frontage of less than 12.5m are to have a minimum of 4.5m setback to any wall containing a vehicle door (except in corner lot situations where the setback to the side of the garage shall be determined by the secondary frontage setback on the Plan of Development).
 - The double garage must have one side constructed as a built to boundary (BTB) wall in a position consistent with the Plan of Development for the lot.
 - The driveway of the double garage is to taper down from the central edge to 3m at the lot street boundary, equal what would have been required if the garage were only a single garage (refer to the Building Guidelines, "Driveways" heading).
 - Parking spaces on driveways do not have to comply with AS2890.
 - Site Cover and Amenity:**
 - Site cover for each lot is not to exceed 60% of the lot except on Urban Allotments where the site cover shall not exceed 85% of the lot.
 - Minimum private open space requirements:
 - must be accessed from a living area.
 - One or Studio house/unit 5m² with a minimum dimension of 2.4m.
 - Two room houses/units 9m² with a minimum dimension of 2.4m.
 - Three or more bedroom house/unit 12m² with a minimum dimension of 2.4m.
 - Urban Allotments**
 - Entries - Front doors of dwellings are to address the Primary Frontage and have a clearly identifiable front door and a Portico undercover point of entry.
 - Where Urban dwellings encompass more than one frontage they are to be designed to address each street frontage.
 - Have outdoor lighting to doorway entrance and a clearly identifiable letterbox and clear house number.
 - Built to boundary walls are to have a maximum height of 6.0m.
 - The outlook from the first or second storey windows, terraces and decks and other private areas is obscured or screened where a direct view at a distance closer than 9.0m would be available into the private open space or a living room of an existing dwelling.
 - Windows adjacent to adjoining lots have a minimum sill height of 1.7m, or translucent glass if less.
 - External drainage pipes are integrated with the building design.
 - A screened drying and rubbish bin area(s) behind the main face of the dwelling.
 - All habitable rooms must incorporate at least two (2) openings to facilitate cross ventilation. The openings shall have a minimum area of no less than 5% of the total floor area of the room. Openings can include, or combination of:
 - External opening windows
 - Internal opening windows
 - louvered windows
 - Ceiling and/or roof ventilation shafts / skylights; and
 - Mechanical ventilation
- For clarity the two (2) openings can not be located on the same wall and must be at least 2m apart.

- All habitable rooms must incorporate at least one opening to facilitate access to natural light. Openings can include, or combination of:
 - External opening windows;
 - louvered windows; and
 - Ceiling and/or roof ventilation skylights.
- Fencing:**
- Fencing on all Primary Street Frontages to be either 50% transparent up to 1.5m high or not to exceed 1.2m in height.
- Fencing on secondary street frontages to extend for no more than 50% of the lot boundary, if solid.
- Fencing along Pedestrian Access adjacent to Lots 429 and 410 shall be 50% transparent and not exceed 1.5m in height. The fence shall provide casual surveillance opportunities and maintain CPTED design elements.
- Driveways:**
- For conventional allotments (not lane way allotments) the following applies:
 - The maximum width of a driveway:
 - serving a double garage shall be 4.8m at the lot boundary
 - serving a single garage shall be 3.0m at the lot boundary
 - A maximum of one driveway per dwelling is permitted, unless it is a corner lot.
 - Driveways should avoid on-street works such as dedicated on-street parking bays, drainage pits and service pillars.
 - The minimum distance of a driveway from an intersection of one street with another street shall be 6.0m, except where the driveway is from a laneway.



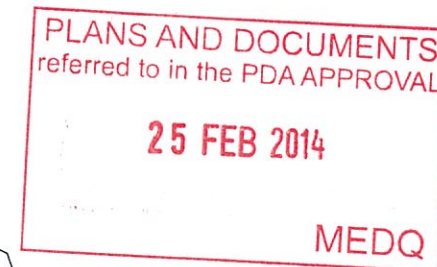
Locality Scale 1:20000



PLAN OF DEVELOPMENT

Lots 600 to 657
Cancelling Lot 9000 SP255445
9001 on SP257327

Parish of Stuart
County of Elphinstone
City of Townsville



LEGEND

- Stage Boundary
- Build to Boundary (preferred)
- Primary Street Frontage
- No vehicle access
- Preferred Driveway location

Lot Type

- Urban Allotment (7.5m Frontage)
- Villa Allotment Type 1 (10m frontage)
- Villa Allotment Type 2 (11.5 & 12.5m frontage)
- Courtyard Allotment Type 1 (15m frontage)

Site Development Table	Urban Allotments 7.5m-11.5m Frontage		Villa Allotments (1) 10m Frontage		Villa Allotments (2) 11.5-12.5m Frontage		Courtyard Allotments 15.0m Frontage	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Side								
Build to Boundary	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m
Non Build to Boundary	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m

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Date: 24th February 2014

Scale: 1:1000 @ A3

Drawn: SEM

Job No: 29060/062-01

Plan No: 29060/076 M

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PROJECT
OONONBA UDA
THE VILLAGE
STAGES 6, 12, 18 & 19

ECONOMIC DEVELOPMENT
QUEENSLAND

KEY PLAN



NOTES

NOT FOR CONSTRUCTION

ISSUE	CODE	ISSUE DESCRIPTION	BY	CHK	DATE
01	PRE	CLIENT REVIEW	JL	SF	29.04.2011
02	DA	ISSUE FOR DA	JL	SF	08.05.2011
03	DA	ISSUE FOR DA	JL	SF	01.11.2011

PRE - Preliminary | CA - Council Approval | T - Tender | CON - Construction

DRAWING TITLE

STAGE 6
LANDSCAPE PLAN

DESIGN : SF
DOCUMENT : SF / JL
PROJECT : ULD55
SCALE

1:400 @ A1, 1:800 @ A3

SHEET NUMBER	REVISION
ULD55_LDA1001	03

LEGEND

PROPOSED TREES
LOCATIONS TO SUIT PREFERRED DRIVEWAY ACCESS
SPECIES TO BE NOMINATED



Turf

FUTURE STAGE 12

**FUTURE
STAGE**

— TURF TO FOOTPATH

TURF TO PARK

PEDESTRIAN NODE w/
SHADE TREES & BENCH SEAT

PROPOSED PATH

PATH CONNECTS TO
EXISTING STAGE 1 PARK

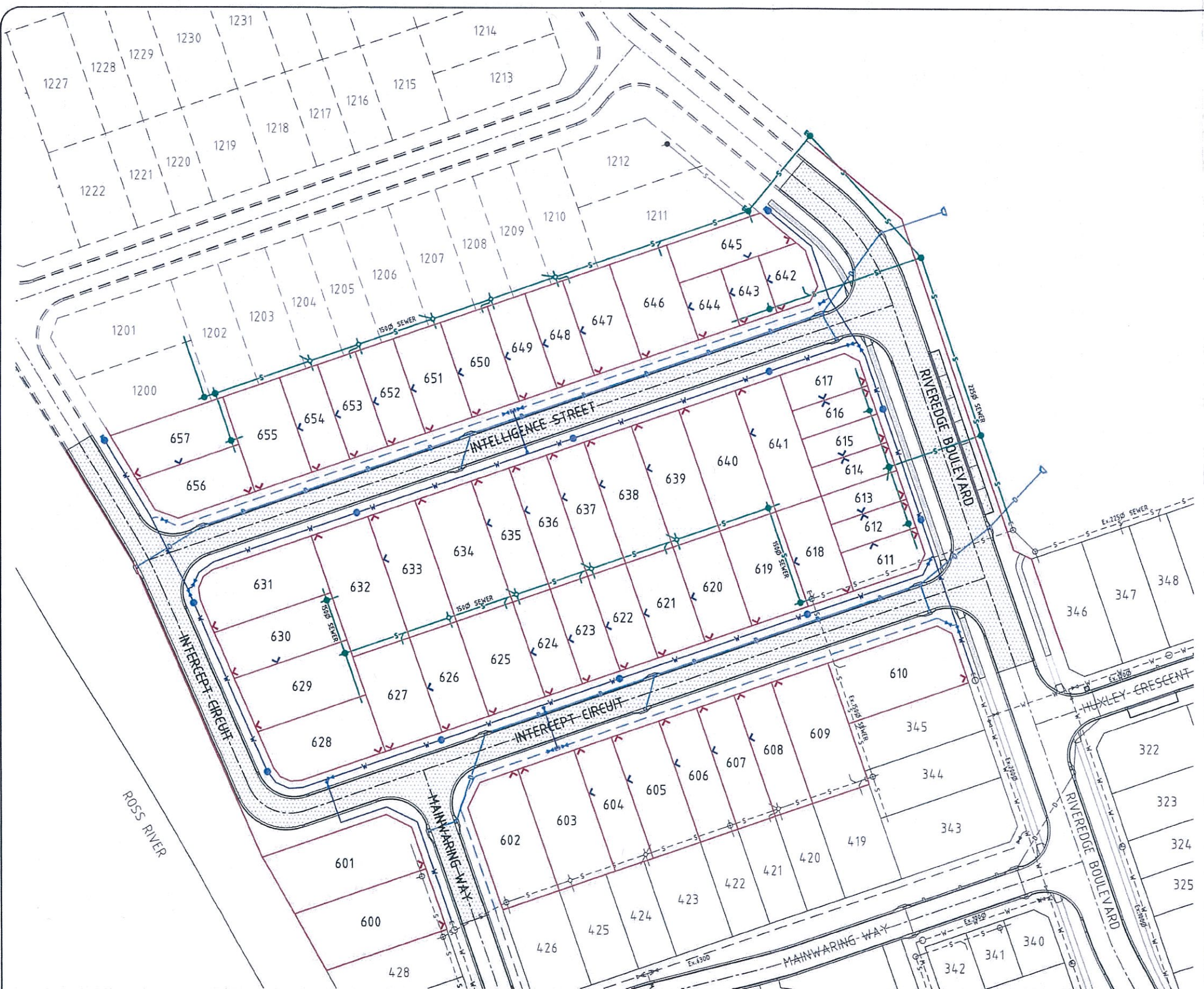
EXISTING
STAGE 4

EXISTING
STAGE 3

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

25 FEB 2014

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- LEGEND:**
- S— PROPOSED SEWER MAIN AND MANHOLE
 - W— PROPOSED WATERMAIN & HYDRANT
 - - -D - - - PROPOSED STORMWATER DRAINAGE
 - - -S - - - EXISTING SEWER MAIN AND MANHOLE
 - - -W - - - EXISTING WATERMAIN, VALVE & HYDRANT
 - - -D - - - EXISTING STORMWATER DRAINAGE
 - NEW PAVEMENT (ASPHALT)
 - FOOTPATH
 - CONCRETE PAVEMENT
 - PREFERRED DRIVEWAY LOCATION
 - < PREFERRED BUILD TO BOUNDARY

PRELIMINARY ISSUE NOT FOR CONSTRUCTION

REV.	DATE	REVISIONS
2	31/10/13	LOT LAYOUT AMENDED
1	21/01/13	PRELIMINARY ISSUE FOR DEVELOPMENT APPLICATION

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REAL PROPERTY DESCRIPTION:
LOTS 64 TO 101 ON SP247154

DRAWN: C.MELICAN
DESIGNED:
CHECKED:

PROJECT MANAGER: P.PETERSEN
PROJECT DIRECTOR: S.MARTIN RPEQ 9114

DATUM: AHD (DERIVED)

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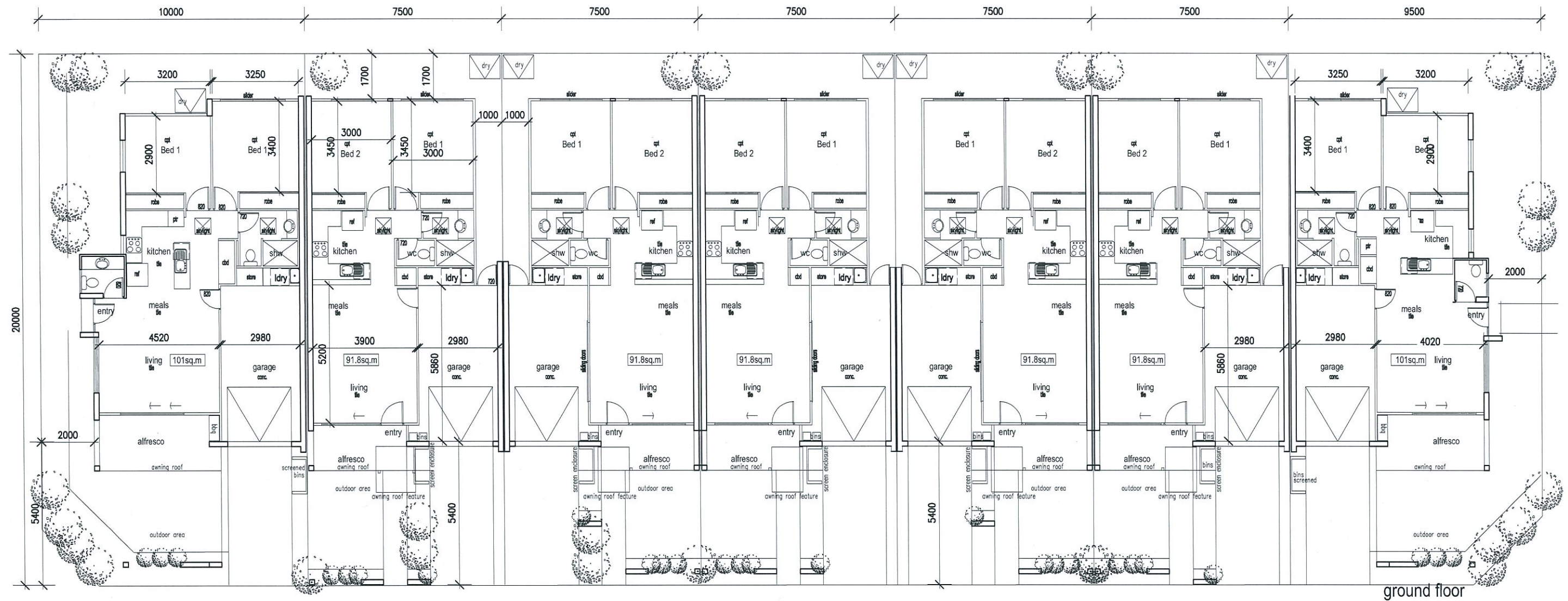
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ECONOMIC DEVELOPMENT QUEENSLAND			
THE VILLAGE - STAGE 6			
RIVEREDGE BOULEVARD, OONONBA			
PRELIMINARY SERVICES LAYOUT			
DRAWING SIZE	SCALE	DRAWING No.	REV
A1	1:500	ULD006/SK01	2
XREF	ULD006-XR-SKETCH		

PLANS AND DOCUMENTS
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concept plans 7 terraces
7 terraces proposal

freespace design

ARCHITECTURE - INTERIOR DESIGN - URBAN DESIGN and PLANNING - ENVIRONMENTAL DESIGN

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