

LEGEND & MATERIAL SCHEDULE

HARDSCAPE



PAVING TYPE 7
- GRAVITE PAVING ON A MORTAR BED
NOTE: EXISTING STONE PAVEMENT (OF PAVING TYPE P07) TO BE SALVAGED DURING DEMOLITION & REUSE. ADDITIONAL STONE MAY BE REQUIRED REFER BELOW FOR STONE TYPE INFORMATION.
- TYPE: CAVAR GRAVITE PAVE
- COLOUR: CAVAR CHARCOAL
- STONESPEC: ANDREW PORA 1300 85 7732
- SIZE: 300 x 300 x 20mm
- GROUT: STONESPEC QUARRY GROUT GREY
- GROUT: STONESPEC QUARRY GROUT GREY

WALLS, EDGES & SCREENS

PRECAST UPRIGHT KERB TO MATCH EXISTING
SIZE: 600mm x 150mm x 25mm W/ CHAMFERED
COLOUR: TYP COG ONLY (TO MATCH EXISTING)
STONESPEC: ANDREW PORA 1300 85 7732
GROUT: STONESPEC QUARRY GROUT GREY
NOTE: IN SOME INSTANCES WALL HEIGHTS VARY
- REFER LANDSCAPE LEVELS PLAN

PAVING TYPE 8

PAVING TYPE 8
- GRAVITE PAVING ON A MORTAR BED
NOTE: EXISTING STONE PAVEMENT (OF PAVING TYPE P07) TO BE SALVAGED DURING DEMOLITION & REUSE. ADDITIONAL STONE MAY BE REQUIRED REFER BELOW FOR STONE TYPE INFORMATION.
- TYPE: CAVAR GRAVITE PAVE
- COLOUR: CAVAR CHARCOAL
- STONESPEC: ANDREW PORA 1300 85 7732
- SIZE: 300 x 300 x 20mm
- GROUT: STONESPEC QUARRY GROUT GREY
- GROUT: STONESPEC QUARRY GROUT GREY

PAVING TYPE 12

PAVING TYPE 12
- INSETU COLOURED CONCRETE PAVEMENT (TRAFFICABLE PAVEMENT)
- DEPTH NOM: 150mm THICK OVER LIGHTWEIGHT SUB BASE
- COLOUR: TO MATCH COG ONLY
- AGGREGATE: BLUE METAL
- FINISH: BROOM FINISH
PAVING TYPE 13
- GRAVITE PAVING ON A MORTAR BED
- TYPE: WISPA GRAVITE PAVE
- COLOUR: WISPA CHARCOAL
- STONESPEC: ANDREW PORA 1300 85 7732
- SIZE: 300 x 300 x 20mm
- GROUT: STONESPEC QUARRY GROUT GREY
- GROUT: STONESPEC QUARRY GROUT GREY

PAVING TYPE 15

PAVING TYPE 15 - INSETU COLOURED CONCRETE PAVEMENT
- DEPTH NOM: 125mm THICK OVER LIGHTWEIGHT SUB BASE
- COLOUR: COLOUR NOMIN INK
- AGGREGATE: BLUE METAL
- FINISH: BROOM FINISH
- PATTERN: REFER 89-202 PLAN SERIES FOR EXTENT
- BOPAL OR APPROVED EQUAL
- CODE: T1 SERIES
- COLOUR INFILL: BLACK

EXISTING PAVEMENT TO BE RETAINED AND PROJECTED
- PRESSURE BLASTED CLEAN



LIGHTING

UP LIGHT TO TREES
WE-FEET INGROUND PROUD UP LIGHT
PRODUCT NO. EX20002
OR APPROVED EQUIVALENT - LANDSCAPE CONTRACTOR TO PROVIDE SAMPLES FOR LANDSCAPE ARCH. APPROVAL
BROCK LIGHT DIRECTIONAL
WE-FEET RECESSED WALL LUMINAIRES
PRODUCT NO. GR345LED
NOTE: LOCATE FIXTURE MIN. 250mm ABOVE FINISHED FLOOR LEVEL

LIGHT POLE
- TO MATCH EXISTING
TOTAL LIGHT
- TO MATCH EXISTING

EXISTING GARDEN LIGHT - TO BE REMOVED
EXISTING GARDEN LIGHT - TO BE REMOVED

EXISTING LIGHT POLE - TO BE RE-LOCATED
EXISTING LIGHT POLE - TO BE RE-LOCATED

LIGHTING NOTES:
- ALL EXTERNAL LIGHTING MUST:
A) PROVIDE LIGHT TO THE BUILDING, PARTICULARLY ENTRANCES AND VEGETATED AREAS ONLY AND DOES NOT OVERSPILL INTO OTHER BUILDINGS OR THE SKY
B) IS IN ACCORDANCE WITH AS4282:1997 CONTROL OF THE OBTRUSIVE EFFECTS OF OUTDOOR LIGHTING SO AS NOT TO CAUSE NUISANCE TO NEARBY RESIDENTS OR PASSING MOTORISTS.

LEVELS & DRAINAGE

EXISTING SURFACE LEVEL
PROPOSED SURFACE LEVEL
PROPOSED TOP OF WALL LEVEL
PROPOSED TOP OF KERB LEVEL
PROPOSED SURFACE TO FINISH
FLUSH WITH EXISTING SURFACE

POOLUM DRAINAGE OUTLET
EXISTING POOLUM DRAINAGE
OUTLET TO BE RETAINED

ACC. DRAIN PLASTIC VSI 16.6 SLOPED COMPLETE WITH 150mm DIA. 100mm DEPTH 100mm DIA. DRAIN IN BOTH DIRECTIONS. POOLUM DRAIN CONNECTION UNDER TO HYDRAULIC ENGINEERS DETAILS

ACC. DRAIN PLASTIC VSI 16.6 SLOPED COMPLETE WITH 150mm DIA. 100mm DEPTH 100mm DIA. DRAIN IN BOTH DIRECTIONS. POOLUM DRAIN CONNECTION UNDER TO HYDRAULIC ENGINEERS DETAILS

FIELD GULLY PIT
450 x 450mm STAINLESS STEEL AGO TYPE
450 x 450mm COMPLETE WITH 3 STAR RAINFALL GRATE (MIN. 150mm DIA. 100mm DEPTH 100mm DIA. DRAIN IN BOTH DIRECTIONS. POOLUM DRAIN CONNECTION UNDER TO HYDRAULIC ENGINEERS DETAILS. NOTE GRATE & FRAME TO SIT ABOVE PIT.

SOFTSCAPE



PLANTING AREA 1 FOR RAISED PLANTER
- WE-FEET INGROUND PROUD UP LIGHT
- INOM 800mm THICK POOLUM MIX TOPSOIL - NOTE: IN SOME LOCATIONS DEPTH OF TOPSOIL INCREASES TO 1000mm DEEP LOOSE FOREST MULCH TO FINISHED SURFACE
- PLANT STOCK PLANTED IN ACCORDANCE WITH THE LANDSCAPE PLANTING PLANS
- SLOW RELEASE FERTILISER & WETTING AGENTS REFER SPECIFICATION

EXISTING TREE TO BE REMOVED

EXISTING TREE TO BE PROTECTED
- REFER PLANTING PLANS

PROPOSED ADVANCED TREE

PAVEMENT JOINTING

EXPANSION JOINT
POULUM EXPANSION JOINT
MOVEMENT JOINT TO MATCH EXISTING

EXPANSION JOINT
LATHAM NEOPRENE X-PANION LOGIC STRIP CONTROL JOINTS, WITH STAINLESS STEEL WALL PLATES, AND INTEGRATED NEOPRENE INSERT.
- COLOUR: BLACK

TO MATCH BRISBANE CITY COUNCIL STANDARD
DRAWING LMS 547

TO MATCH BRISBANE CITY COUNCIL STANDARD
DRAWING LMS 547

GENERAL

EXTENT OF LANDSCAPE WORKS/STAGE BOUNDARY
PAGE ADJOINING

FURNITURE

BOLLARD - FIXED
SS BOLLARD TO MATCH EXISTING (TYPICALLY 150mm DIA.)
- BOLLARD SET FIXED TO PAVEMENT
- REFER L_B02_G01_02
BOLLARD - REMOVABLE
- TO MATCH B1 WITH REMOVABLE BASE PLATE
EXISTING CANTILEVERED BENCH SEAT
TYPE: PORTSIDE SIGNATURE BENCH SEAT BY AUSTRALIAN STREETSCAPE
- NOTE: EXISTING BENCH SEATS TO BE RELOCATED WITHIN FINAL DESIGN, NO ADDITIONAL REQUIRED
- REFER L_B02_P01_01 FOR LOCATIONS

200L LITTER BIN (RELOCATED FROM ITS CURRENT LOCATION WITHIN THE SITE AS PER DEMOLITION PLAN)
TYPE: PORTSIDE SIGNATURE LITTER BIN BY AUSTRALIAN STREETSCAPE
- NOTE: EXISTING LITTER BINS TO BE RELOCATED WITHIN FINAL DESIGN, NO ADDITIONAL REQUIRED
- REFER L_B02_P01_01 FOR LOCATIONS

CORA BIKE RACK
- PRODUCT NO. CORA GR2 B
- MATERIAL: 316 STAINLESS STEEL
- CHEMSET FACING TO PAVEMENT TO MANUFACTURERS SPECIFICATION

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

1 OCT 2013

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Newstead, Qld 4006
www.la27.com.au

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CUSTOMER
BROOKFIELD RESIDENTIAL
PROPERTIES
BUILDING 20

DRAWING TITLE
LEGEND / MATERIAL SCH. &
PLANTING SCH.

PROJECT NO.	SCALE	REVISION
12045.01	VERIFIER	C
DRAWN BY	AN	
TJ		
DRAWING NO.		
L-B20-LE-002		

P07: PAVEMENT TYPE 7

Granite paver on a mortar bed

Note: existing stone pavement [of paving type P07] to be salvaged during demolition & reuse, additional stone may be required refer below for stone type information.

- Type: Caviar granite paver
- Colour: caviar charcoal
- Finish: flamed and brushed
- Size and pattern: custom pattern [to match existing]

Includes: 250 x 300 x 40mm

- 400 x 250 x 40mm
- 250 x 200 x 40mm
- 100 x 100 x 40mm
- 100 x 200 x 40mm
- 100 x 300 x 40mm

- Supplier: Stonespec
- Andrew Fiora 1300 85 7732 or approved equal
- Grout: stonespec quarry grout grey



P13: PAVEMENT TYPE 13

Wirgan granite paver

- Type: Wirgan granite paver
- Size: 160 x 300 x 20mm
- Finish: flamed and brushed
- Supplier: Stonespec

Andrew Fiora 1300 85 7732 or approved equal

- Grout: stonespec quarry grout grey



P15: PAVEMENT TYPE 15

In-situ coloured concrete pavement

- Depth nom. 125mm thick over lightweight sub base
- Colour: Colori Indian Ink
- Aggregate: 5 - 10mm stone
- 80% black 20% white

- Finish: honed with decorative sandblasted - Pattern [refer SB-202 plan series for extent]
- Supplier: Boral or approved equal



Wall Type: W-SC-xxx

Caviar granite cladding

Stone clad and capped planter over 200mm core filled block work wall.

[Refer typical detail on L_DT 902]

Note: existing stone cladding & capping to be salvaged during demolition & reuse, additional stone may be required refer below for stone information.

- Type: Caviar granite cladding
- Cladding: Caviar charcoal polished 20mm
- Size: Varies refer typical detail
- Capping unit: caviar 300x600x60mm
- Finish: Polished top surface to match cladding leading edge 600 flamed and brushed
- Supplier: Stonespec

Andrew Fiora 1300 85 7732 or approved equal

- Grout: stonespec quarry grout grey
- Note: in some instances wall heights vary*
- refer landscape levels plan



Wall Type: W-AF-RE-xxx

Cement Render with Caviar granite capping

- Stonespec – Andrew Fiora 1300 85 7732
- Cement Render: 12mm Smooth coat render & applied paint finish
- Capping unit: Caviar 300x600x60mm
- Polished top surface to match Cladding
- Leading edge 600 Flamed and Brushed
- Grout: Stonespec Quarry Grout Grey



REV	DESCRIPTION	DATE
A	COORDINATION	15.08.13
B	PRE TENDER	29.08.13
C	TENDER ISSUE	04.09.13

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PLANS AND DOCUMENTS referred to in the PDA APPROVAL

- 1 OCT 2013

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BROOKFIELD RESIDENTIAL PROPERTIES

BUILDING 20

DRAWING TITLE

SURFACE FINISHES

SCALE BAR

PROJECT No.	SCALE	
12045_01	NTS	
DRAWN BY	VERIFIER	
TJ	AN	
DRAWING No.	REVISION	
L_B20_GE_101	C	

REV	DESCRIPTION	DATE
A	COORDINATION	19.08.13
B	PRE TENDER	29.08.13
C	TENDER ISSUE	04.09.13

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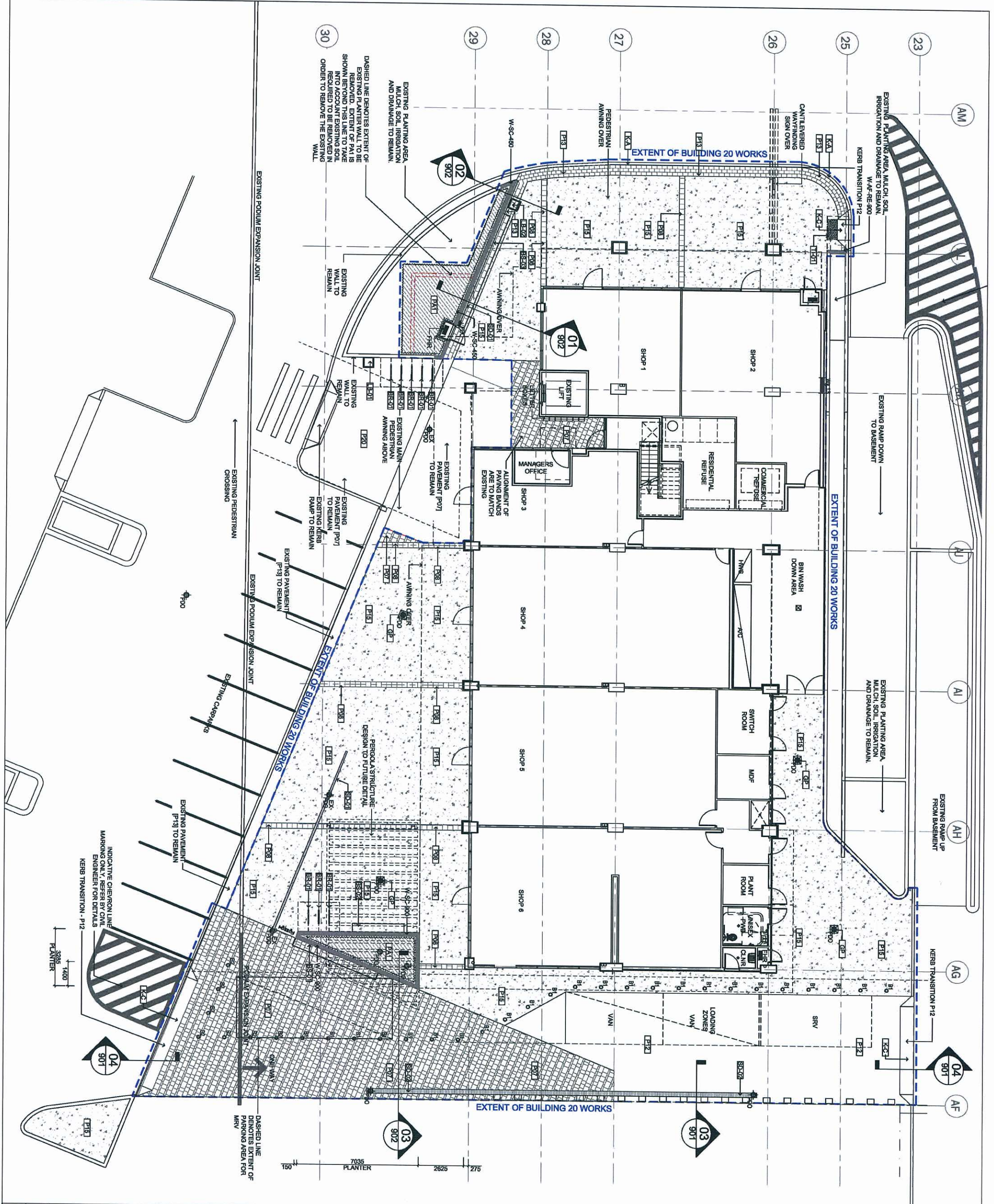
CLIENT
BROOKFIELD RESIDENTIAL PROPERTIES

PROJECT TITLE
BUILDING 20

DRAWING TITLE
SURFACE FINISHES

SCALE BAR
0m 20m 30m 40m 50m
SCALE 1:100 @ A1

PROJECT No.	SCALE
12045.01	1:100
DRAWN BY	VERIFIER
TJ	AN
DRAWING No.	REVISION
L-B20-SF-201	C



REV	DESCRIPTION	DATE
A	PRE TENDER	29.08.13
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GENERAL NOTES:

- EXTENT OF SANDBLASTING PATTERN TO MATCH ADJACENT STREETSCAPE
- NOMINAL WIDTH OF BLAST PATTERN 300mm
- WIDTH WITH 300mm SPACE BETWEEN

PLANS AND DOCUMENTS referred to in the PDA APPROVAL

- 1 OCT 2013

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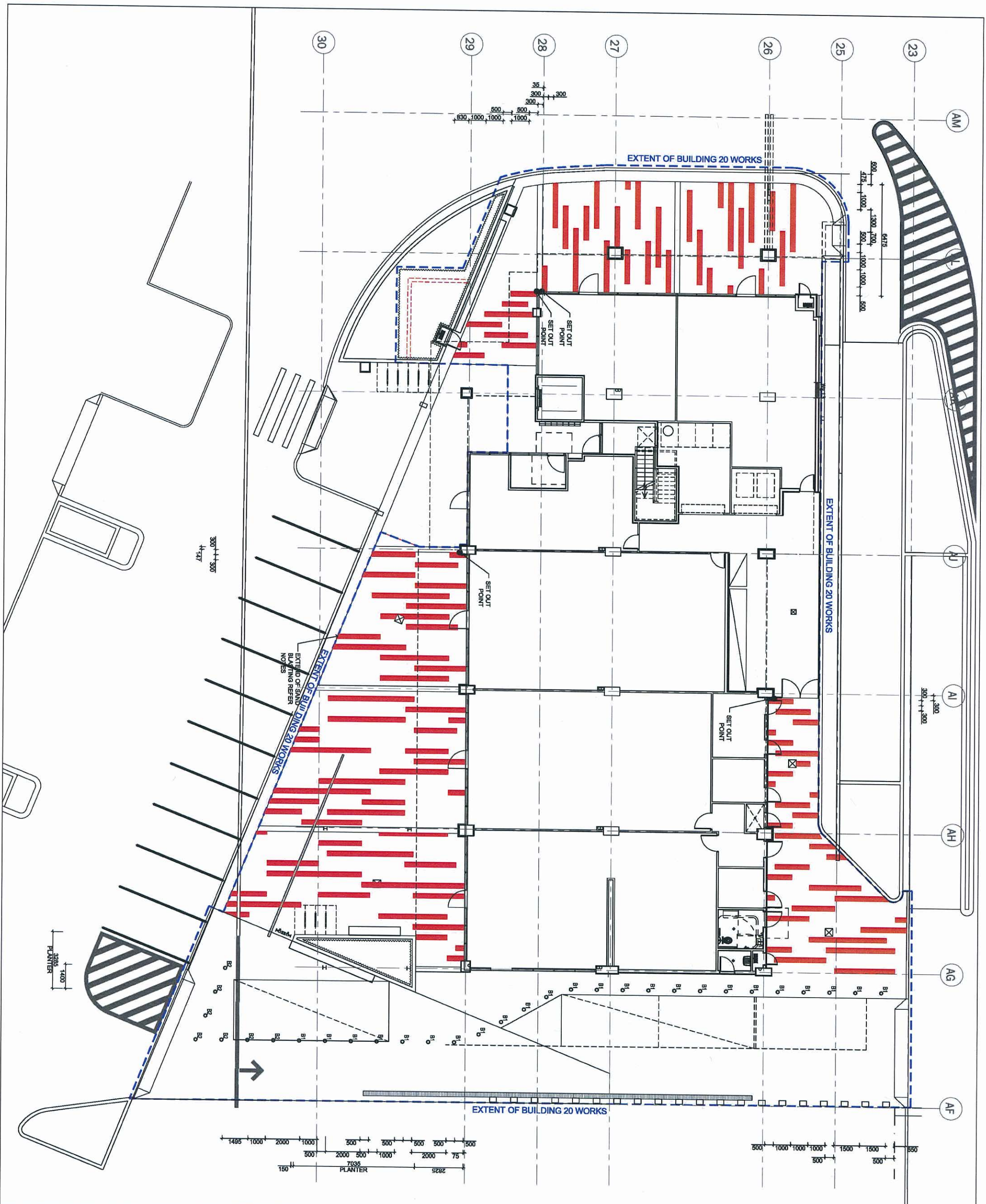
BROOKFIELD RESIDENTIAL PROPERTIES

BUILDING 20

PAVEMENT SAND BLASTING SETOUT

SCALE BAR
0m 10m 20m 30m 40m 50m
SCALE 1:100 @ A1

PROJECT No.	SCALE
12045.01	1:100
DRAWN BY	VERIFIER
CS	AN
DRAWING No.	REVISION
L-B20-SB-202	B



REV	DESCRIPTION	DATE
A	PRE TENDER	29.08.13
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GENERAL NOTES:

- REFER TO LEGEND / MATERIAL SCHEDULE (L-020, LE-002) FOR JOINTING DEFINITION & DETAIL INFORMATION.
- LOCATION OF ALL PAVEMENT JOINTING SUBJECT TO STRUCTURAL ENGINEER CERTIFICATION.

PAVEMENT JOINTING

- EXPANSION JOINT** PODIUM EXPANSION JOINT
- TYPICALLY 20mm WIDE STAINLESS STEEL FLEXIBLE MOVEMENT JOINT TO MATCH EXISTING
- EXPANSION JOINT**
- LATHING NEOPRENE, EXPANSION LOCK STRIP CONTROL JOINTS WITH STAINLESS STEEL WALL PLATES & INTEGRATED NEOPRENE INSERT.
- COLOUR: BLACK
- U** TO MATCH BRISBANE CITY COUNCIL STANDARD DRAWING LMS 547
- SU** TO MATCH BRISBANE CITY COUNCIL STANDARD DRAWING LMS 547

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

- 1 OCT 2013

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BROOKFIELD RESIDENTIAL
PROPERTIES

BUILDING 20

PAVEMENT JOINTING PLAN

SCALE BAR
0m 10m 20m 30m 40m 50m
SCALE 1:100 @ A1

PROJECT No.	SCALE	
12045.01	1:100	
DRAWN BY	VERIFIER	
TJ	AN	
DRAWING No.	REVISION	
L-B20-JP-203	B	

REV	DESCRIPTION	DATE
A	PRE TENDER	29.08.13
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- 1 OCT 2013

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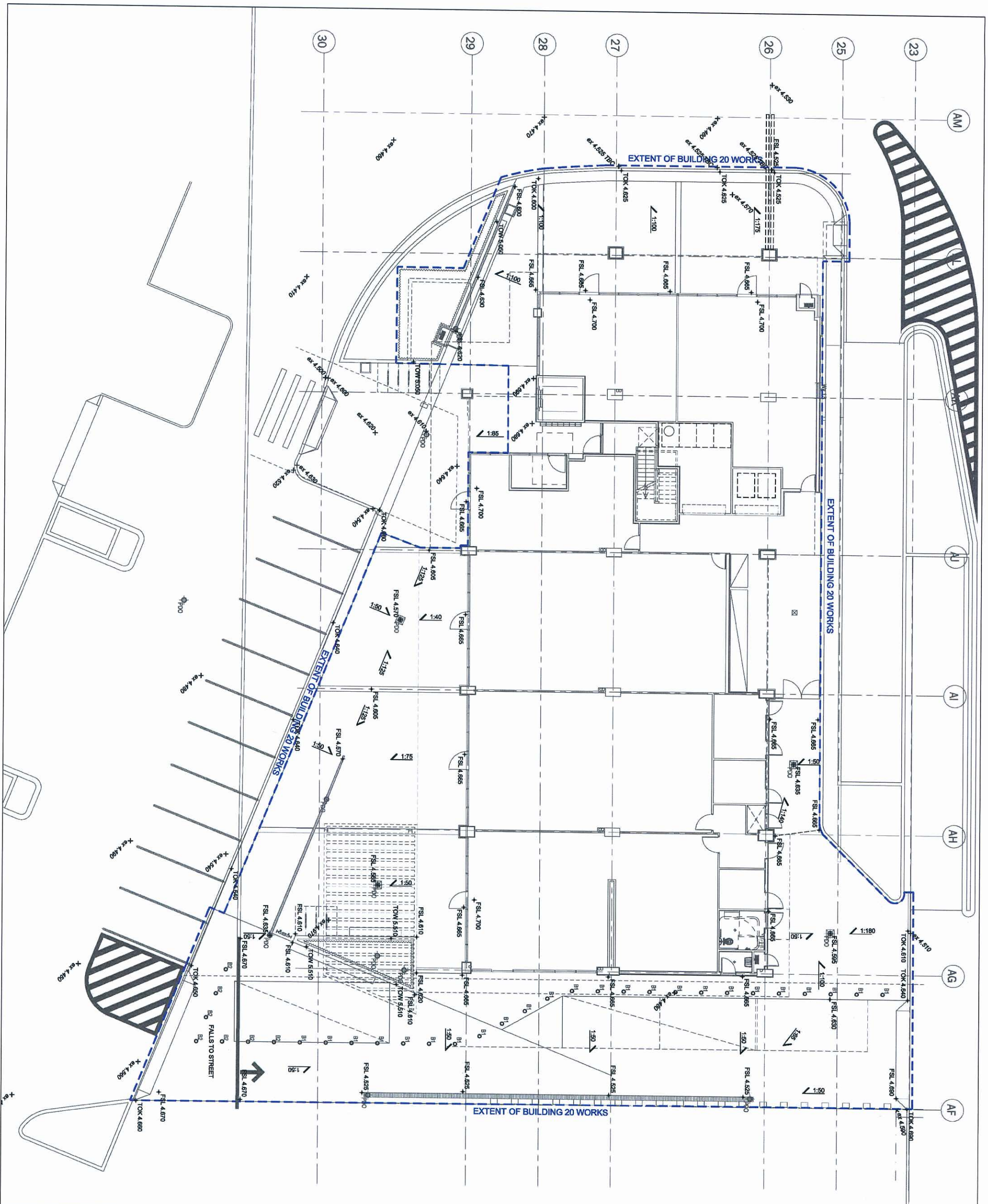


CLIENT
BROOKFIELD RESIDENTIAL
PROPERTIES
PROJECT TITLE
BUILDING 20

DRAWING TITLE
LANDSCAPE LEVELS

SCALE BAR
0m 10m 20m 30m 40m 50m
SCALE 1:100 @ A1

PROJECT NO.	SCALE
12045.01	1:100
DRAWN BY	VERIFIER
TJ	AN
DRAWING NO.	REVISION
L-B20-LV-301	B



REV	DESCRIPTION	DATE
A	PRE TENDER	29.08.13
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CLIENT
BROOKFIELD RESIDENTIAL
PROPERTIES

PROJECT TITLE
BUILDING 20

DRAWING TITLE
PLANTING PLAN

SCALE BAR
0m 1m 2m 3m 4m 5m
SCALE 1:100 @ A1

PROJECT No.	SCALE
12045.01	1:100
DRAWN BY	VERIFIER
CS	AN
DRAWING No.	REVISION
L-B20-PP-501	B

REV	DESCRIPTION	DATE
A	PRE TENDER	29.08.13
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2. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED.

3. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK.

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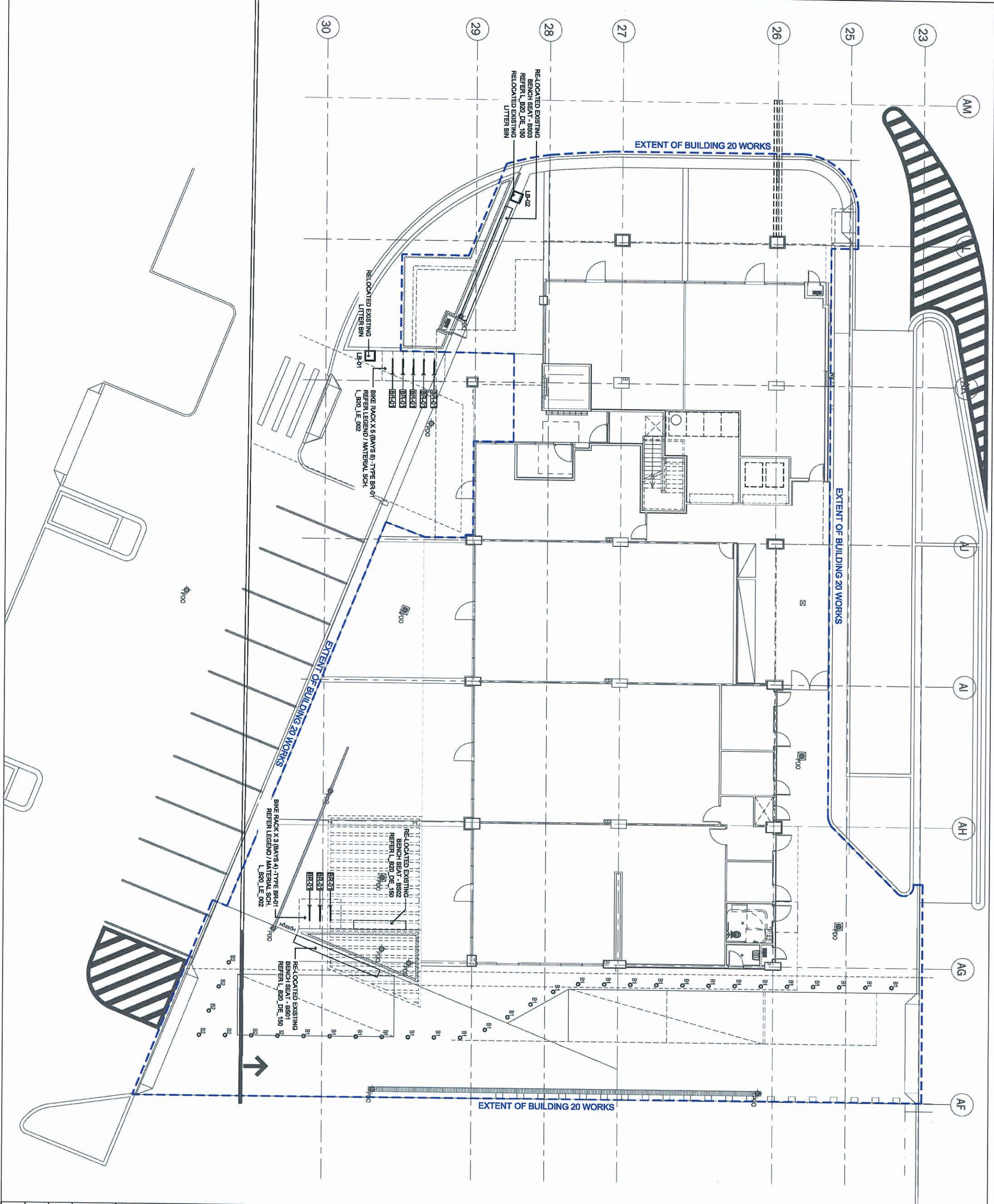
CLIENT
BROOKFIELD RESIDENTIAL
PROPERTIES

PROJECT TITLE
BUILDING 20

DRAWING TITLE
FURNITURE PLAN

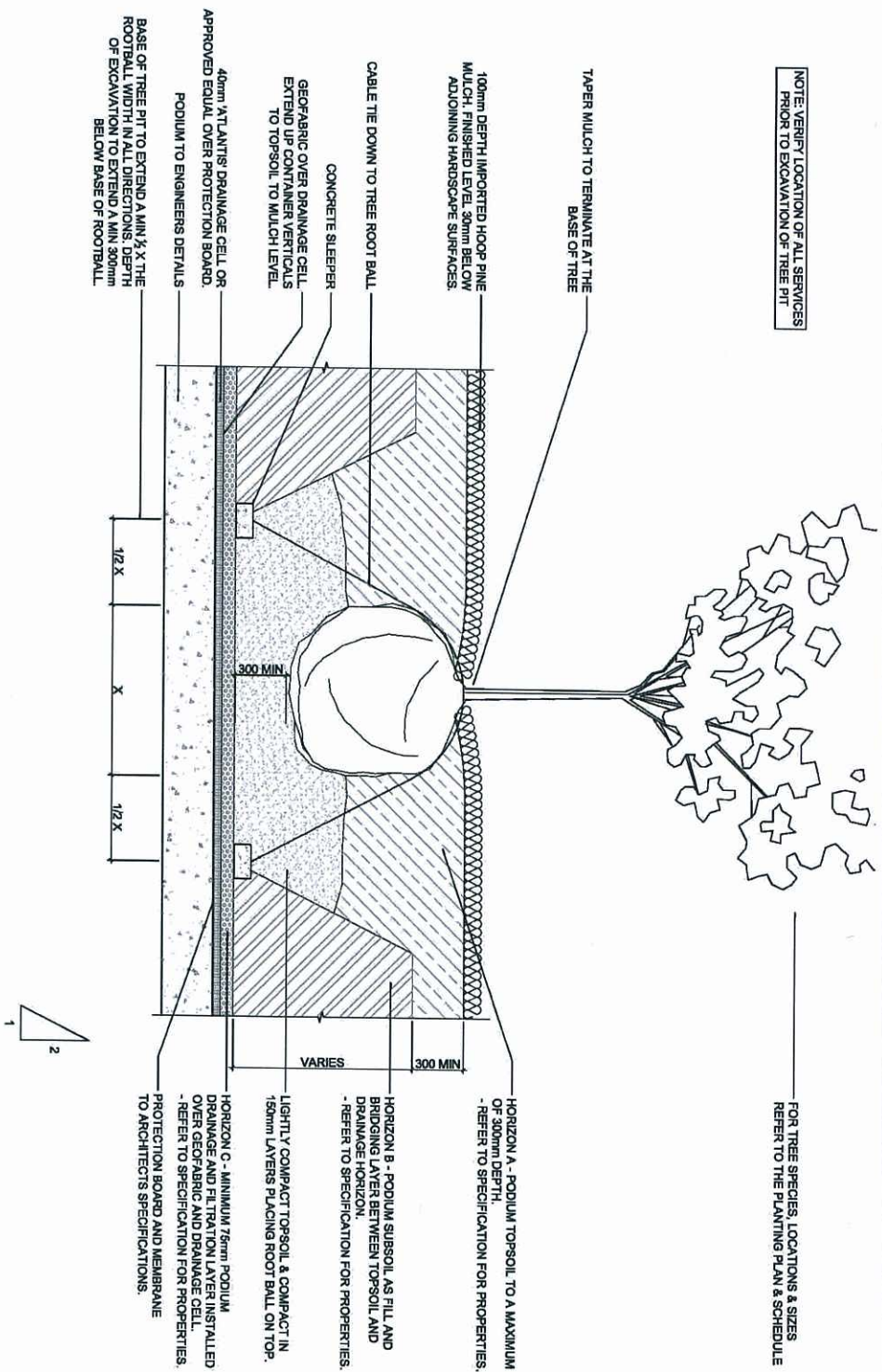
SCALE BAR
0m 1m 2m 3m 4m 5m
SCALE 1:100 @ A1

PROJECT No.	SCALE
12045.01	1:100
DRAWN BY	VERIFIER
TJ	AN
DRAWING No.	REVISION
L-B20-FRN-601	B



NOTE: VERIFY LOCATION OF ALL SERVICES PRIOR TO EXCAVATION OF TREE PIT

—FOR TREE SPECIES, LOCATIONS & SIZES
REFER TO THE PLANTING PLAN & SCHEDULE



01 TYPICAL TREE PLANTING ON PODIUM
1:20 @ A1

REV	DESCRIPTION	DATE
A	PRE TENDER	29.08.13
B	TENDER ISSUE	04.09.13

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3. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK.
4. ALL NECESSARY CARE IS TO BE TAKEN BY THE CONTRACTOR TO ENSURE THE PLOTS DO NOT ENTER THE SITE OR EQUIPMENT. ANY DAMAGE TO THE EXISTING SURROUNDINGS OR TO ANY APPROVED PLANTINGS SHALL BE AT THE CONTRACTOR'S RISK AND BE REPAIRED.
5. ALL PLANT STOCK & MATERIALS SUPPLIED TO SITE SHOULD BE FREE FROM INSECTS, FUNGI AND OTHER DANGEROUS AGENTS ON 15.05.22. ANY DEFECTS SHOULD BE REPORTED IMMEDIATELY TO THE CLIENT AND FOLLOWED UP BY THE CONTRACTOR. ANY DEFECTS SHOULD BE REPAIRED AND FOLLOWED UP BY THE CONTRACTOR.

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-1 OCT 2013

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Newstead, Qld 4006
www.lal27.com.au

127c
at

CLIENT
BROOKFIELD RESIDENTIAL
PROPERTIES

PROJECT TITLE
BUILDING 20

DRAWING TITLE
TYPICAL LANDSCAPE DETAILS

SCALE BAR

0m 0.2m 0.4m 0.6m 0.8m 1.0m

SCALE 1:20 @ A1

PROJECT No.	SCALE	
12045.01	1:100	
DRAWN BY	VERIFIER	
TJ	AN	
DRAWING No.	REVISION	
L-B20-DT-900	B	

REV	DESCRIPTION	DATE
A	PRE TENDER	29.08.13
B	TENDER ISSUE	04.09.13

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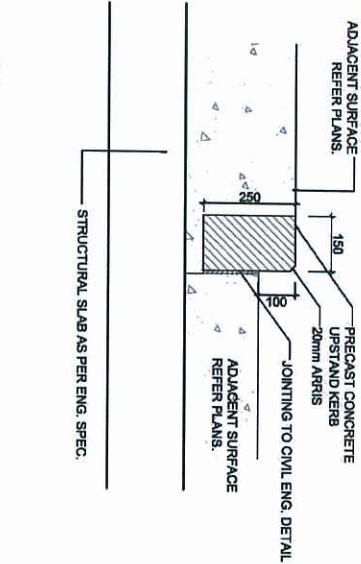
2. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED WORK.

3. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK.

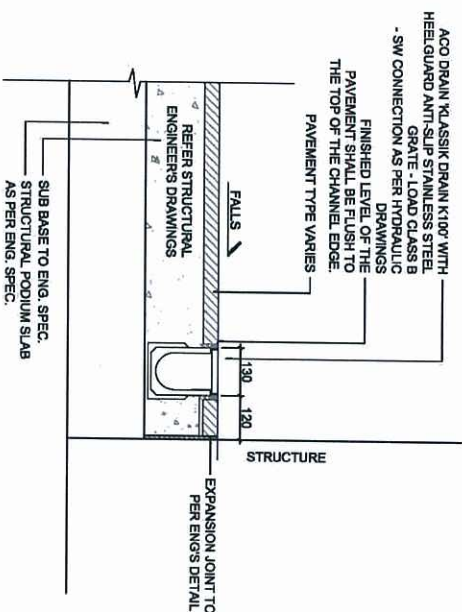
4. ALL NECESSARY CARE IS TO BE TAKEN BY THE CONTRACTOR TO ENSURE FIRE ARMS DO NOT ENTER THE SITE VIA EQUIPMENT, APPROVED MANAGEMENT PLAN SHOULD BE ALLOWED FOR IF REQUIRED.

5. ALL PLANT STOCK & MATERIAL SUPPLIED TO SITE SHOULD BE FREE FROM MOTTLE & MUST AS PER OLD LEGISLATION. IF INSPECTION IS SUBMITTED CONTACT SUBSEQUENT QUEENSLAND ON 13 23 23 AND FOLLOW ALL DIRECTIONS AS REQUIRED.

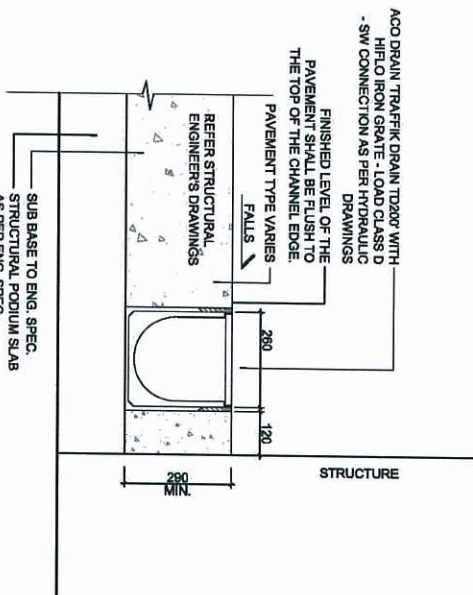
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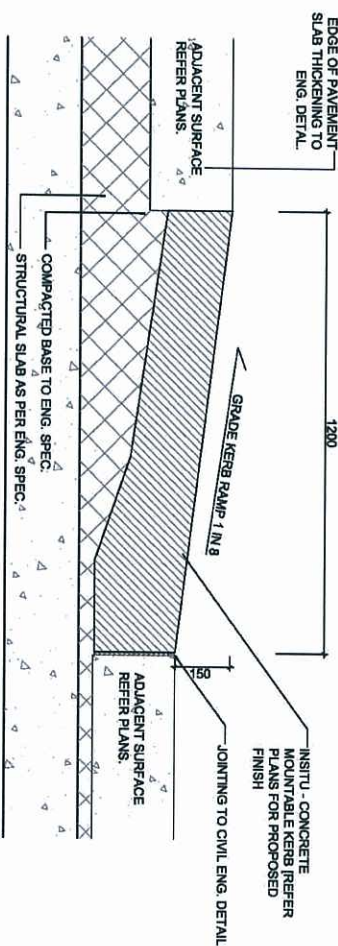
01 TYPICAL TYPE A UPSTAND KERB
1:10 @ A1



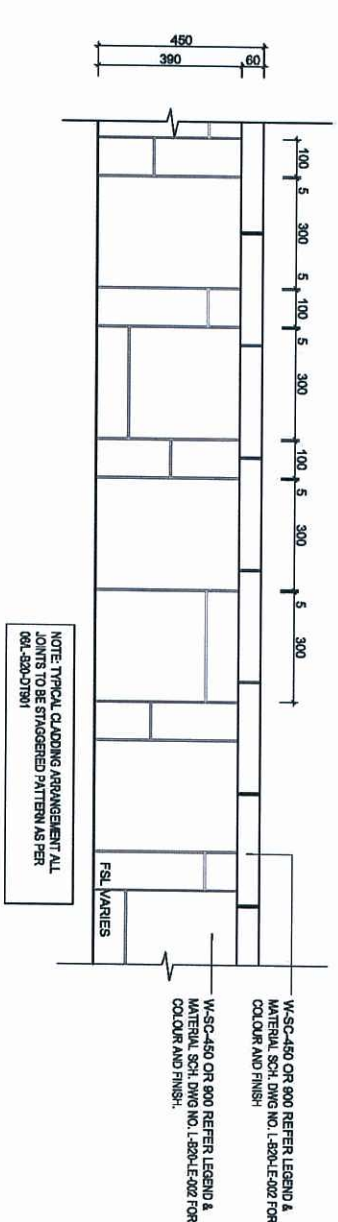
02 GRATED DRAIN & WALL - TYPICAL INTERFACE (SD-01)
1:10 @ A1



03 GRATED DRAIN TYPICAL PAVEMENT INTERFACE (SD-02)
1:10 @ A1



04 TYPICAL TYPE C MOUNTABLE KERB
1:10 @ A1



05 TYPICAL WALL TYPE W-SC - STONE CLADDING FRONT ELEVATION
1:10 @ A1



06 W-SC - STONE CLADDING ACCEPTABLE SOLUTION
IMAGE

PLANS AND DOCUMENTS referred to in the PDA APPROVAL

- 1 OCT 2013

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CUSTOMER
BROOKFIELD RESIDENTIAL
PROPERTIES

PROJECT TITLE
BUILDING 20

DRAWING TITLE
TYPICAL LANDSCAPE DETAILS

SCALE BAR
0m 0.1m 0.2m 0.3m 0.4m 0.5m
SCALE 1:10 @ A1

PROJECT No.	SCALE
12045.01	1:100
DRAWN BY	VERIFIER
TJ	AN
DRAWING No.	REVISION
L-B20-DT-901	B

REV	DESCRIPTION	DATE
A	PRE TENDER	29.08.13
B	TENDER ISSUE	04.09.13

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2. REQUIRED DIMENSIONS TAKE PRECEDENCE OVER SCALED WORK.

3. CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK.

4. ALL NECESSARY CARE IS TO BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING UTILITIES AND SERVICES. THE CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS PRIOR TO COMMENCEMENT OF WORK. APPROVED MANAGEMENT PLAN SHOULD BE ALLOWED FOR IF REQUIRED.

5. ALL PLANT STOCK & MATERIAL SUPPLIED TO SITE SHOULD BE FREE FROM WASTE JUST AS PER OLD LEGISLATION. IF INFECTION IS OR ONLINE AT THE TIME OF CONSTRUCTION, THE CONTRACTOR TO FOLLOW ALL DIRECTIONS AS REQUIRED.

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- 1 OCT 2013

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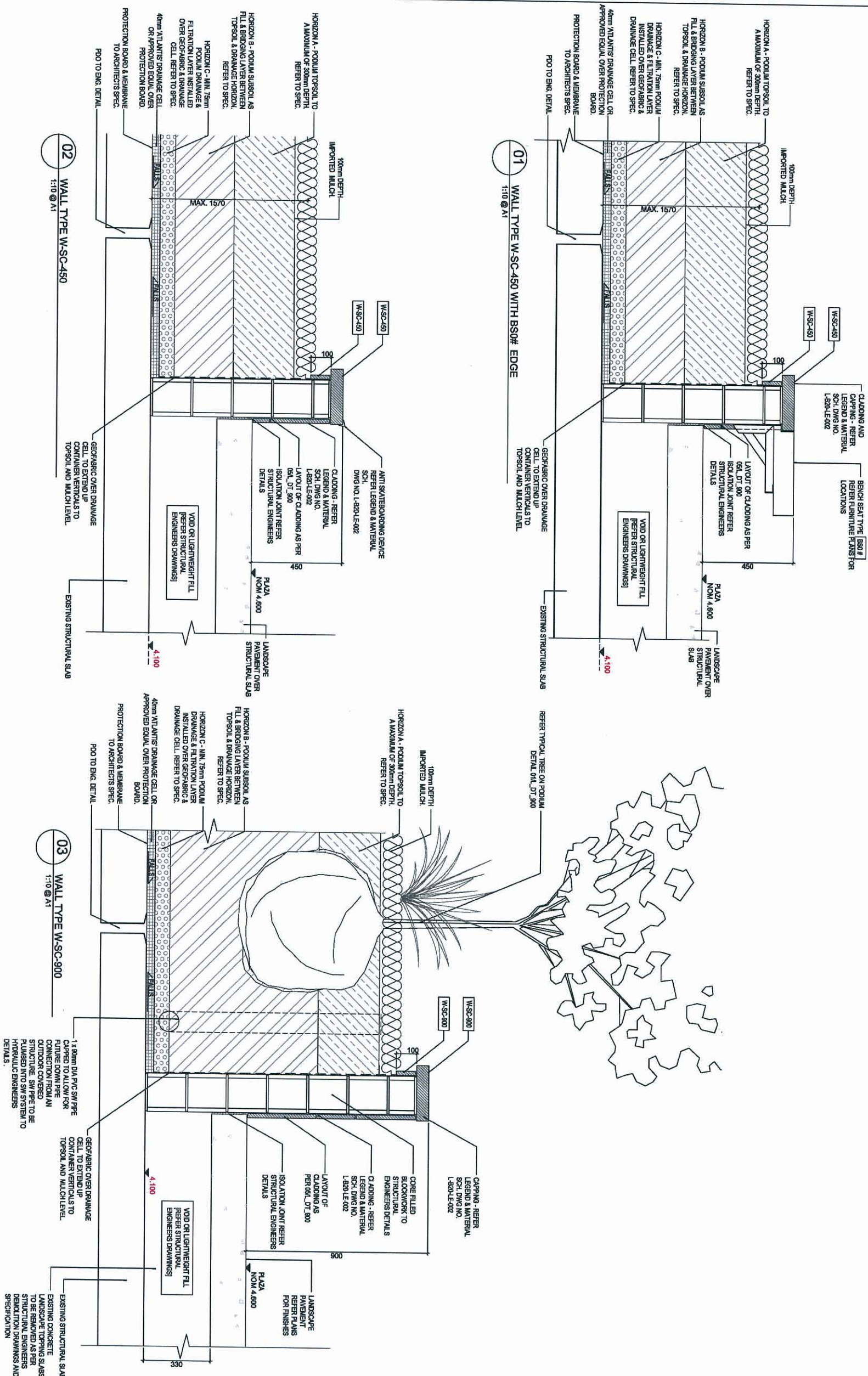


BROOKFIELD RESIDENTIAL
PROPERTIES
PROJECT TITLE
BUILDING 20

DRAWING TITLE
TYPICAL LANDSCAPE DETAILS

SCALE BAR
0m 0.1m 0.2m 0.3m 0.4m 0.5m
SCALE 1:10 @ A1

PROJECT No.	SCALE
12045.01	1:100
DRAWN BY	VERIFIER
TJ	AN
REVISION	
L-B20-DT-902	B



02 WALL TYPE W-SC-450
1:10 @ A1

01 WALL TYPE W-SC-450 WITH BS0# EDGE
1:10 @ A1

03 WALL TYPE W-SC-900
1:10 @ A1