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3/09/2013 12:49:22 PM

0 10 20 30 40 50
Scale (m)

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

~ 1 OCT 2013

MEDQ

Revision	Description	Date	Initials
2	Tender Issue	03.09.2013	CM
1	Preliminary Tender Issue	27.08.2013	CM

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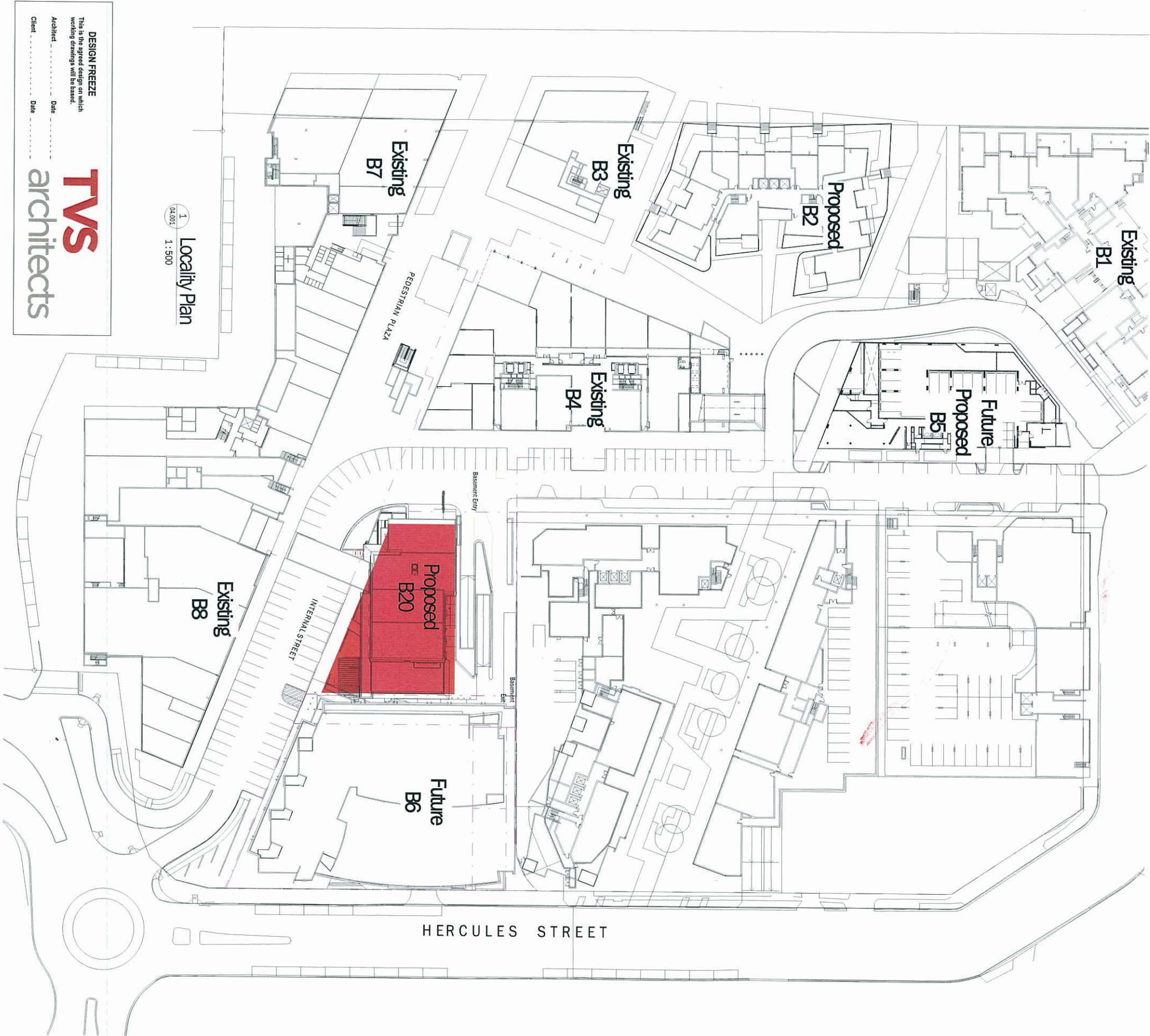
Project:
Brookfield Residential
Properties

Proposed "Building 20" at Portside
Wharf
Client:
Portside Wharf
Hercules Street, Hamilton
Drawing Title:
Locality Plan

Project Architect/Designer: MW
Scale @ A2: 1:500
PJ
Drawing No: 5325.1W01001 2

Date Drawn: June 2013
Date Checked:
Revision:

BRISBANE RIVER



DESIGN FREEZE
This is the agreed design on which
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Architect: TVS architects
Client: _____ Date: _____

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3/09/2013 12:49:32 PM
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Scale (m)

Note:
Refer structural engineers drawings for grid
setout in relation to existing columns.

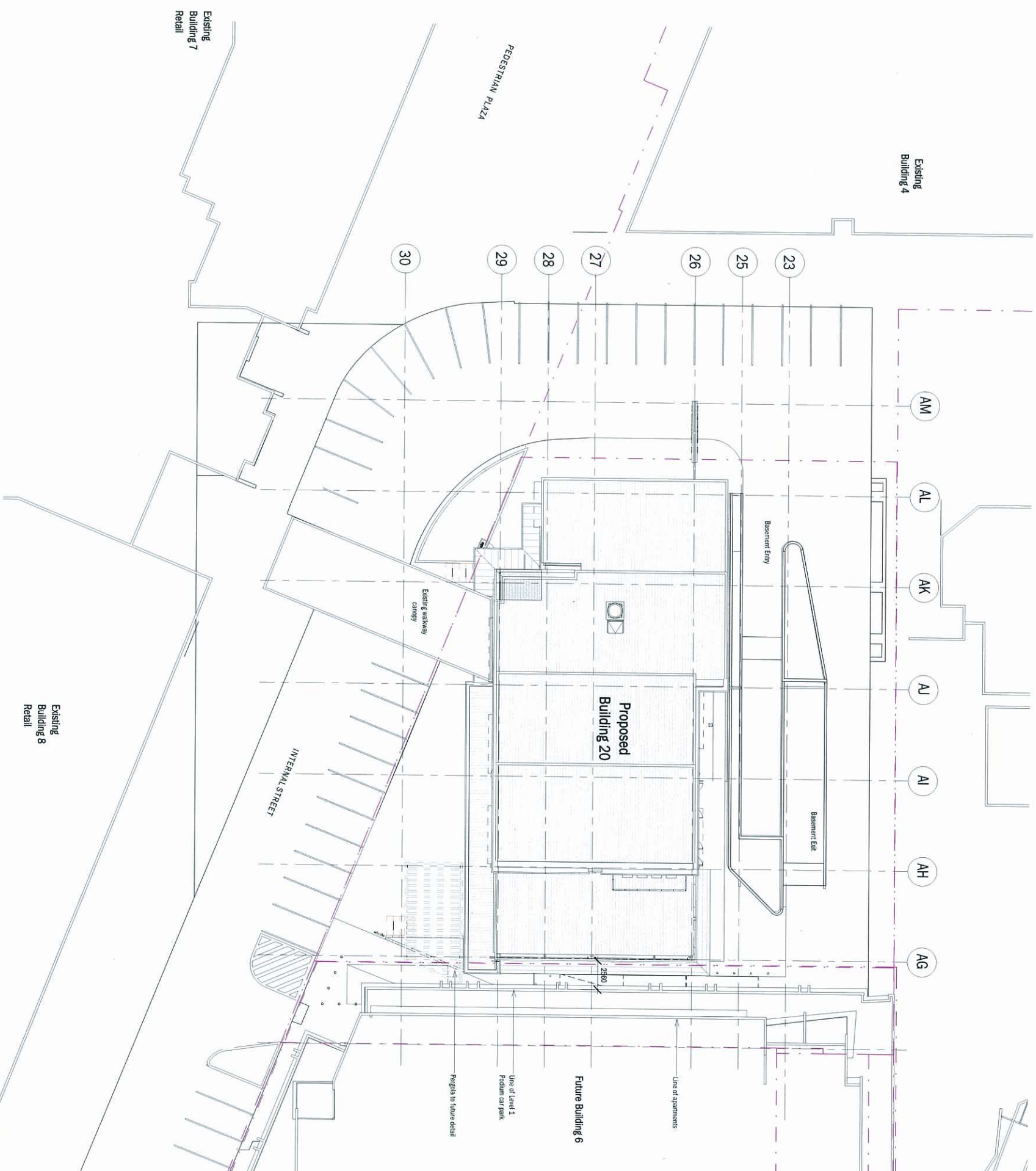
PLANS AND DOCUMENTS
referred to in the PDA APPROVAL
- 1 OCT 2013
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3	Tender Issue	03.09.2013	CM
2	Preliminary Tender Issue	27.08.2013	CM
1	Coordination Issue	16.08.2013	CM
Revision	Description	Date	Revised

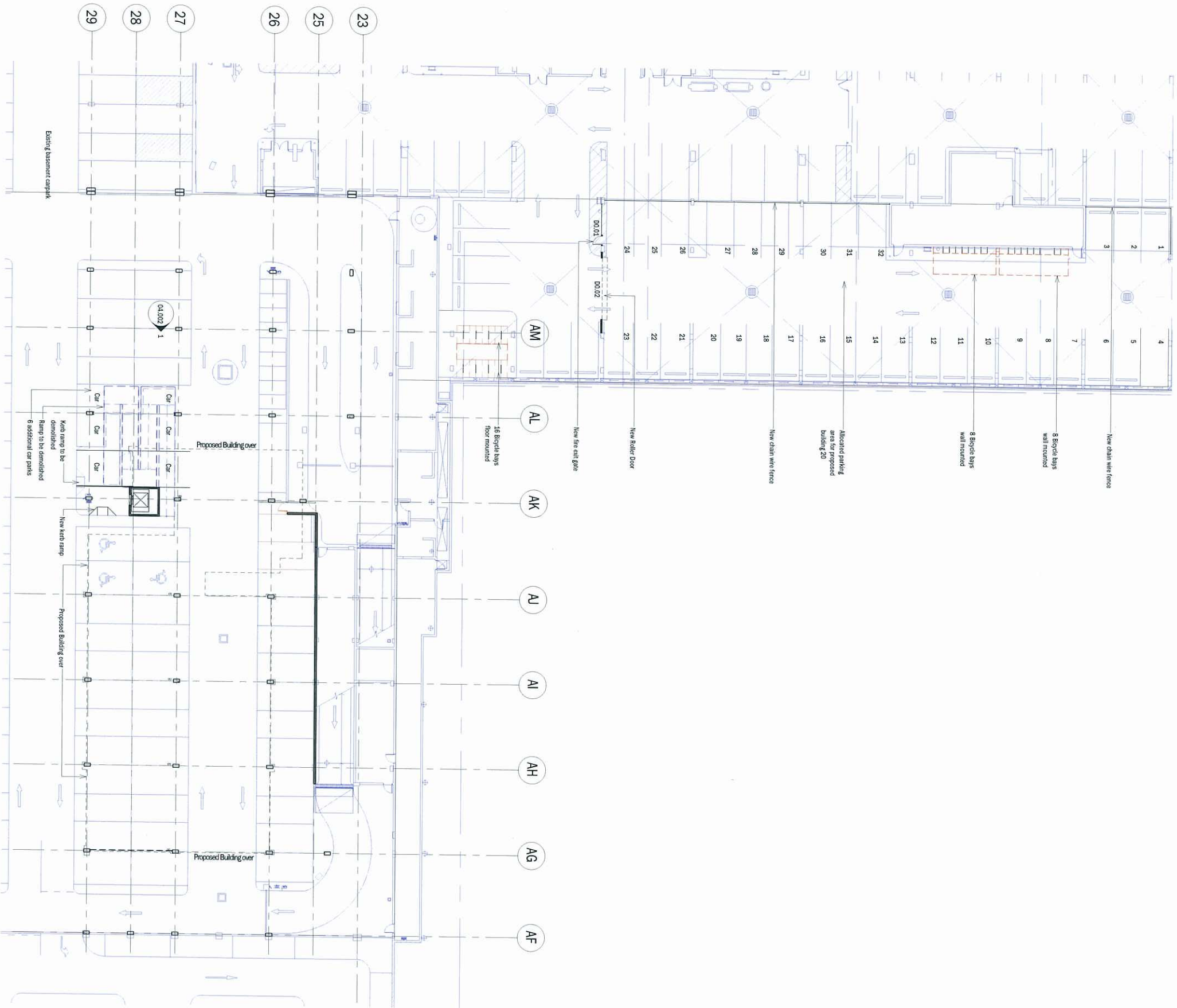
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Project
Brookfield Residential
Properties

Proposed 'Building 20' at Portside
Wharf
Client
Portside Wharf
Hercules Street, Hamilton
Drawing Title
Site & Setout Plan

Project Architect/Designer
MW
Scale @ A3
1:200
PJ
Drawing No.
5325.1W.01.002
3
Drawn By
SN
Checked For Construction
PJ
Date Drawn
June 2013
Date Checked



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Date
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3/09/2013 12:49:42 PM
Scale (m)
0 2 4 6 8 10
Note: Refer Schedule of Interior & Exterior Finishes, Fixtures & Fittings

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL
- 1 OCT 2013
MEDQ

6	Tender Issue	03.09.2013	CM
5	Preliminary Tender Issue	27.08.2013	CM
4	Coordination Issue	21.08.2013	CM
3	Coordination Issue	16.08.2013	CM
2	Single stair revision	08.08.2013	CM
1	Coordination Issue	09.07.2013	CM
Revision	Description	Date	Initials

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Project
Brookfield Residential
Properties

Proposed 'Building 20' at Portside
Wharf
Portside Wharf
Hercules Street, Hamilton
Basement Floor Plan

DESIGN FREEZE
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Architect Date
Client Date
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North
Project Architect/Designer
MV
Scale @ A1
1:200
PJ
Drawing No.
5325.1W02.001
Revision
June 2013
Date Checked
6

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The nominated architect in preference to scaling. All dimensions are to be worked on this plan.
Residential and commercial units are shown. The nominated architect in preference to scaling.
3/09/2013 12:48:43 PM



Note: Refer Schedule of Interior & Exterior finishes, fixtures & fittings

Region of air rights
boundary from level 1 of
proposed building 6
adjoining

-- Legend --

Abbreviation	Description
A/C	A/C Condenser
b1	Rolland - Refer landscape drawings for details
b2	Removable Rolland - Refer landscape drawings for details
bt	Bucket trap
cl-3	Ceramic tile - Type 3
dp	Downpipe to hydraulic eng's detail
fh	Fire hydrant
ftr	Fire hose reel
fip	Fire indicator Panel
hws	Hot water system & safety tray
kek	Kitchen exhaust
p-th	Pad compliant door threshold
ss-b	Fence screen, Lowline Barossa, refer specification for details
snc	Sprinkler valve cupboard

AMENDED IN RED

30 SEP 2013

By: BRIAN PATRICK (name)

MEDQ

Revision	Description	Date	Initials
13	Tender Issue	03.09.2013	CM
12	Preliminary Tender Issue	27.08.2013	CM
11	Coordination Issue	21.08.2013	CM
10	Coordination Issue	16.08.2013	CM
9	Single state revision	08.08.2013	CM
8	Coordination Issue	07.08.2013	CM
7	Coordination Issue	26.07.2013	CM
6	Coordination Issue	16.07.2013	CM
5	Coordination Issue	09.07.2013	CM
4	For Client Review	08.07.2013	CM
3	Client changes for Review	03.07.2013	CM
2	Issued for Review	02.07.2013	DH
1	For Information	02.07.2013	DH

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Project
Brookfield Residential
Properties

Proposed 'Building 20' at Portside
Wharf

Portside Wharf
Hercules Street, Hamilton

Ground Floor Plan

4 original parking spaces
lost to proposed access way



Tender

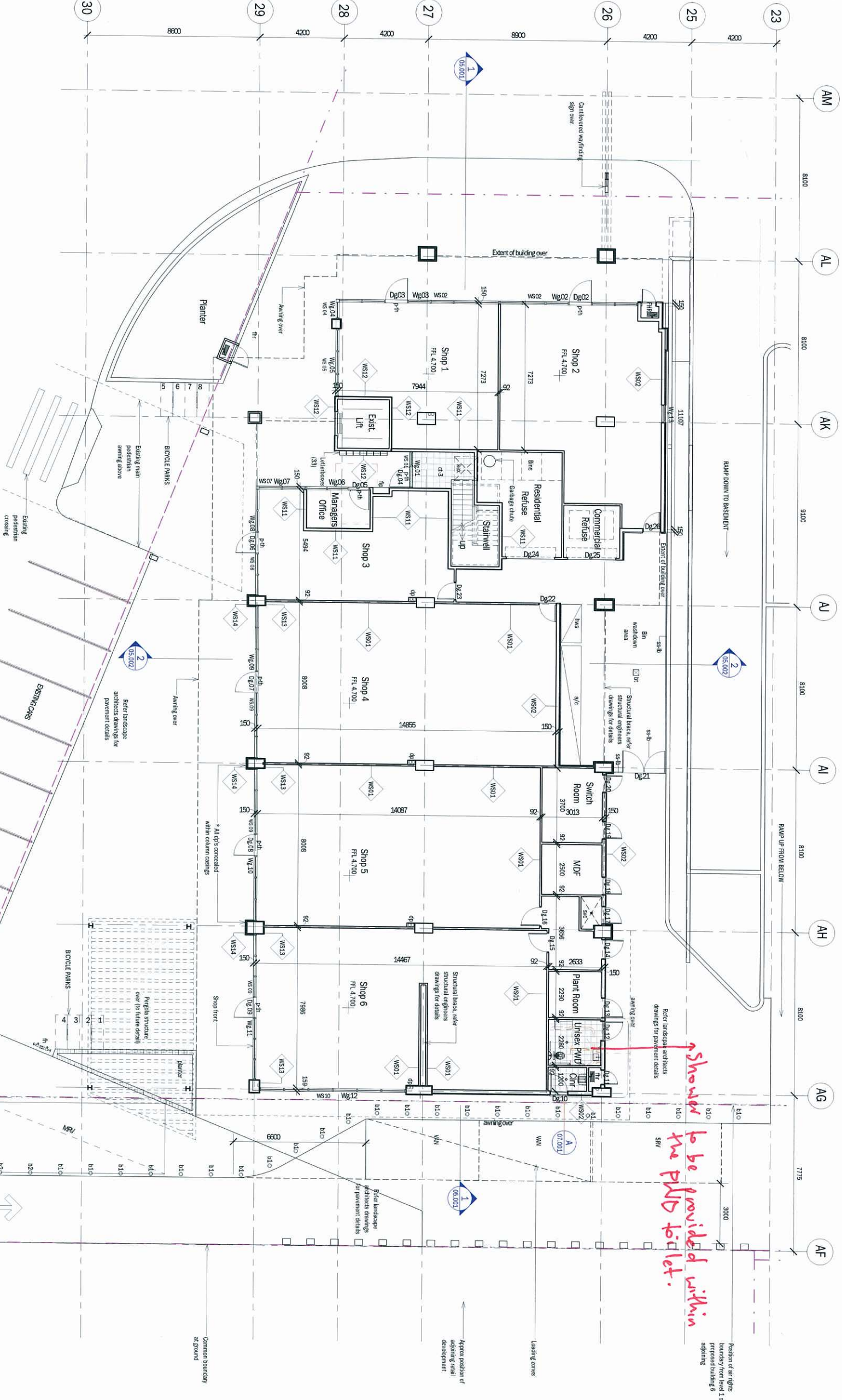
5325.1W02.002 13

DESIGN FREEZE
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Architect Date
Client Date
PLANS AND DOCUMENTS
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- 1 OCT 2013
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Architect Date
Client Date

Code	Description	System	Additional Requirements	FRL	Rw/Rw+Ct
WS01	Tenancy party walls	CSR 005(a) (92 Stud)		-	35/28
WS02	Tenancy external walls	CSR 932(a) (150 Stud)		-	44/38
WS03	Unit party walls	CSR 216(a) Apply additional lining Comisedal to wet areas		-	55/50
WS04	Walls between corridors and units	CSR 044(b) 1 x 16mm (in lieu of 13mm) Gyprock Firechek to both sides		-	51/42
WS05	External walls separating corridors	CSR 044(b) 1 x 16mm (in lieu of 13mm) Gyprock Firechek to both sides, with additional Comisedal 7.5mm Textured Base sheet externally		-	51/42
WS06	External walls to units	CSR 216(a) Add Comisedal Express Base Stone externally		-	55/50
WS07	External walls separating units from neighbouring balcony	CSR 216(a) Add Comisedal 7.5mm Textured Base sheet externally		-	55/50
WS08	Walls separating balconies	76 Steel stud 600 cns lined both sides with 7.5mm Comisedal Base Sheet		-	32/24
WS09	Walls within units	CSR 005(a) Substitute Comisedal to wet areas (64 Stud)		-	51/43
WS10	Service duct shafts	CSR 977(b) (102 Stud) Add 1 x 16mm Gyprock Plasterboard internally		-	51/43
WS11	Service duct shaft	CSR 977(b) (102 Stud) Add 1 x 16mm Gyprock Plasterboard internally		-	51/43
WS12	Lift shaft	CSR 977(b) (102 Stud)		-	51/43
WS13	Internal columns, all floors	CSR 195		-	90/-
WS14	External columns and beams	Firechek MR and Comisedal Express Wall Base Stone externally		-	-
WS15	Feature tower	Dupont Stainless Facade System 600 module, 100mm Connector, 8mm Polycarbonate sheeting		-	-
WS16	Facade walls	CSR 933 (With additional Anticon 55 to sillion gables)		-	35



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Note: Refer Schedule of Interior & Exterior finishes, fixtures & fittings

-- Legend --

Abbreviation	Description
a/c	A/C Condenser
a/c-d	Air conditioning ducts
bg	Box gutter, 1% min. fall to outlets
chr	Colorbond metal roof sheeting to comply with A.S. 1562
cltr	Cleaners cupboard
cpt	Carpet
ct-1	Ceramic tile - type 1
ct-2	Ceramic tile - type 2
dp	Downpipe to hydraulic eng's detail
elec	Electrical meter & controls
fgp-a	Fixed glass balustrade type a
fgp-b	Fixed glass balustrade type b
fw-2	Floor waste type 2
gc	Garbage chute
hy-d	Hydraulic ducting
kuc	Kitchen exhaust
rwo	Recycling waste bin
ss-1m	Sunshade, Lowline Mirago, refer specification for details
ss-1o	Sunscreen, Lowline Ocean, refer specification for details
ss-1s	Sunshade, Lowline Sheraton, refer specification for details
ss-1v	Service screen, Lowline Varsity, refer specification for details
wtb	Wheelchair turn around 2070x1540

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

-- 1 OCT 2013

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10	Tender Issue	03.09.2013	CM
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5	Coordination Issue	08.07.2013	CM
4	For Client Review	08.07.2013	CM
3	Client changes for Review	05.07.2013	CM
2	Issued for Review	03.07.2013	CM
1	For Information	02.07.2013	DH

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Project
Brookfield Residential Properties

Proposed 'Building 20' at Portside Wharf
Portside Wharf
Hercules Street, Hamilton
Drawing Title
Level 1 Floor Plan

Tender
Project Architect/Designer
MV
Scale @ A4
1:100
PJ
Drawing No.
5325.1W02.004
Revision
10
Drawn By
DH
June 2013
Data Checked
Date Checked



1 Level 1 Plan
04.001 1:100

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-- Legend --

Abbreviation	Description
a/c	A/C Condenser
a/c-d	Air conditioning ducts
clmr	Cleaners cupboard
cr-1	Ceramic tile - type 1
cr-2	Ceramic tile - type 2
elec	Electrical meter & Cables
fgb-a	Fixed glass balustrade type a
fw-2	Floor waste type 2
gc	Garbage chute
hy-d	Hydraulic ducting
lex	Kitchen exhaust
lwb	Recycling waste bin
ss-hm	Stainless, Lowline Mirage, refer specification for details
ss-lo	Stainless, Lowline Ocean, refer specification for details
ss-hv	Service screen, Lowline Varsity, refer specification for details
wta	Wheelchair turn around 2070x1540 Water Meter

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL
- 1 OCT 2013
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11	Tender Issue	03.09.2013	CM
10	Preliminary Tender Issue	27.08.2013	CM
9	Coordination Issue	21.08.2013	CM
8	Single stair revision	08.08.2013	CM
7	Coordination Issue	17.07.2013	CM
6	Coordination Issue	15.07.2013	CM
5	Coordination Issue	09.07.2013	CM
4	For Client Review	08.07.2013	CM
3	Client changes for Review	05.07.2013	CM
2	Issued for Review	02.07.2013	CM
1	For information	02.07.2013	DH

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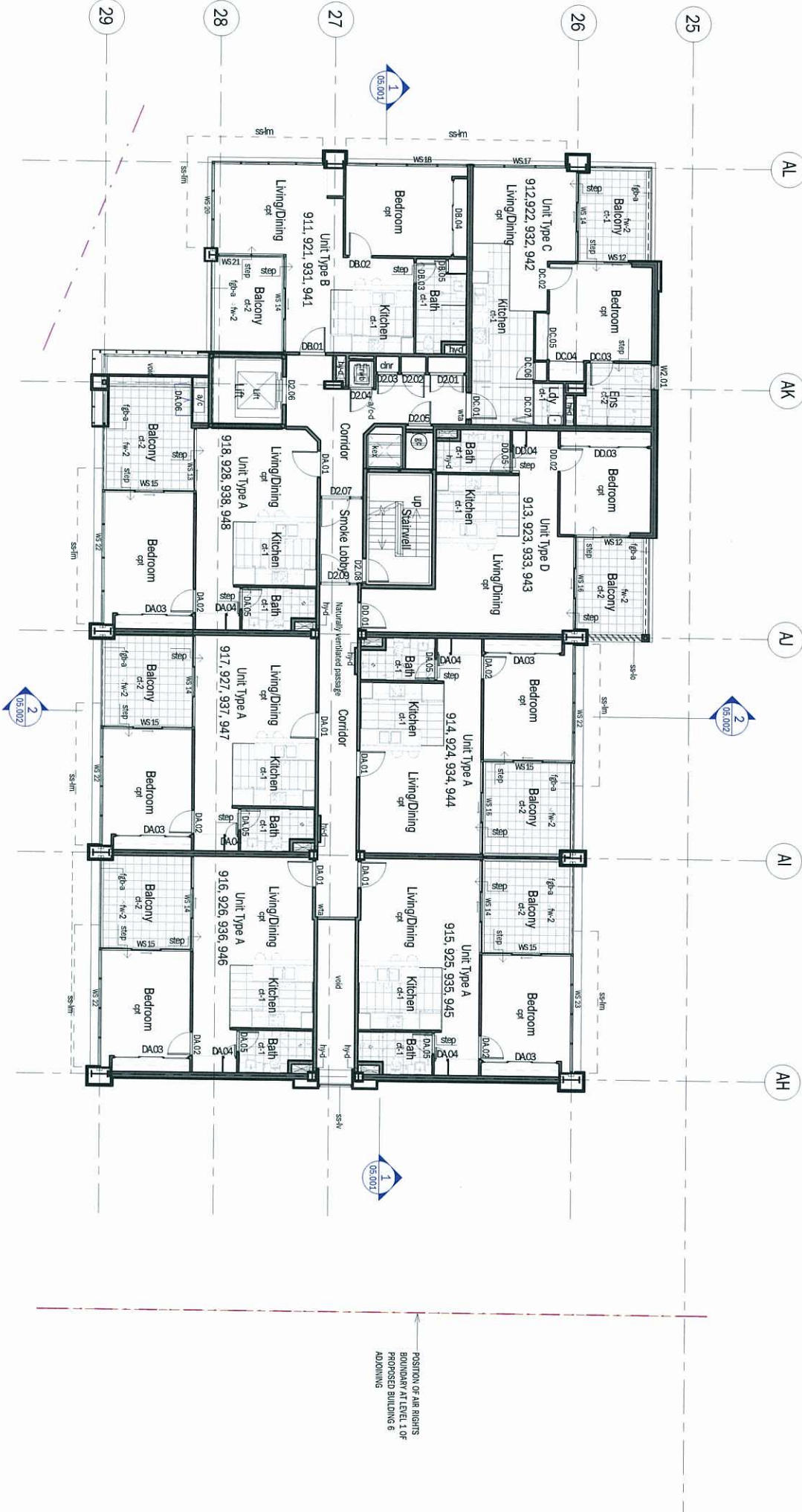
Project
Brookfield Residential
Properties

Proposed "Building 20" at Portside Wharf
Portside Wharf
Hercules Street, Hamilton
Drawing Title
Typical Floor Plan Level 2-4

Project Architect/Designer
MW
Scale @ A1
1:100
Drawing No.
5325.1W02.005
Tender

Drawn By
DH
Checked for Construction
PJ
Date Drawn
June 2013
Date Checked

Revision
11



1 Level 2-4 Plan
1:100

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Date

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Note: Refer Schedule of Interior & Exterior finishes, fixtures & fittings

-- Legend --

Abbreviation	Description
bg	Box gutter, 1½ min. fall to outlets
chr	Colorbond metal roof sheeting to comply with AS 1562
kex	Kitchen exhaust
ofs	Overflow spitter
ss-im	Sunshade, Lowline Minge, refer specification for details

PLANS AND DOCUMENTS referred to in the PDA APPROVAL

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12	Tender Issue	03.09.2013	CM
11	Preliminary Tender Issue	27.08.2013	CM
10	Coordination Issue	21.08.2013	CM
9	Single stair revision	08.08.2013	CM
8	For Review	01.08.2013	CM
7	Coordination Issue	26.07.2013	CM
6	Coordination Issue	23.07.2013	CM
5	Coordination Issue	16.07.2013	CM
4	Coordination Issue	15.07.2013	CM
3	Coordination Issue	09.07.2013	CM
2	Client changes for Review	05.07.2013	CM
1	Issued for Review	03.07.2013	CM

Brookfield Residential Properties

Project

Brookfield Residential Properties

Proposed "Building 20" at Portside Wharf

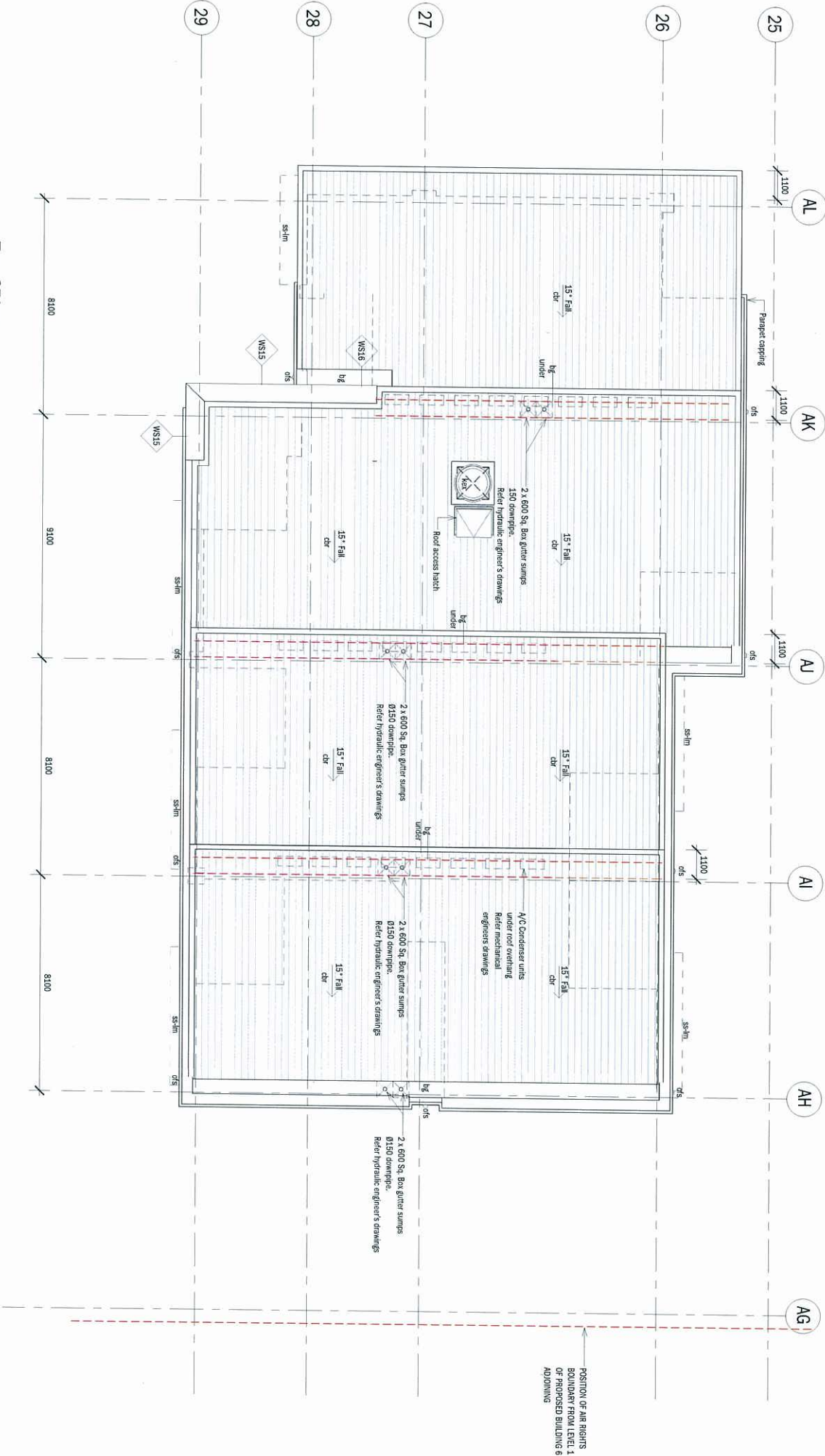
Portside Wharf

Hercules Street, Hamilton

Roof Plan

Tender

5325.1W02.006 12



1 Roof Plan

04.001 / 1 : 100

Roof Access Safety System
In accordance with WH&S and AS 1557, provide and install a certified roof access safety system to facilitate general access from the ground surface to all roofed areas for maintenance. Access to the main roof shall be via a ladder to a roof hatch at the top of the stairwell. Window cleaning will be carried out by 'cherry picker' from ground level so no abseil points are required at roof level.

Code	Description	System	Additional Requirements	FRL	Rw/Rw+Ct
CO1	All floors / Ceilings (Levels 1-4 except balconies)	CSR 849(b)	-	60/60/60	56/52 45/50 (carpet + underlay)
CO2	Suspended plasterboard ceiling, concealed grid system	-	Suspend below ceiling 'CO1'	-	-
CO3	External soffit	-	6mm FC pvc joiners	-	-
CO4	Roof / Ceiling over bedrooms (Level 4)	CSR 893 (a)	-	60/60/60	50/42
CO5	Roof / Ceiling over living area, kitchen, bathroom, corridor (Level 4)	CSR 898 (a)	-	30/30/30	47/38

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Note: Refer Schedule of Interior & Exterior finishes, fixtures & fittings

-- Legend --

Abbreviation	Description
cc-1	Ceramic tile - type 1
fg-a	Fixed glass balustrade type a
fw-1	Floor waste type 1
sh-r	Shower
ss-10	Sunscreen, Lowline Ocean, refer specification for details
vb	Vanity basin

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

- 1 OCT 2013

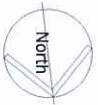
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Revision	Description	Date	By
1	Preliminary Tender Issue	27.08.2013	CM
2	Tender Issue	03.09.2013	CM

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Project
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Properties

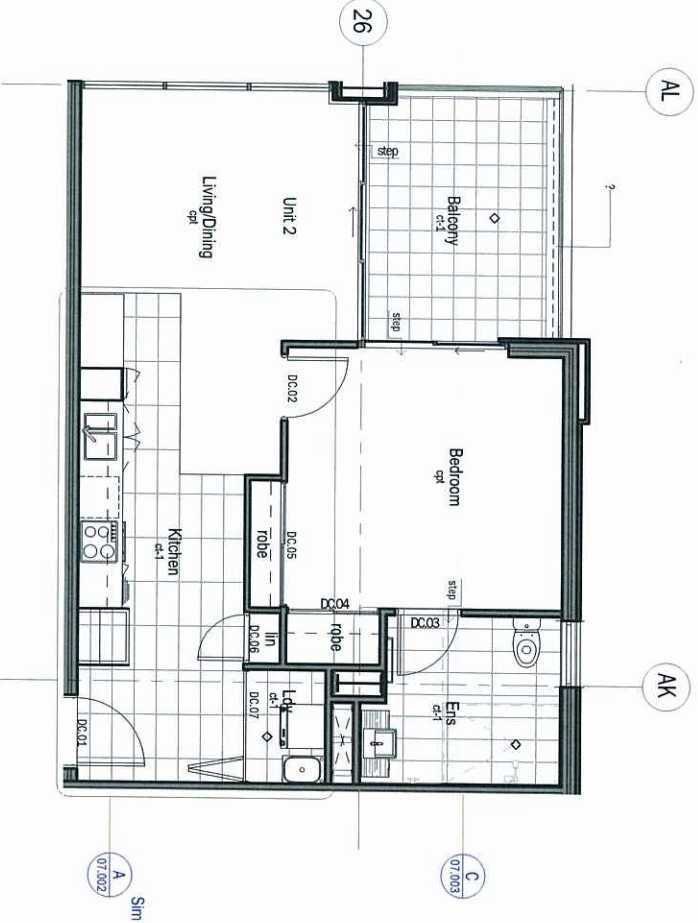
Proposed "Building 20" at Portside
Wharf
Portside Wharf
Hercules Street, Hamilton
Typical Unit Layouts



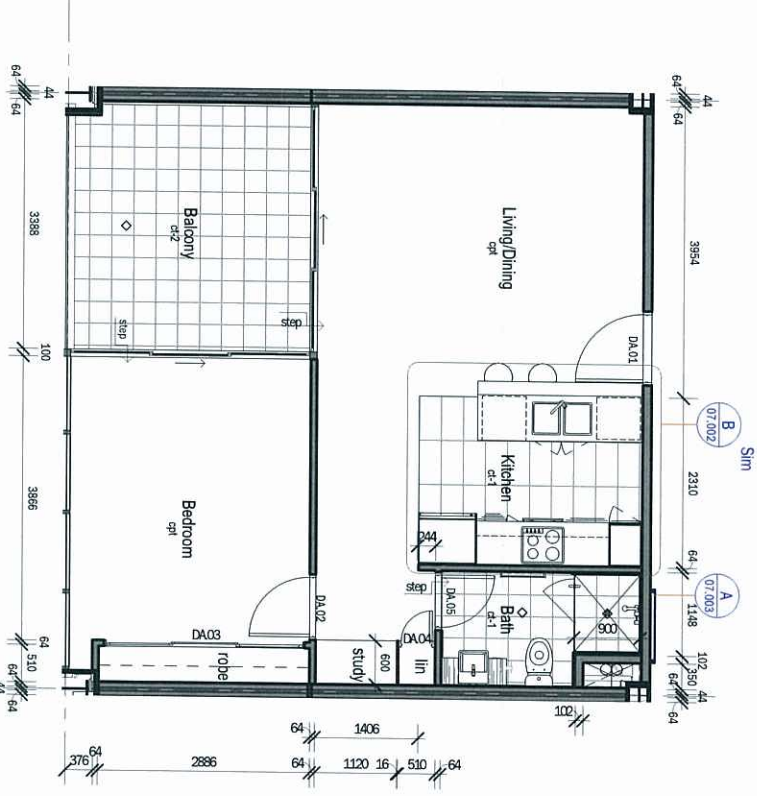
Tender

Project Architect/Designer
Designer
Scale @ A4
1:50
Drawing No.
5325.02.007

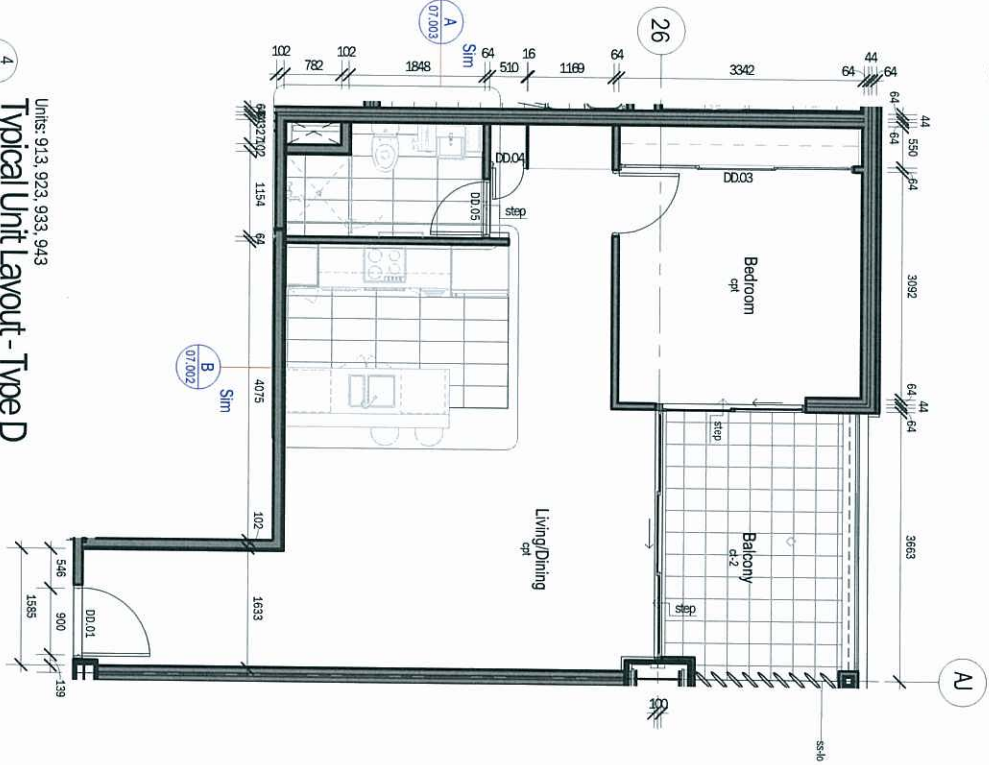
Drawn By
Author
Checked for Construction
Date Checked
Revision
2



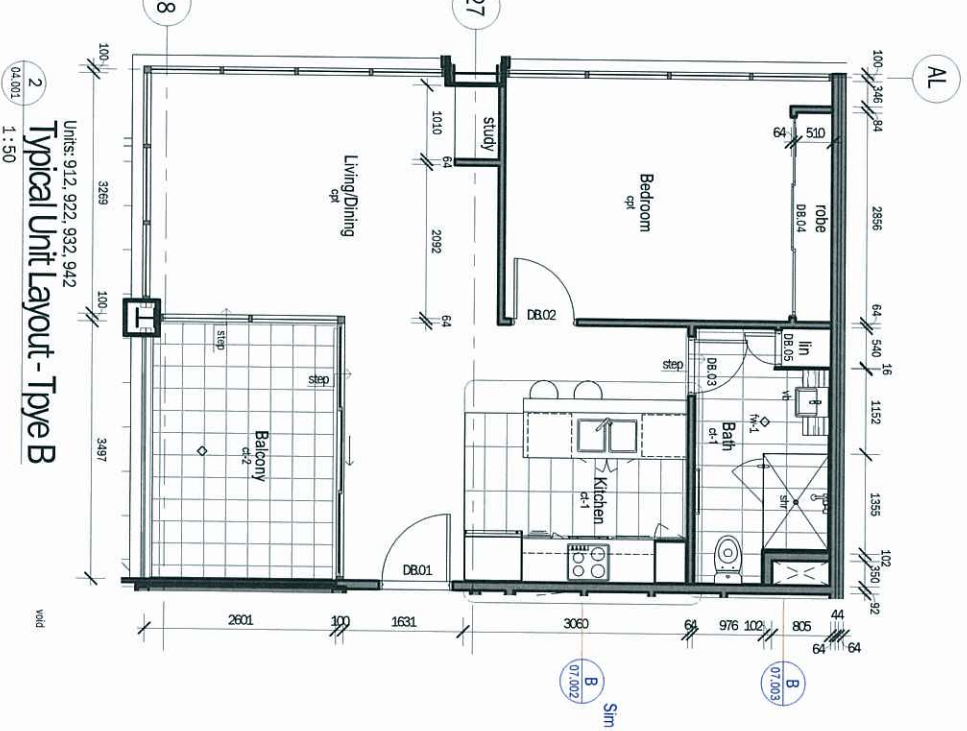
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Typical Unit Layout - Type C
1:50



3
Typical Unit Layout - Type A
1:50



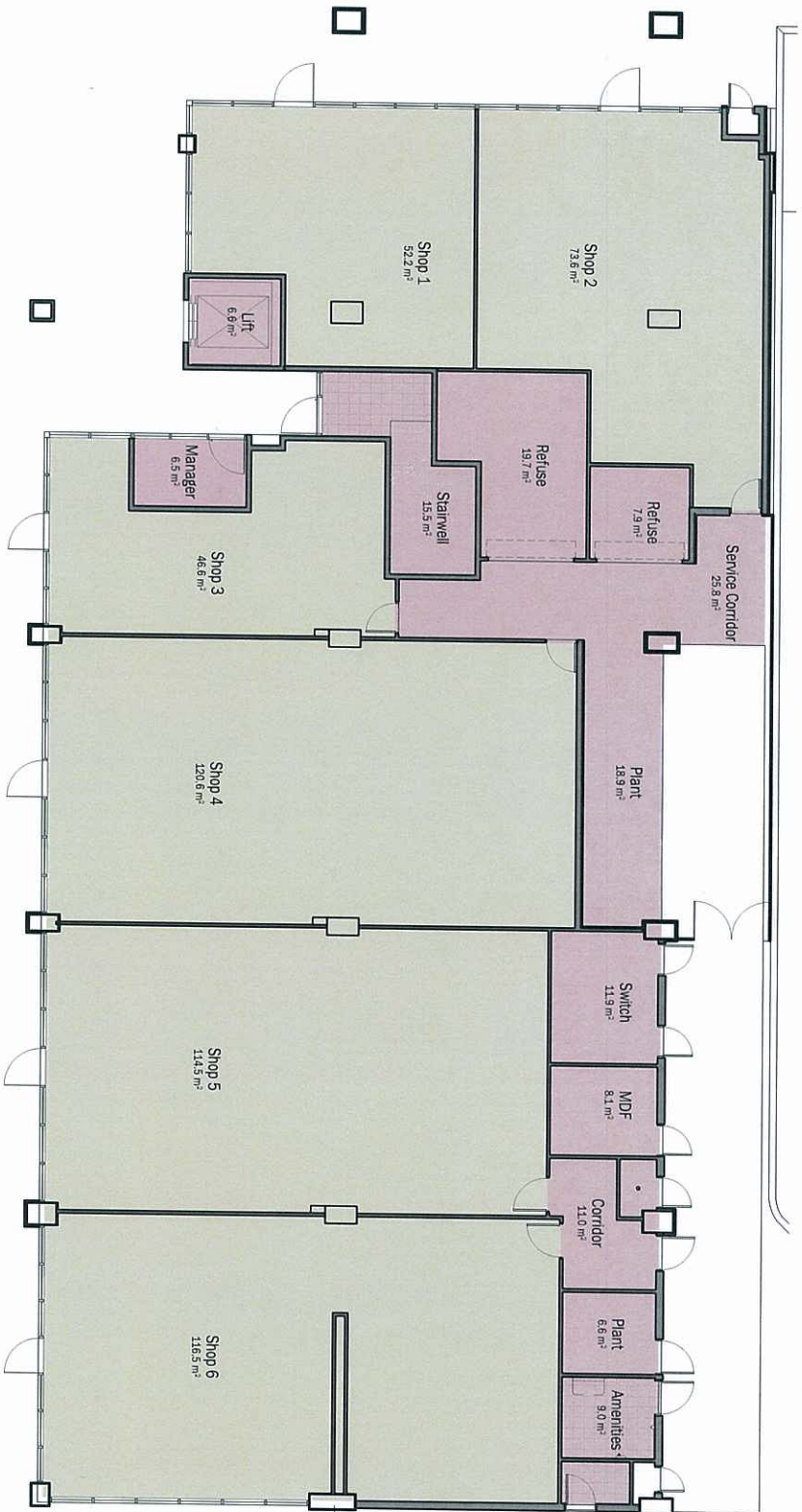
4
Typical Unit Layout - Type D
1:50



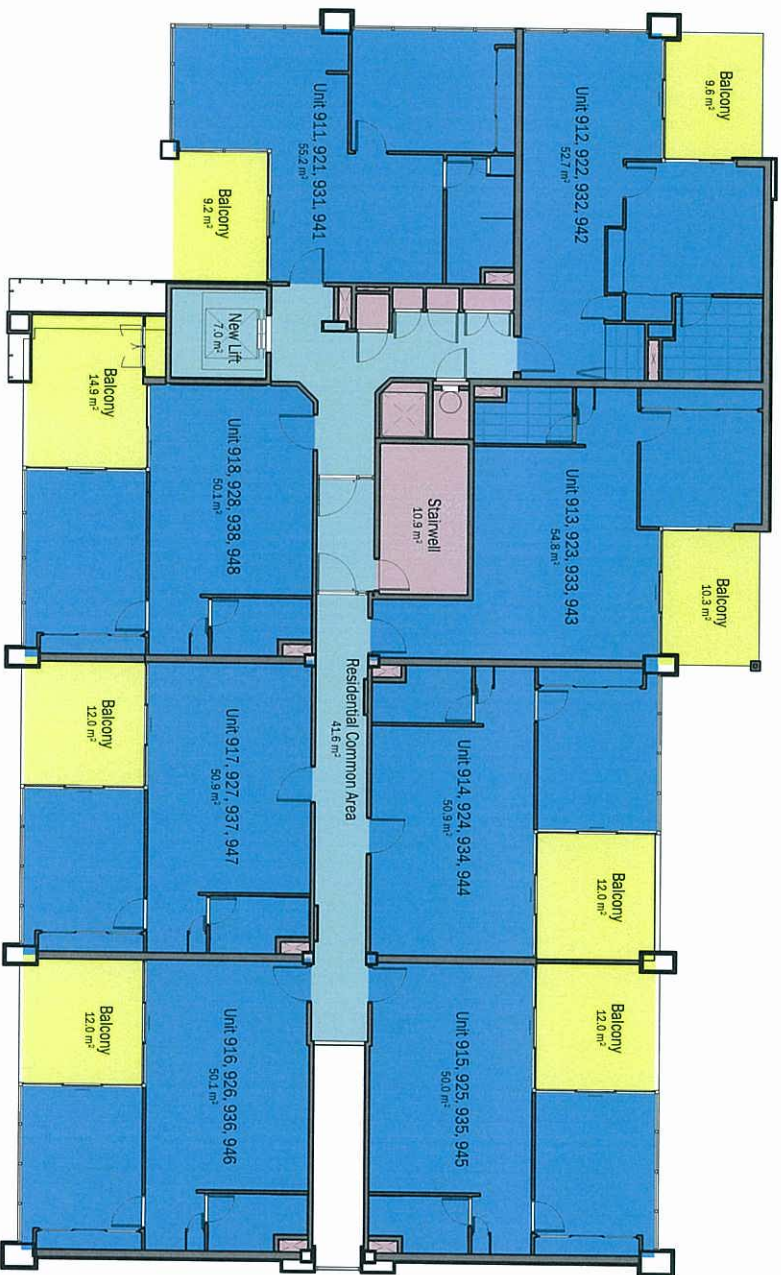
2
Typical Unit Layout - Type B
1:50

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Architect
Date
Client
Date

TVS architects



1 Ground Floor Area Plan
04.001
1:100



2 Typical Area Plan Levels 1-4
1:100

- Balcony
- Residential - Unit GFA
- Residential Common
- Retail Common
- Retail GFA
- Services

Retail GFA Area Schedule		
Name	Area	
Ground Floor		
Shop 1	52.2 m²	
Shop 2	73.6 m²	
Shop 3	46.6 m²	
Shop 4	120.6 m²	
Shop 5	114.5 m²	
Shop 6	116.5 m²	
Grand total	524.0 m²	

Residential GFA Common Area...		
Area Usage	Area	
Level 1		
Residential Common	41.6 m²	
Level 2		
Residential Common	41.6 m²	
Level 3		
Residential Common	41.6 m²	
Level 4		
Residential Common	41.6 m²	
Grand total	166.5 m²	

Residential GFA Area Schedule		
Area Usage	Area	
Level 1		
Residential - Unit GFA	414.6 m²	
Level 2		
Residential - Unit GFA	414.6 m²	
Level 3		
Residential - Unit GFA	414.6 m²	
Level 4		
Residential - Unit GFA	414.6 m²	
Grand total	1658.4 m²	

Residential Balc Area Schedule		
Area Usage	Area	
Level 1		
Balcony	92.0 m²	
Level 2		
Balcony	92.0 m²	
Level 3		
Balcony	92.0 m²	
Level 4		
Balcony	92.0 m²	
Grand total	367.8 m²	

ULDA Planning GFA Schedule		
Ground Floor		
Level 1	524.0 m²	
Level 2	456.2 m²	
Level 3	456.2 m²	
Level 4	456.2 m²	
Grand total	2349.0 m²	



PLANS AND DOCUMENTS
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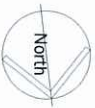
Revision	Description	Date	Initials
1	Tender Issue	03.09.2013	CM

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Project
Brookfield Residential Properties

Proposed "Building 20" at Portside Wharf
Client
Portside Wharf
Hercules Street, Hamilton

Drawing Title
Area Plans



Tender
5325.1W02021 1

Project Architect/Designer
MW
Scale @ A1
1:100
PJ
Checked for Construction
CM
Date Checked
SEPT 2013
Revision
1

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Note: Refer Schedule of Interior & Exterior finishes, fixtures & fittings

-- Legend --

Abbreviation	Description
chr	Colored band metal rod slanting to comply with A.S. 1562
fig-a	Fixed glass balustrade type a
fir	Fine bore reed
kex	Kitchen exhaust
ofs	Overflow spitter
ss3m	Sunshade, Lowline Mirage, refer specification for details
ss3o	Sunscreen, Lowline Ocean, refer specification for details
ss3s	Sunshade, Lowline Sherman, refer specification for details
ss3v	Service screen, Lowline Varsity, refer specification for details

PLANS AND DOCUMENTS referred to in the PDA APPROVAL

- 1 OCT 2013

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Rank	Description	Date	Penalty
7	Tender Issue	03.09.2013	CM
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Brookfield Residential Properties

Proposed "Building 20" at Portside

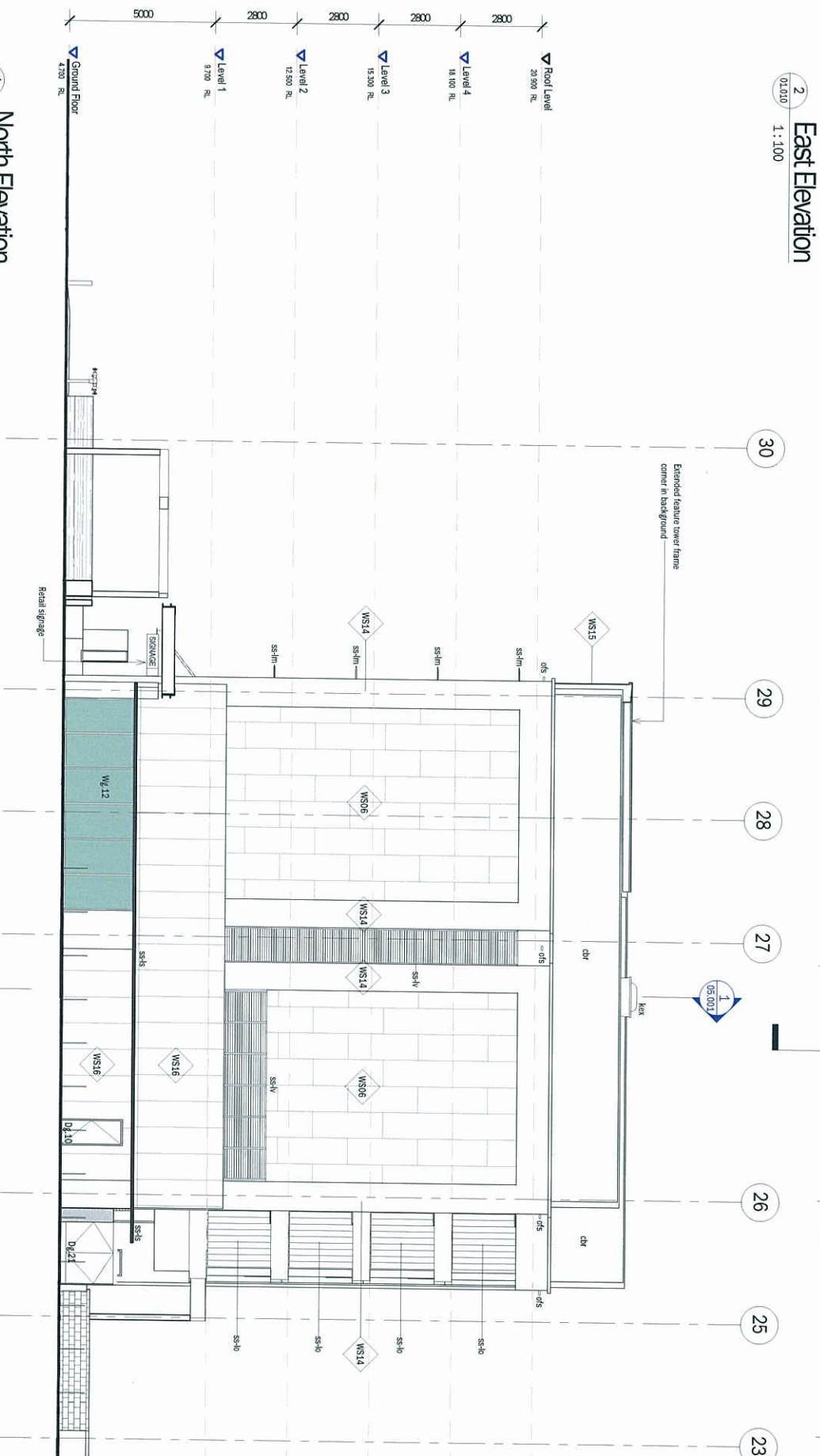
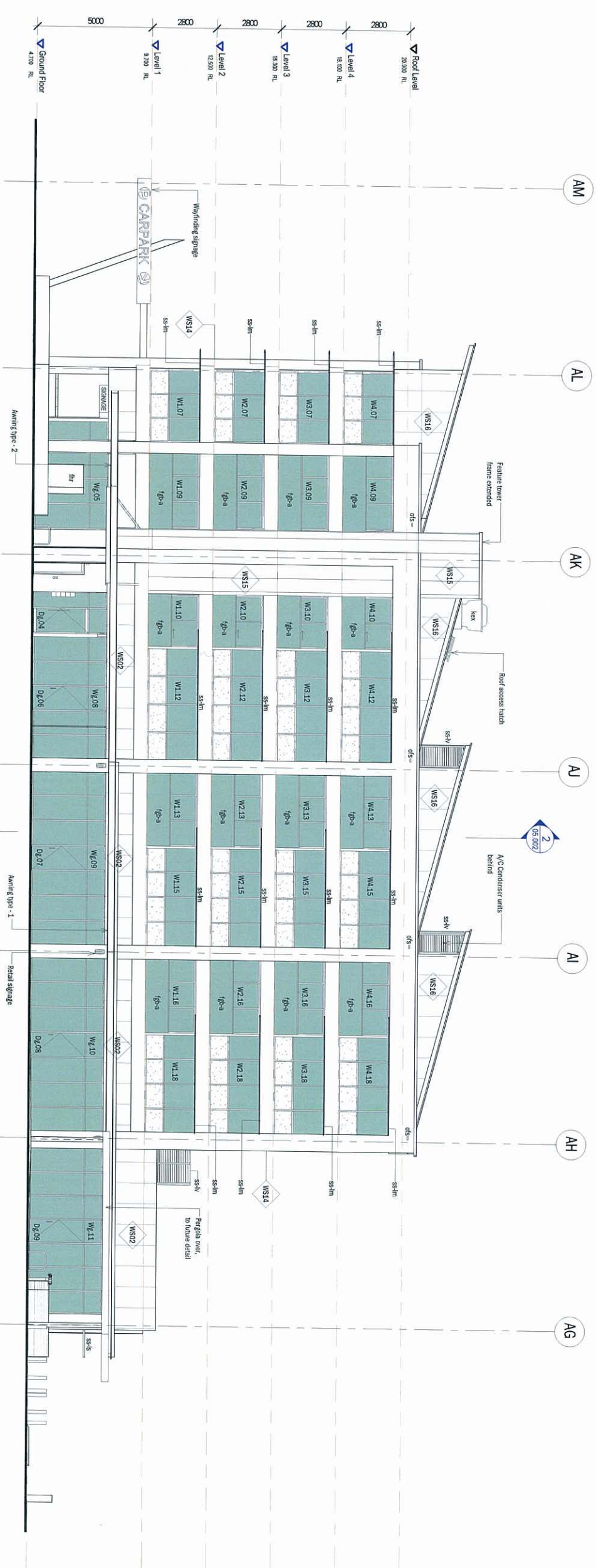
Wharf

Portside Wharf

Hercules Street, Hamilton

Drawing Title
North & East Elevation

Project Architect/Designer	Drawn By	Date Drawn
NV	DH	June 2013
Scale @ A1	Checked for Construction	Date Checked
1:100	PJ	
Drawing No.		Revision
5325.1W04.001		7



DESIGN FREEZE
This is the agreed design on which
working drawings will be based.

Date _____

Date _____

TVS
architects

North Elevation
1 : 100

©TS architects
Use nominated dimensions in preference to scaling. All dimensions are to be verified on site prior to commencement of work.
Email/drawing: 7-revision: uncontrolled copies of the original. A77777 symbol in the title section of the amendments column represents an uncontrolled copy of the original documents.

3/09/2013 12:51:24 PM

0 2 4 6 8 10

Scale (m)

Note: Refer Schedule of Interior & Exterior finishes, fixtures & fittings

Note: Refer Schedule of Interior & Exterior finishes, fixtures & fittings

-- Legend --

Abbreviation	Description
a/c	A/C Condenser
bg	Box gutter, 1½ mm, fall to outlets
chr	Coloured metal roof sheathing to comply with A.S. 1562
keex	Kieichen exhaust
ssr/sk	Surinamate, Lowline Surenator, refer specification for details
ss/sk	Service screen, Lowline Varsity, refer specification for details

PLANS AND DOCUMENTS
referred to in the PDAAPPROVAL

- 1 OCT 2013

MEDQ

5	Tender Issue	03.09.2013	CM
4	Preliminary Tender Issue	27.08.2013	CM
3	Single stair revision	08.08.2013	CM
2	Coordination Issue	09.07.2013	CM
1	For information	02.07.2013	DH
Revision	Description	Date	Initials

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architects

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Brookfield Residential Properties

Proposed "Building 20" at Portside
Wharf

Portside Wharf
Hercules Street, Hamilton

Drawing Title

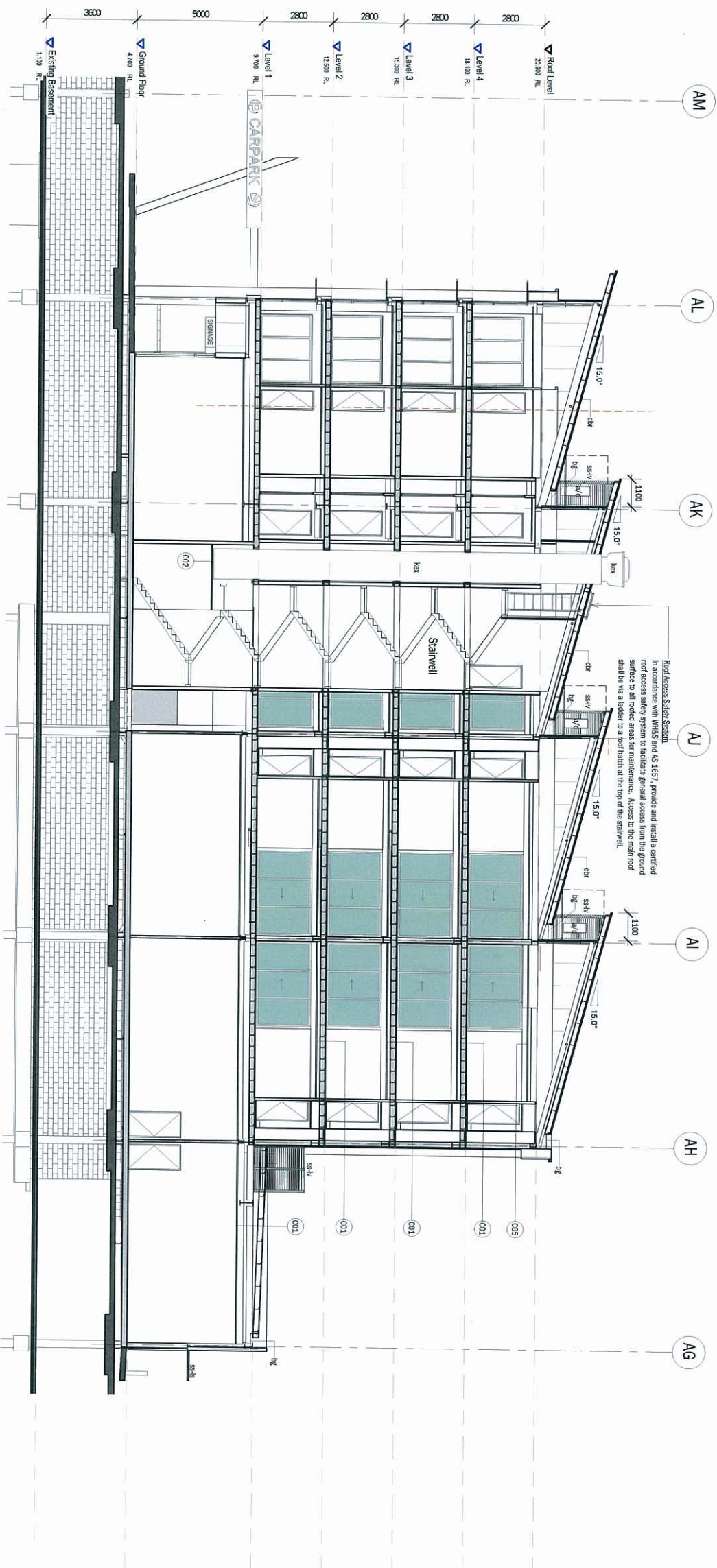
Section 01

Project architect/Designer	Drawn By	Date Drawn
NW	SN	June 2013
Scale @ A1	Checked for Construction	Date Checked
1:100	PJ	
Drawing No.		Revision
5325.1W.05.001		5

Tender

5325.1W.05.001 5

1
02.002
Section 01
1:100



DESIGN FREEZE

This is the agreed design on which working drawings will be based.

Architect _____ Date _____

Client _____ Date _____

TYS
architects

-- Legend --
Abbreviation Description

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL
-- 1 OCT 2013
MEDQ

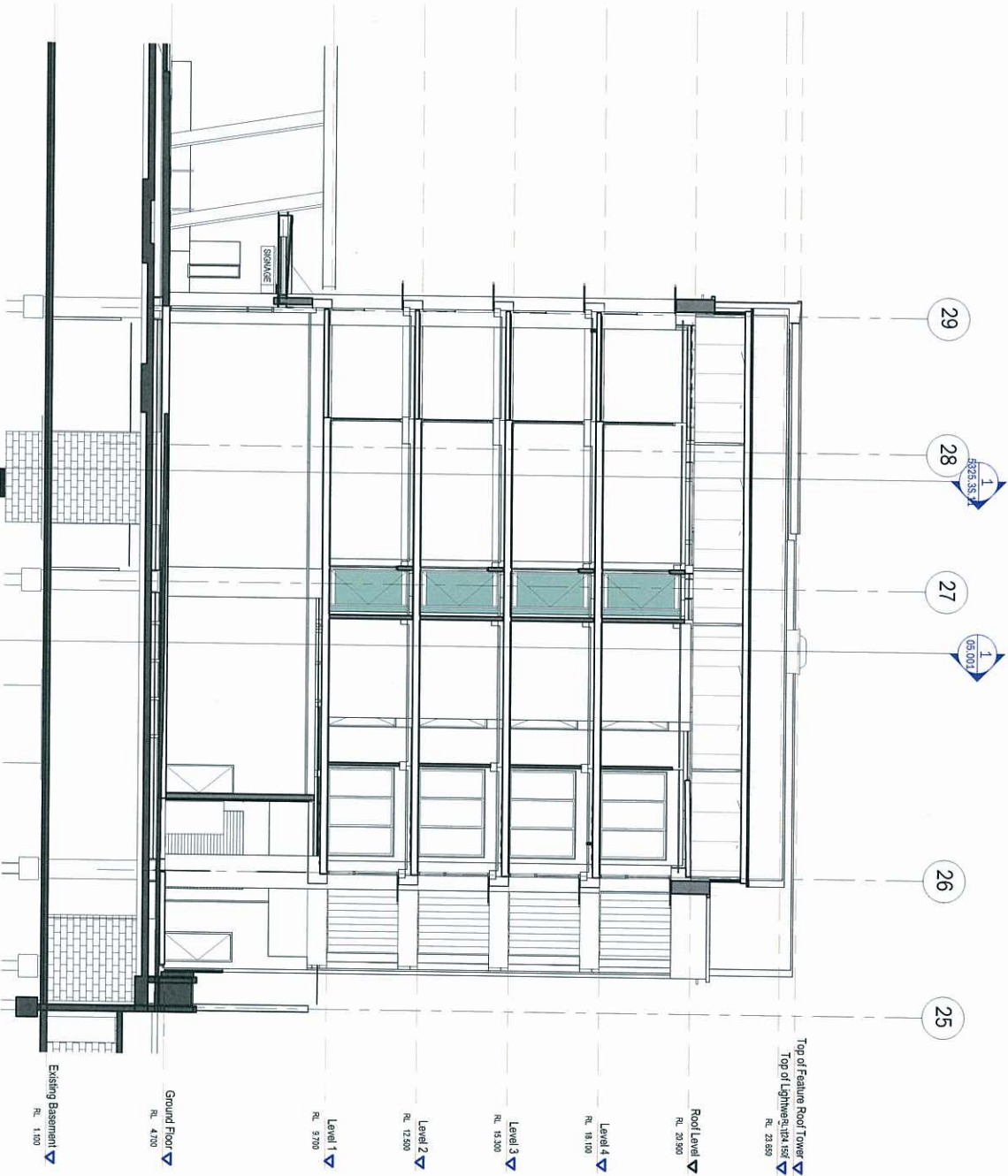
9	Tender Issue	03.09.2013	CM
8	Preliminary Tender Issue	27.08.2013	CM
7	Single stair revision	08.08.2013	CM
6	Coordination Issue	26.07.2013	CM
5	Coordination Issue	23.07.2013	CM
4	DA Set Revised - Roof Profile	22.07.2013	CM
3	Coordination Issue	15.07.2013	CM
2	Coordination Issue	09.07.2013	CM
1	Issued for Review	03.07.2013	CM
Revision	Description	Date	Initials

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Project
Brookfield Residential
Properties

Proposed "Building 20" at Portside
Wharf
Client
Portside Wharf
Hercules Street, Hamilton
Drawing Title
Section 02

Project Architect/Designer
MW
Scale @ A1
1:100
Drawing No.
5325.1W.05.002
Date Drawn
June 2013
Checked for Construction
PJ
Revision
9



2 Section 02
02.002 1:100

DESIGN FREEZE
This is the agreed design on which
working drawings will be based.
Architect
Date
Client
Date

TVS architects

Tender