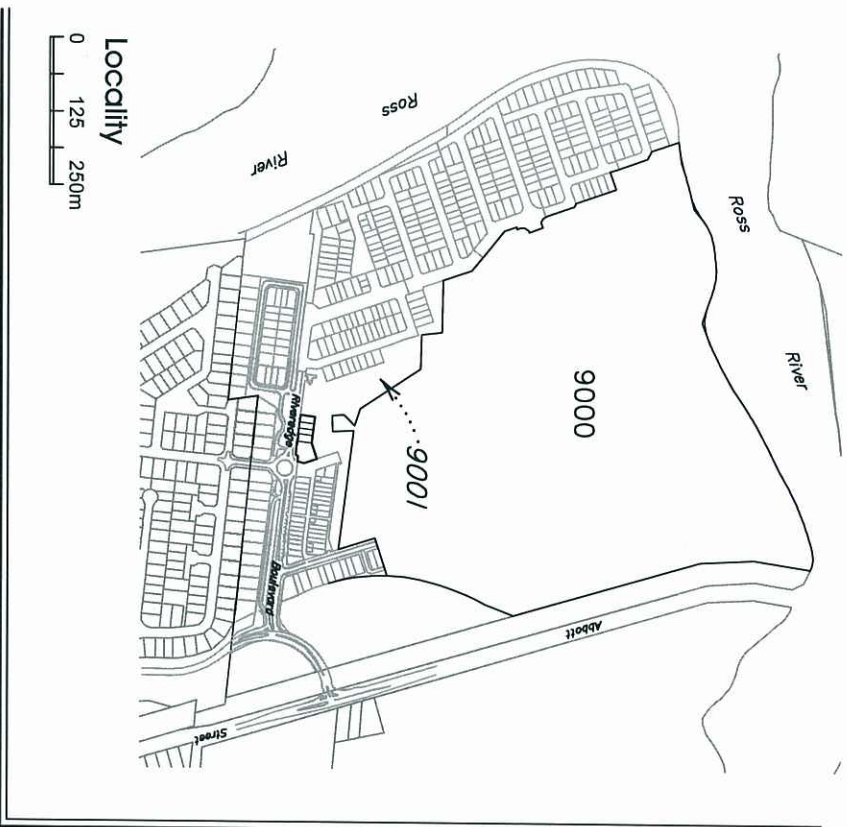


PROPOSED RECONFIGURATION

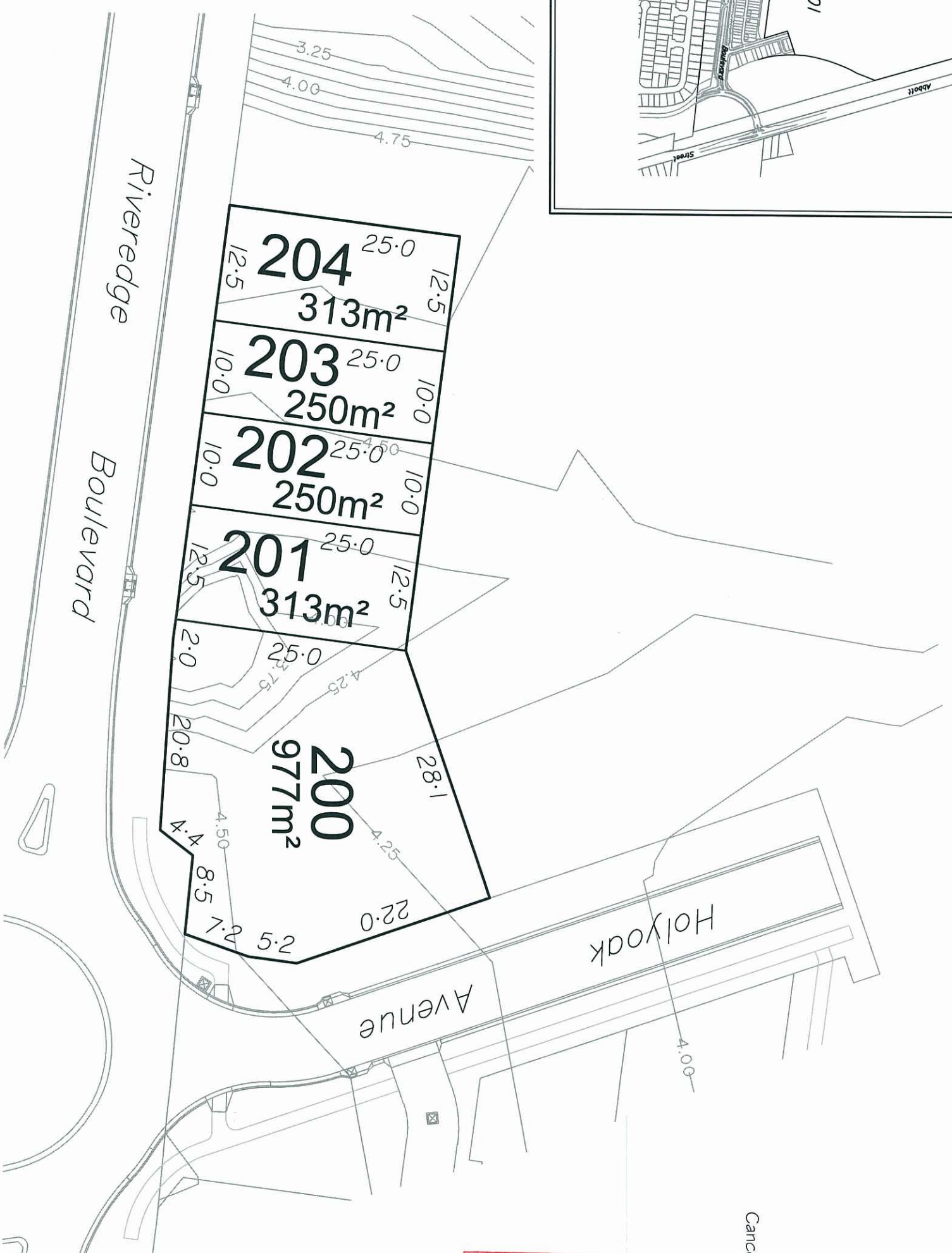
Lots 200 to 204
Cancelling Lot 9001 on SP257327

Farsh of Stuart
County of Elphinstone
City of Townsville

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

27 SEP 2013

MEDQ



- STAGE 2B -

Areas

Stage Area 2103m²

This plan is conceptual and for discussion purposes only. All areas, dimensions and land uses are preliminary, subject to investigation, survey, engineering, and Local Authority and Agency approvals.



brozier moti

P 1300 267 878
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surveying | town planning | project management | mapping and GIS

Date: 26th September 2013

Scale: 1:500 @ A3

Drawn: SEM

Job No: 29060/022-01

Plan No: 29060/095 E

Notes :- Residential

General

1. All development is to be undertaken in accordance with the Development Approval.
2. The minimum height of buildings shall not exceed 2 storeys.
3. Entries - Front doors and letterboxes of dwellings are to address the Primary Street Frontage.
4. Where dwellings encompass more than one frontage they are to be designed to address each street frontage.

Setback

5. Setbacks are as per the Site Development Table unless otherwise specified.
6. Built to boundary walls are preferred where shown.
7. Built to boundary walls are to have a maximum length of 15m and a maximum height of 3.5m. Except where dwellings on adjoining allotments are constructed simultaneously, e.g. duplex or terraces.
8. Boundary setbacks are measured to the wall of the structure.
9. Eaves should not encroach (other than where building is built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2.4m.

Parking:

10. Minimum off-street parking requirements - Studio, 1 and 2 bed dwellings - 1 space per dwelling
Other - 2 spaces per dwelling, which may be in tandem.
11. Double garages will not be permitted on a single storey dwelling on a lot less than 12.5m wide.
12. Double garages will not be permitted on any lot less than 10.0m wide.
13. Double garages will be permitted on a lot > 10.0m wide and < 12.5m wide where the dwelling is more than one storey in height, and where the garage is setback at least 1m behind the main face, excluding balconies, of the dwelling, and
• the garage doors are articulated, comprise a mix of materials and colours, or are staggered.
9. Parking spaces on driveways do not have to comply with AS2890.

Site Cover and Amenity:

20. Site cover for each lot is not to exceed 60% of the lot.
21. Minimum private open space requirements:
 - must be accessed from a living area.
 - one room of one bedroom house/unit 5m² with a minimum dimension of 1.2m.
 - two room house/unit 9m² with a minimum dimension of 2.4m.
 - three or more bedroom house/unit 12m² with a minimum dimension of 2.4m.

Buildings

22. **Building that are visible from a street or a park should be articulated to reduce the mass of the building by:**
 - windows recessed into the facade
 - balconies, porches or verandahs provided
 - window hoods provided
 - shadow lines created on the building through minor changes in the facade (100mm minimum)
 - use more than one building material on the facade.

Fencing:

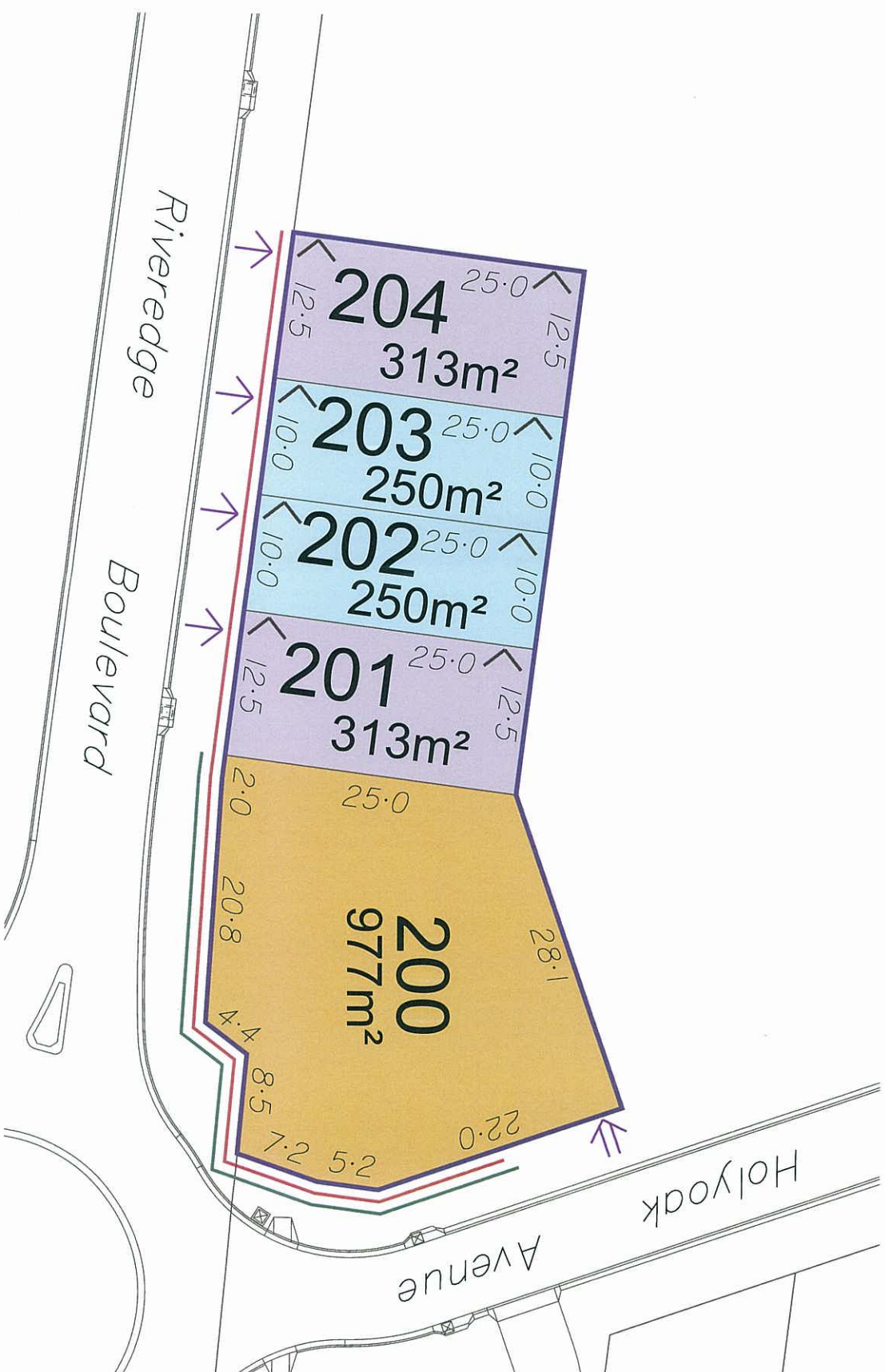
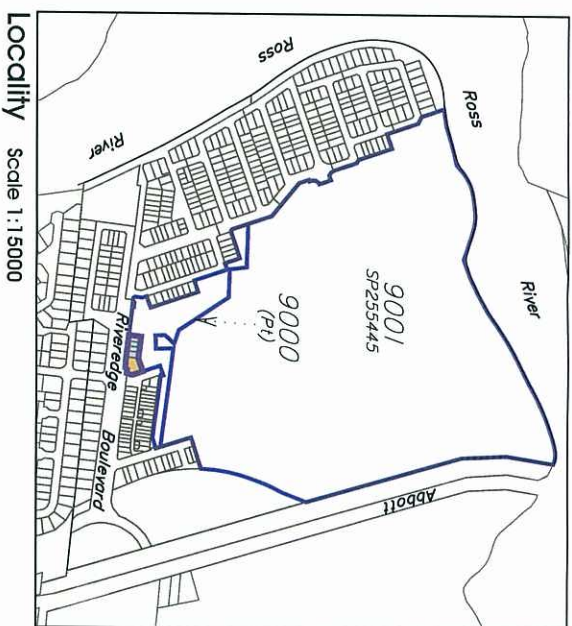
23. Fencing on all Primary Street Frontages to be either 50% transparent up to 1.5m high or not to exceed 1.2m in height.
24. Fences on corner lots should be designed as front fences addressing both streets (rather than a front and a side fence).
25. Fences on Secondary Street frontages to be 50% transparent and not exceed 1.5m in height.

Driveways

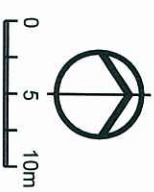
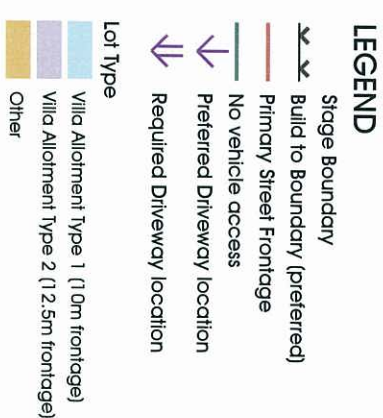
- serving a double garage shall be 4.8m at the lot boundary
- serving a single garage shall be 3.0m at the lot boundary

Climate Responsive Design

28. The required minimum eave-to-open space must be covered to at least 50% of the minimum area.
29. All habitable rooms must incorporate at least two (2) openings to facilitate cross ventilation. The openings shall have a minimum area of not less than 10% of the total floor area of each room. Openings can include, or combination of:
 - External opening windows
 - Internal openings
 - Louvered windows; or
 - Ceiling and/or roof ventilation shafts / opening skylights.For clarity, the two (2) openings can not be located on the same wall or ceiling.
30. All habitable rooms must incorporate at least one opening to facilitate access to natural light. All external openings / windows must include, or combination of, an eave or window hood having a minimum overhang of 450mm.
31. All habitable rooms shall be provided with:
 - Ceiling fan, and/or
 - Ceiling roof ventilation.
32. All dwellings require ventilated roof-space. This can be achieved by installing ridding roof vents, solar powered roof ventilators, roof vents, gabled vents and unsealed eaves or other approved ventilation.
33. A landscape area of at least 5m² is provided to both the front and rear of the dwelling and must incorporate at least one (1) specimen tree capable of shedding at least 4 metres of maturity.



Site Development Table	Villa Allotments (1) 10m Frontage	Villa Allotments (2) 12.5m Frontage	Other
Front Primary Frontage	Ground Floor	Ground Floor	Ground Floor
Rear	3.0m 1.0m	3.0m 1.0m	3.0m 1.0m
Side	0.0m 0.9m	1.0m 0.9m	0.0m 0.0m
Non Built to Boundary	0.9m	1.0m	1.0m
Built to Boundary	0.9m	1.0m	1.0m
Corner Lots – Secondary Frontage	--	--	1.0m



PLAN OF DEVELOPMENT

Lots 200 to 204
Cancelling Lot 9001
on SP257327

Parish of Stuart
County of Elphinstone
City of Townsville

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

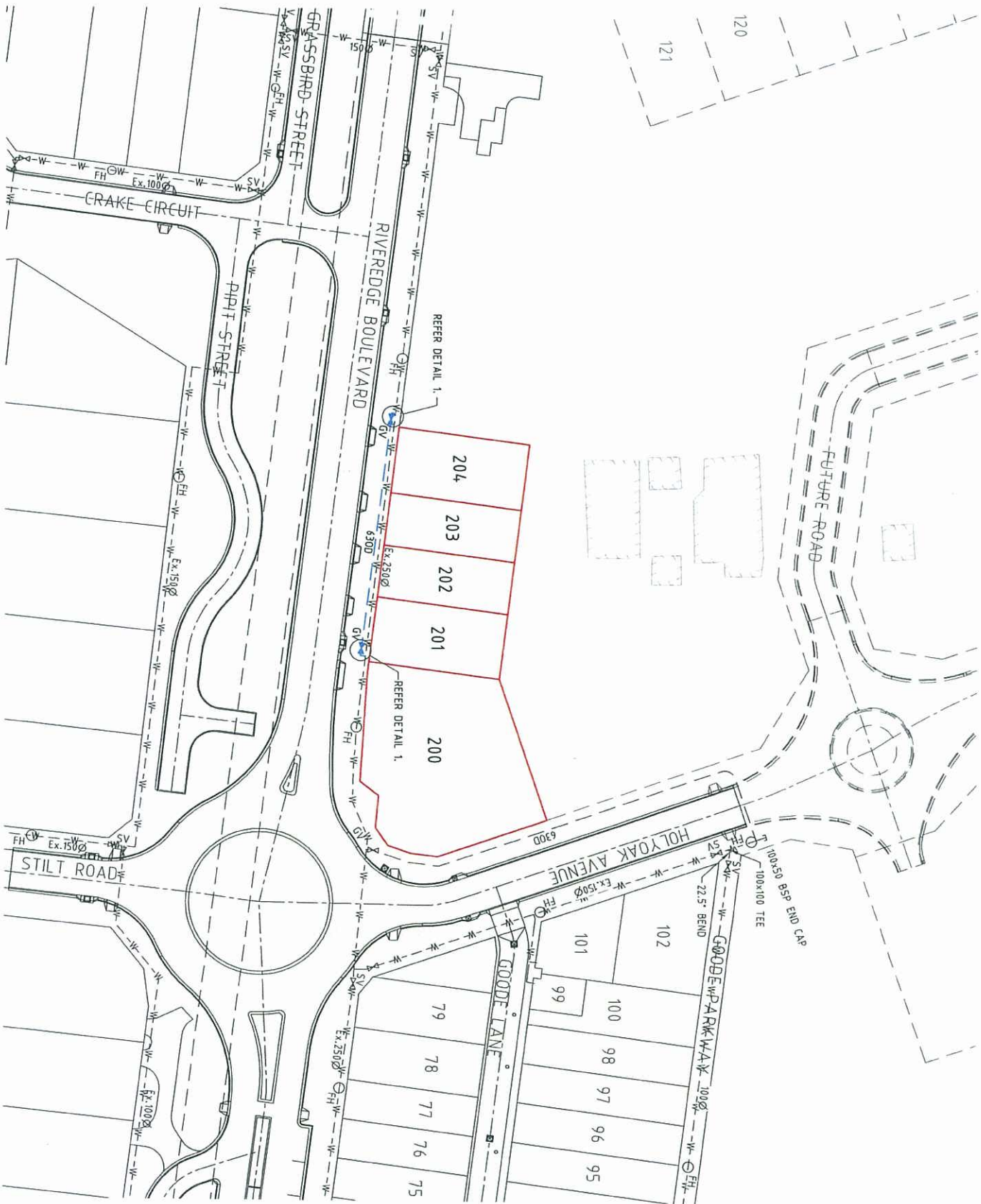
27 SEP 2013

MEDQ

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

27 SEP 2013

MEDQ

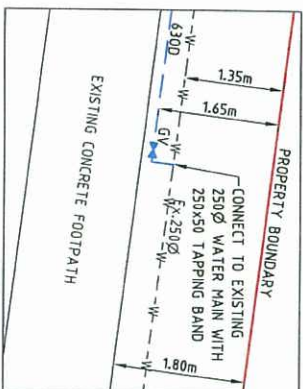


LEGEND:

- 6300 PROPOSED POLY WATER MAIN & DIAMETER
- GV PROPOSED GATE VALVE
- EX. 1000 EXISTING WATER MAIN & DIAMETER
- EX. 1000 EXISTING FIRE HYDRANT & VALVE
- EX. 6300 EXISTING POLY WATER MAIN & DIAMETER
- EXISTING POLY

WATER NOTES:

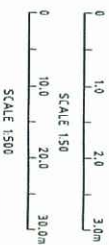
1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE RELEVANT COUNCIL AND WSAA STANDARD DRAWINGS.
2. ALL WATER MAINS ARE TO BE LOCATED ON A 1.8m ALIGNMENT OFFSET FROM PROPERTY BOUNDARIES U.N.O.
3. MAINS >= 1000 TO BE U.P.V.C. CLASS PN6 SERIES 1 O.D. COMPATIBLE TO AS 1477 RUBBER RING JOINTED, WITH COCKED D.I.C.L. FITTINGS U.N.O. 6300 MAINS TO BE POLYETHYLENE CLASS PN6 TO AS 4130.
4. CONNECTION TO EXISTING WATER MAINS TO BE CARRIED OUT BY COUNCIL.
5. CONTRACTOR TO VERIFY ALL UNDERGROUND SERVICES WITH THE RELEVANT AUTHORITIES PRIOR TO ANY EXCAVATION.



DETAIL 1
SCALE 1:50

EXISTING SERVICES

ALL EXISTING SERVICES ARE TO BE
LOCATED BY THE CONTRACTOR
THROUGH CONTACTING THE RELEVANT
SERVICE AUTHORITY PRIOR TO THE
COMMENCEMENT OF ANY WORK



ECONOMIC DEVELOPMENT QUEENSLAND

THE VILLAGE - STAGE 2B
RIVEREDGE BOULEVARD, 00N00NBA
WATER RETICULATION PLAN

PRELIMINARY ISSUE NOT FOR CONSTRUCTION



REAL PROPERTY DESCRIPTION:
LOTS 64, TO 101 ON SP24/7154

DRAWN: C.MELLIHAN
CHECKED: C.MELLIHAN
PROJECT MANAGER: P.ETERSEN

DATE: 17/05/13
ISSUED FOR: TENDER

REVISIONS

UDP Consulting Engineers
Urban Development
Design Infrastructure Project Management

84 DENHAM STREET
PO BOX 1110
TOWNSVILLE QLD 4810
Phone: (07) 4772 0666
Fax: (07) 4772 0566
Email: main@udpconsulting.com.au
Web: www.udpconsulting.com.au

DRAWING SIZE: A1
SCALE: AS SHOWN
XREF: UL0022-XR-DESIGN

DRAWING No.: UL0022/05

REV: 1

27 SEP 2013

MEDQ

SEWER MANHOLE SETOUT POINTS

POINT	EASTING	NORTHING
1/E	4,801,827.718	7866,817.800
1/E STUB	4,801,827.037	7866,819.104
FUTURE 2/E	4,801,735.379	7866,830.814

LEGEND:

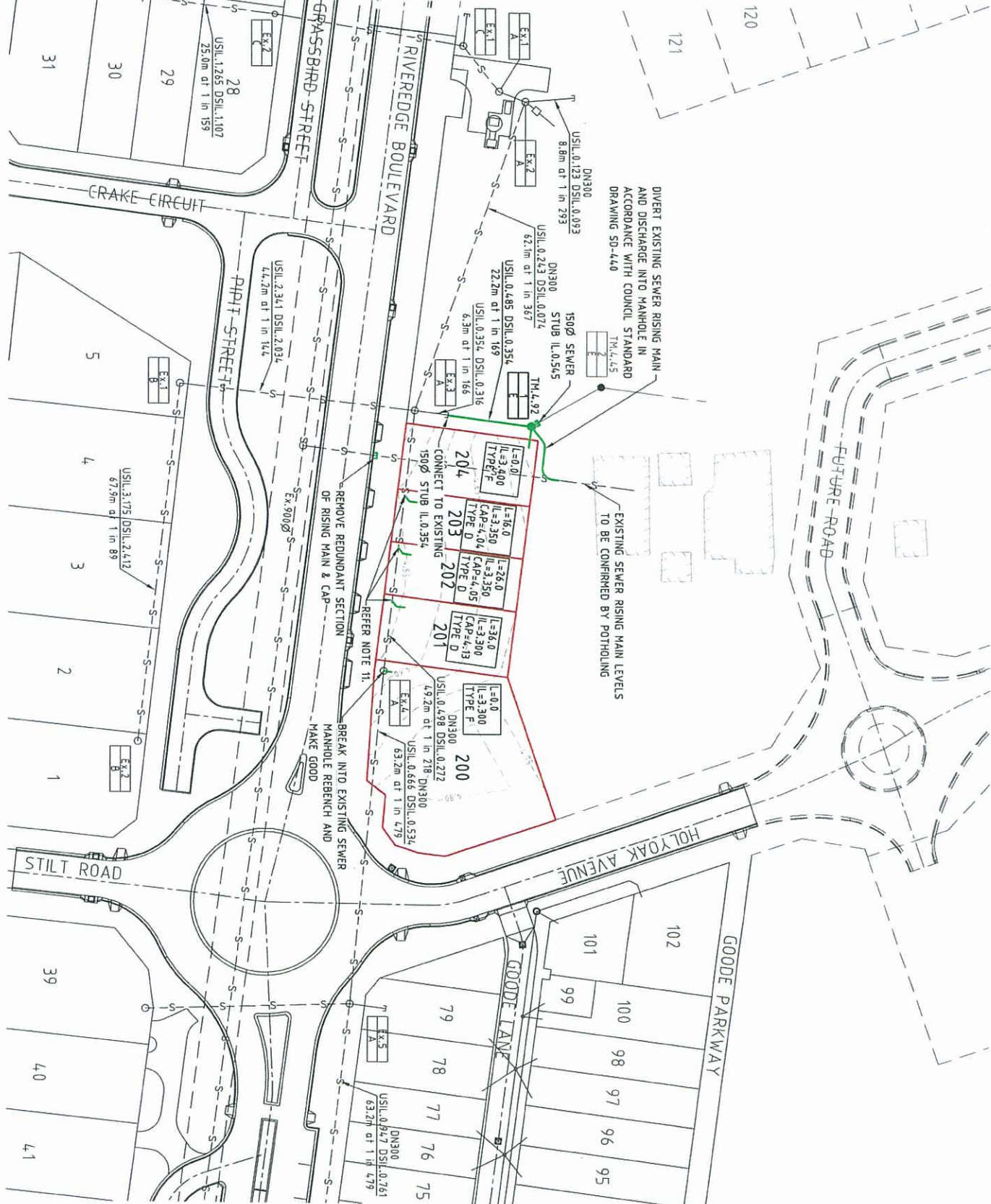
- DESIGN SURFACE CONTOURS
PROPOSED SEWER MAIN AND MANHOLE
E21 PIT WITH TYPE G HOUSE CONNECTION
EXISTING SEWER MAIN AND MANHOLE
TOP OF MANHOLE LEVEL
MANHOLE NUMBER
LINE NUMBER
HOUSE CONNECTION (x,y) DIMENSIONS AS PER RELEVANT COUNCIL STANDARD DRAWING (N.O.)
DISTANCE FROM DOWNSTREAM MANHOLE
INVERT LEVEL OF HOUSE CONNECTION POINT
HOUSE CONNECTION TYPE
TYPE A - ACROSS BOUNDARY 'SLOPE DROP'
TYPE B - ACROSS BOUNDARY 'JUMP UP'
TYPE C - WITHIN LOT 'DIRECT CONNECTION'
TYPE D - WITHIN LOT 'JUMP UP'
TYPE E - MANHOLE 'DIRECT CONNECTION'
TYPE F - MANHOLE 'JUMP UP'

SEWER NOTES:

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE RELEVANT COUNCIL STANDARD DRAWINGS AND SPECIFICATIONS.
- ALL SEWERAGE MAINS TO BE LOCATED ON 1.5m ALIGNMENT OFFSET FROM THE PROPERTY BOUNDARIES (N.O.).
- ALL SEWERAGE MAINS ARE DN150 U.N.O.
- ALL DN150 AND DN225 SEWERAGE MAINS TO BE P.V.C.U DWV S100 U.N.O. (MAXIMUM LENGTH 10.0m)
- ALL MANHOLES AND TOPS TO BE IN ACCORDANCE WITH THE RELEVANT COUNCIL STANDARD DRAWINGS.
- FOR HOUSE CONNECTION DETAILS REFER RELEVANT COUNCIL STANDARD DRAWINGS.
- TRENCHES UNDER ROADS (INCLUDING FUTURE) TO BE BACKFILLED WITH CRUSHER DUST TO UNDERSIDE OF PAVEMENT. (PROVIDE TRENCH DENSITY TEST FOR EVERY METRE OF TRENCH DEPTH)
- CONTRACTOR TO CONTACT COUNCIL AND ARRANGE CONNECTION TO EXISTING SEWERAGE INFRASTRUCTURE.
- CONTRACTOR TO VERIFY ALL UNDERGROUND SERVICES WITH THE RELEVANT AUTHORITIES PRIOR TO ANY EXCAVATION.
- CONSTRUCT NEW HOUSE CONNECTIONS TO EXISTING SEWER MAIN.
- WORKS TO BE MADE BY COUNCIL AT CONTRACTORS EXPENSE.

EXISTING SERVICES

ALL EXISTING SERVICES ARE TO BE
LOCATED BY THE CONTRACTOR
THROUGH CONTACTING THE RELEVANT
SERVICE AUTHORITY PRIOR TO THE
COMMENCEMENT OF ANY WORK



PRELIMINARY ISSUE NOT FOR CONSTRUCTION



REAL PROPERTY DESCRIPTION:
LOTS 64 TO 101 ON SP247154



ECONOMIC DEVELOPMENT QUEENSLAND
THE VILLAGE - STAGE 2B
RIVEREDGE BOULEVARD, OONONGBA
SEWERAGE RETICULATION PLAN

REV	DATE	REVISIONS	PROJECT MANAGER	PROJECT DIRECTOR	DRAWING SIZE	SCALE	DRAWING No.	REV
1	17/05/13	ISSUED FOR TENDER	P. PETERSEN	P. BRADY	A1	1:500	ULD022/06	1



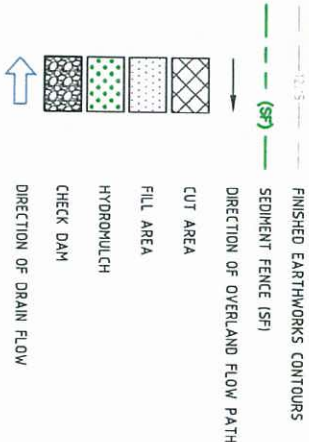
PLANS AND DOCUMENTS
referred to in the PDA APPROVAL
27 SEP 2013
MEDQ



SESC STRATEGY: POST CONSTRUCTION PHASE

1. INSTALL CHECK DAM
2. HYDROMULCH PERMANENT BATTERS

LEGEND:



PRELIMINARY ISSUE NOT FOR CONSTRUCTION



REAL PROPERTY DESCRIPTION:
LOTS 64 TO 101 ON SP247154

DRAWN: C.MELLICAN
DATE: 17/05/13
ISSUED FOR TENDER

DESIGNED: PSM 78108
CHECKED: C.MELLICAN
PROJECT MANAGER: M.BROSNAN
PROJECT DIRECTOR: P.BRADY RPEQ 7112

UDP Consulting Engineers
Urban Development Design Infrastructure Project Management
DALGETY PLACE
84 DENHAM STREET
PO BOX 1110
TOWNSVILLE QLD 4810
Phone: (07) 4772 0566
Fax: (07) 4772 0566
Email: main@udpconsulting.com.au
Web: www.udpconsulting.com.au

ECONOMIC DEVELOPMENT QUEENSLAND

THE VILLAGE - STAGE 2B

RIVEREDGE BOULEVARD, OONOOBBA

SESC STRATEGY - POST CONSTRUCTION PHASE

DRAWING SIZE	SCALE	DRAWING No.	REV
A1	1:500	ULD022/07	1

