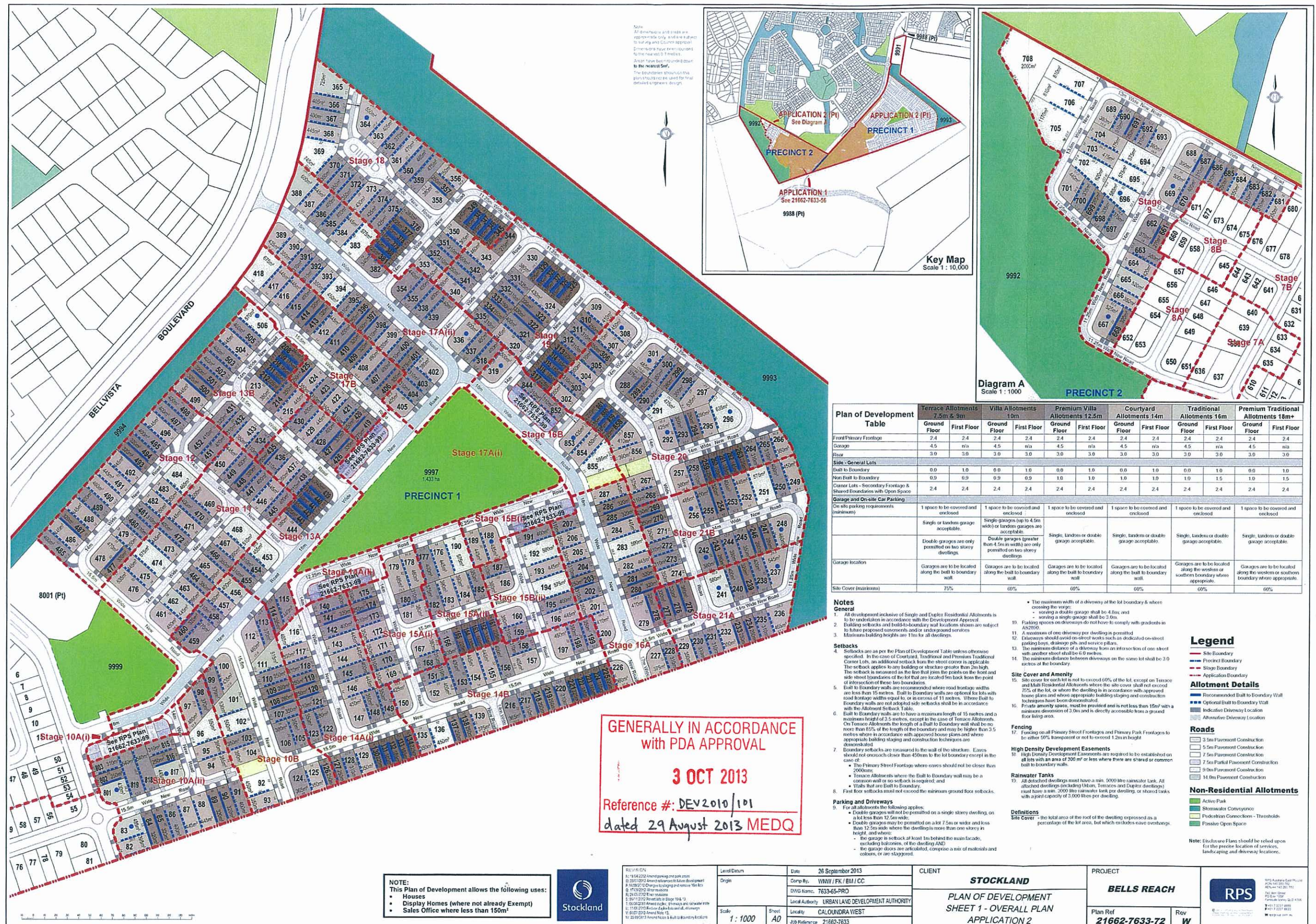




Plan of Development Table	Terrace Allotments 7.5m x 9m		Villa Allotments 10m		Premium Villa Allotments 12.5m		Courtyard Allotments 14m		Traditional Allotments 16m		Premium Traditional Allotments 18m+	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4
Garage	4.5	n/a	4.5	n/a	4.5	n/a	4.5	n/a	4.5	n/a	4.5	n/a
Rear	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0
Side - General Lots												
Built to Boundary	0.0	1.0	0.0	1.0	0.0	1.0	0.0	1.0	0.0	1.0	0.0	1.0
Non Built to Boundary	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Corner Lots - Secondary Frontage & Shared Boundaries with Open Space	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4
Garage and On-site Car Parking												
On site parking requirements (minimum)	1 space to be covered and enclosed		1 space to be covered and enclosed		1 space to be covered and enclosed		1 space to be covered and enclosed		1 space to be covered and enclosed		1 space to be covered and enclosed	
Single or tandem garage acceptable	Single or tandem garage acceptable		Single or tandem garage acceptable		Single, tandem or double garage acceptable		Single, tandem or double garage acceptable		Single, tandem or double garage acceptable		Single, tandem or double garage acceptable	
Double garages are only permitted on two storey dwellings	Double garages are only permitted on two storey dwellings		Double garages are only permitted on two storey dwellings		Double garages are only permitted on two storey dwellings		Double garages are only permitted on two storey dwellings		Double garages are only permitted on two storey dwellings		Double garages are only permitted on two storey dwellings	
Garage location	Garages are to be located along the built to boundary wall		Garages are to be located along the built to boundary wall		Garages are to be located along the built to boundary wall		Garages are to be located along the built to boundary wall		Garages are to be located along the built to boundary wall		Garages are to be located along the built to boundary wall	
Site Cover (maximum)	75%		60%		60%		60%		60%		60%	

- Notes**
- General
1. The development inclusive of Single and Duplex Residential Allotments is to be undertaken in accordance with the Development Approval.
 2. Building setbacks and built-to-boundary wall locations shown are subject to future proposed easements and/or underground services.
 3. Minimum building heights are 11m for all dwellings.
- Setbacks**
4. Setbacks are as per the Plan of Development Table unless otherwise specified. In the case of Courtyard, Traditional and Premium Traditional Corner Lots, an additional setback from the street corner is applicable. The setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 5m back from the point of intersection of these two boundaries.
 5. Built to Boundary walls are recommended where road frontage widths are less than 15 metres. Built to Boundary walls are optional for lots with road frontage widths equal to, or in excess of 15 metres. Where Built to Boundary walls are not adopted side setbacks shall be in accordance with the Allotment Setback Table.
 6. Built to Boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres, except in the case of Terrace Allotments. On Terrace Allotments the length of a Built to Boundary wall shall be no more than 85% of the length of the boundary and may be higher than 3.5 metres where in accordance with approved house plans and where appropriate building staging and construction techniques are demonstrated.
 7. Boundary setbacks are measured to the wall of the structure. Eaves should not overhang closer than 450mm to the lot boundary except in the case of:
 - a. The Primary Street Frontage where eaves should not be closer than 2000mm.
 - b. Terrace Allotments where the Built to Boundary wall may be a common wall or no setback is required; and
 - c. Walls that are Built to Boundary.
 8. First floor setbacks must not exceed the minimum ground floor setbacks.
- Parking and Driveways**
9. For all allotments the following applies:
 - a. Double garages will not be permitted on a single storey dwelling, on lots less than 12.5m wide.
 - b. Double garages may be permitted on a lot 7.5m or wider and less than 12.5m wide where the dwelling is more than one storey in height, and where:
 - the garage is setback at least 1m behind the main facade, excluding balconies, or to dwelling AND
 - the garage doors are articulated, comprise a mix of materials and colours, or are staggered.
- Site Cover and Amenities**
10. The maximum width of a driveway at the lot boundary & where crossing the verge:
 - serving a double garage shall be 4.5m; and
 - serving a single garage shall be 3.0m.
 11. A maximum of one driveway per dwelling is permitted. Driveways should avoid on-street works such as dedicated on-street parking bays, drainage pits and service pillars.
 12. The minimum distance of a driveway from an intersection of one street with another street shall be 6 metres.
 13. The minimum distance between driveways on the same lot shall be 3.0 metres of the boundary.
- Site Cover and Amenities**
14. Site cover for earth lot is not to exceed 60% of the lot, except on Terrace and Multi Residential Allotments where the site cover shall not exceed 75% of the lot, or where the dwelling is in accordance with approved house plans and where appropriate building staging and construction techniques have been demonstrated.
 15. Private amenity spaces, must be provided and is not less than 15m² with a minimum dimension of 3.0m and is directly accessible from a ground floor living area.
- Fencing**
16. Fencing on all Primary Street Frontages and Primary Park Frontages to be either 50% transparent or not to exceed 1.2m in height.
- High Density Development Easements**
17. High Density Development Easements are required to be established on all lots with an area of 500 m² or less where there are shared or common built to boundary walls.
- Rainwater Tanks**
18. All detached dwellings must have a min. 5000 litre rainwater tank. All attached dwellings (including town, terrace and duplex dwellings) must have a min. 3000 litre rainwater tank per dwelling, or shared tanks with a joint capacity of 3,000 litres per dwelling.
- Definitions**
- Site Cover** - the total area of the roof of the dwelling expressed as a percentage of the lot area, but which excludes overhangs.

- Legend**
- Site Boundary
 - Precinct Boundary
 - Stage Boundary
 - Application Boundary
- Allotment Details**
- Recommended Built to Boundary Wall
 - Optional Built to Boundary Wall
 - Indicative Driveway Location
 - Alternative Driveway Location
- Roads**
- 3.5m Pavement Construction
 - 5.5m Pavement Construction
 - 7.5m Pavement Construction
 - 9.5m Pavement Construction
 - 14.5m Pavement Construction
- Non-Residential Allotments**
- Active Park
 - Stormwater Conveyance
 - Pedestrian Connections - Thresholds
 - Positive Open Space
- Note: Enclosure Plans should be relied upon for the precise location of services, landscaping and driveway locations.

GENERALLY IN ACCORDANCE
with PDA APPROVAL

3 OCT 2013

Reference #: DEV2010/101

dated 29 August 2013 MEDQ

NOTE:
This Plan of Development allows the following uses:
• Houses
• Display Homes (where not already Exempt)
• Sales Office where less than 150m²



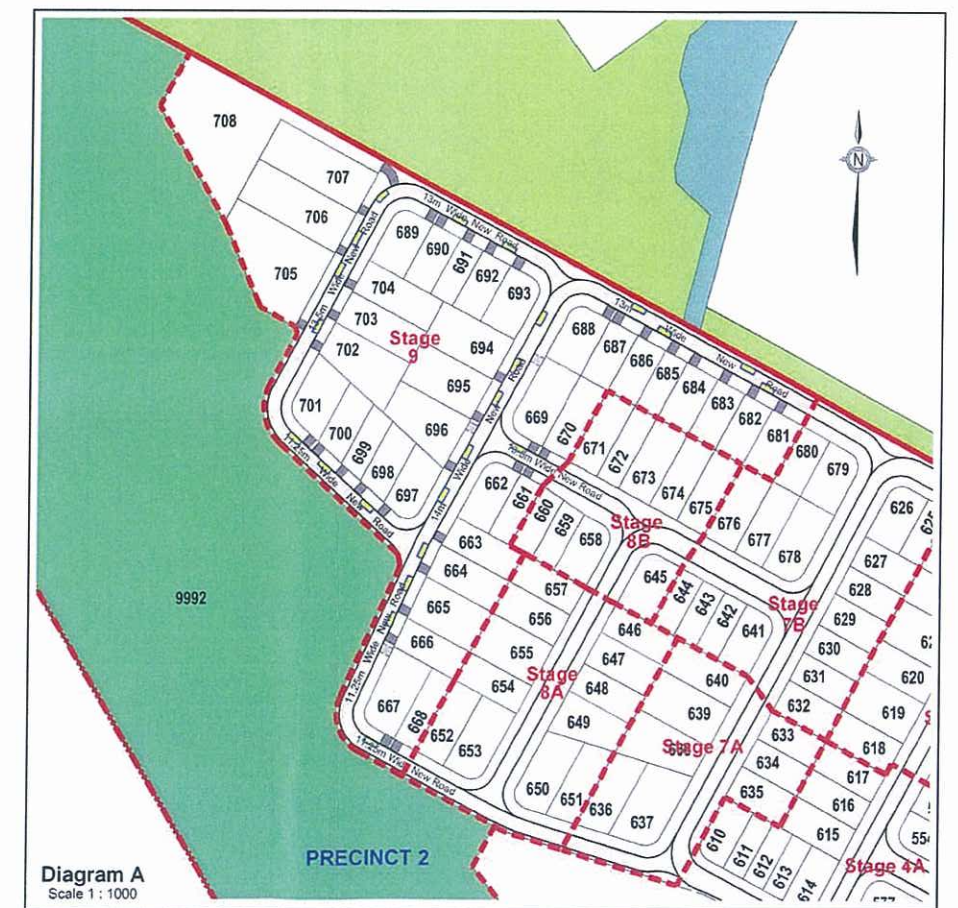
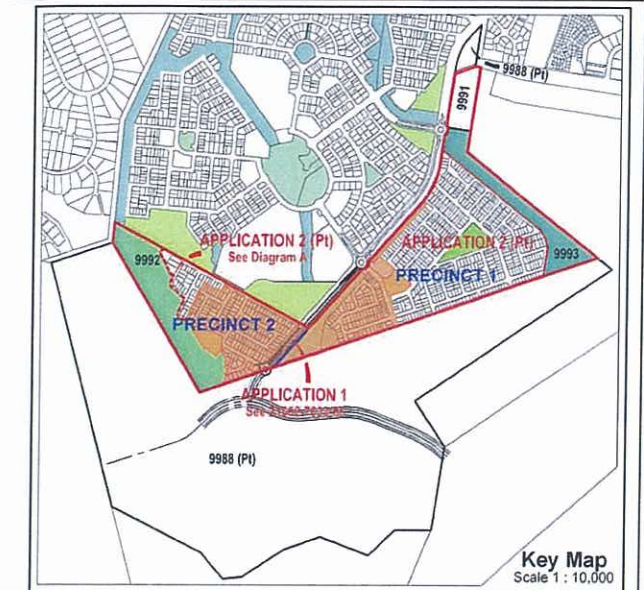
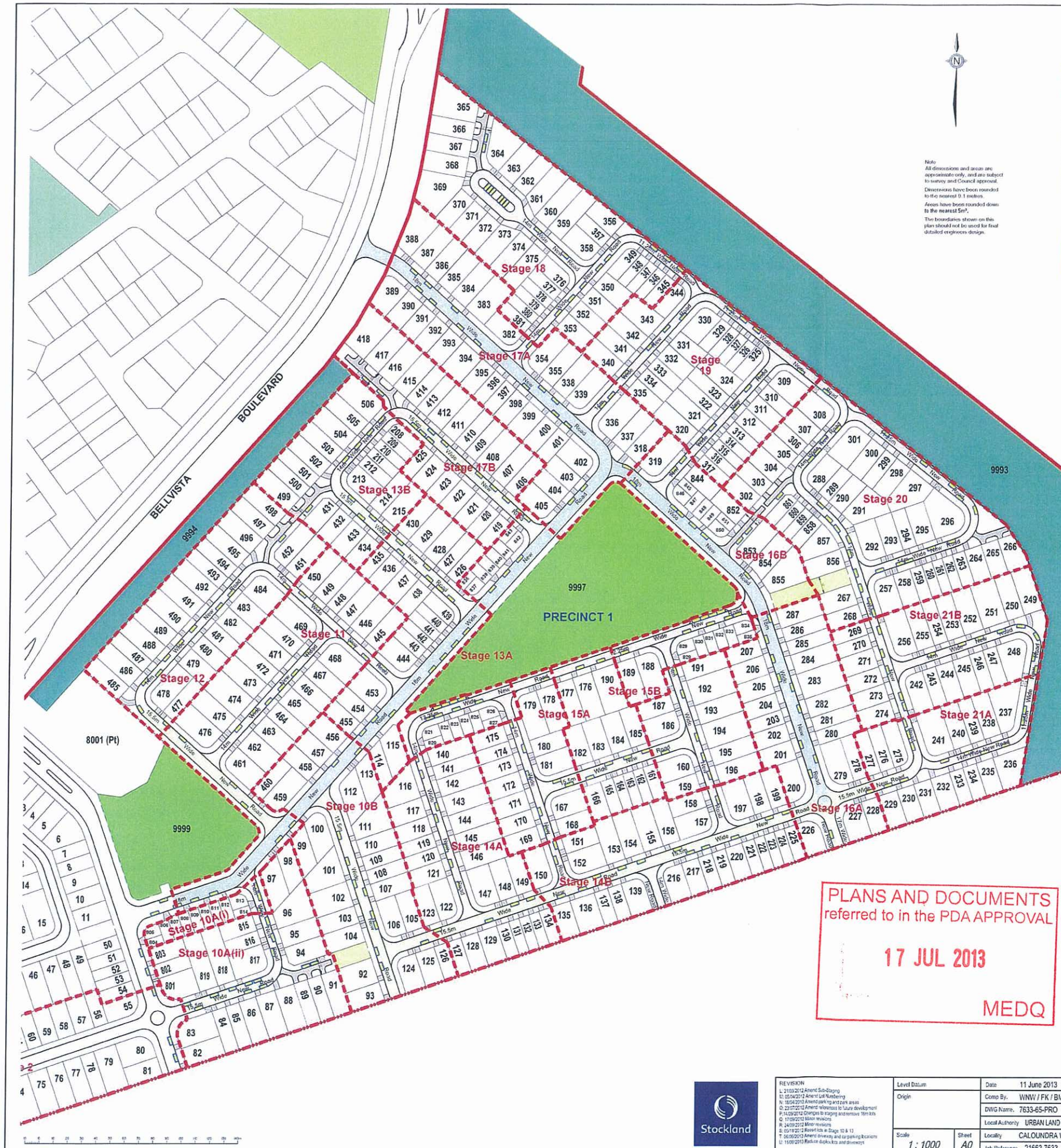
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Date 26 September 2013
Comp By: WNV / FK / EM / CC
DWG Name: 7633-65-PRO
Local Authority: URBAN LAND DEVELOPMENT AUTHORITY
Locality: CALOUNDRA WEST
Job Reference: 21662-7633

CLIENT
STOCKLAND
PLAN OF DEVELOPMENT
SHEET 1 - OVERALL PLAN
APPLICATION 2

PROJECT
BELLS REACH
Plan Ref
21662-7633-72
Rev
W





REVISION
L: 21/03/2012 Amend Site Diagram
M: 20/04/2012 Amend Lot Numbers
N: 18/04/2013 Amend parking and park areas
O: 23/07/2012 Amend reference to future development
P: 14/09/2012 Changes to staging sequence items
Q: 17/09/2012 Minor revisions
R: 24/09/2012 Minor revisions
S: 25/11/2012 Revised lots in Stage 10 & 11
T: 06/09/2013 Amend driveway and car parking locations
U: 10/09/2013 Revised duplex lots and driveway

Level Datum
Origin
Scale
1: 1000
Sheet
A0

Date
11 June 2013
Comp By
WNW / FK / BM
DWG Name
7633-65-PRO
Local Authority
URBAN LAND DEVELOPMENT AUTHORITY
Locality
CALOUNDRA WEST
Job Reference
21662-7633

CLIENT
STOCKLAND
PLAN OF DEVELOPMENT
SHEET 3 - ON STREET CAR PARKING
APPLICATION 2

PROJECT
BELLS REACH
Plan Ref
21662-7633-74
Rev
U



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