

PLANS AND DOCUMENTS referred to in the PDA APPROVAL

MEDG



Allocation Type		
Residential Allotments	Typical Size	Total Allotments
Villa Allotment Type 1	10 x 25m	1
Villa Allotment Type 2	10 x 30m	16
Premium Villa Allotment Type 1	13.5 x 25m	2
Premium Villa Allotment Type 2	13.5 x 30m	17
Courtyard Allotment Type 1	15 x 25m	2
Courtyard Allotment Type 2	15 x 30m	7
Traditional Allotment Type 1	17.5 x 25m	5
Traditional Allotment Type 2	17.5 x 30m	8
TOTAL		58
Net Residential Density		15.4 dw/ha

Land Use		Single 3A
		Area
Area of Subject Site		4,352 ha
Saleable Area		
Single Family Allotments		2,494 ha
Total Area of Allotments		2,494 ha
Road		
Local Roads		1,264 ha
Total Area of New Road		1,264 ha
Open Space		
Open Space		0,085 ha
Linear Open Space		0,509 ha
Total Open Space		0,594 ha
Road Lengths		

 Site Boundary
 Proposed Stage Boundary
 Existing Raising Main
 Existing Electricity

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:	
Site boundaries: RPS	
Adjoining features: FPS & DCOB	
Contours: FPS & GHD	
Aerial photography: BMA	
Ascon Data: FPS & GHD	
12m Wide New Road - 5.5m Pavement	247m
16m Wide New Road - 7.5m Pavement	87m
18m Wide New Road - 7.5m Pavement	428m
Total Length of New Road	762m

REVISION		CLIENT		PROJECT	
A: 22/03/2012 Amended Open Space and Storage Bay	Level Datum	BMA ALLIANCE COAL OPERATIONS PTY LTD		DEVELOPMENTS MORANBAH	
B: 03/06/2012 Amended Layout	Origin	PROPOSED SUBDIVISION MOR - 3 (ISAAC VIEWS STAGE 7) OVER LOT 507 ON SP 252764		Plan Ref	
C: 06/07/2013 Amended Layout	Comp By:			108208 - 44	
D: 06/07/2013 Amended Layout	WW			G	
E: 20/02/2013 Amended Trest and Lot C&H	DWG Name:			Rev	
F: 20/02/2013 Amended Layout	Local Authority	Economic Development Queensland		RPS	
G: 22/06/2013 Amended Layout	Scale			RPS Australia East Pty Ltd ACN 140 292 082 140 292 082 745 Ann Street PO Box 1639 Ferntree Valley QLD 4006 T +61 7 3237 8693 F +61 7 3237 8633 W rpsaustralia.com.au	
	Sheet	A1			
	Job Reference	108208			

PRELIMINARY ONLY

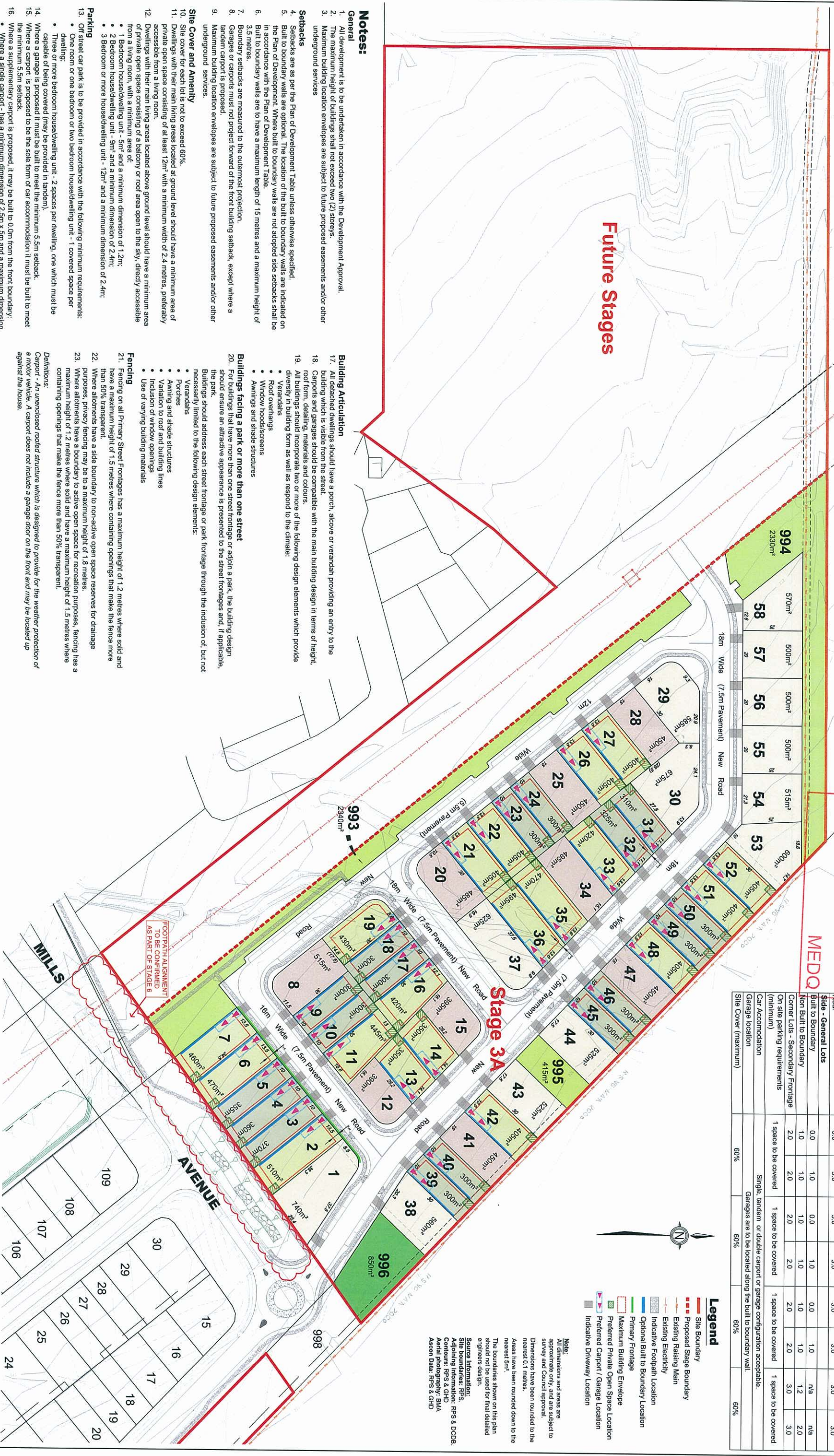
PLANS AND DOCUMENTS
referred to in the PDA APPROVAL
23 SEP 2013

Plan of Development Table									
	Villa Allotments 10m Frontage		Premium Villa Allotments 13.5m Frontage		Courtyard Allotments 15m Frontage		Traditional Allotments 17.5m Frontage		
	Ground	First Floor	Ground	First Floor	Ground	First Floor	Ground	First Floor	
Front/Primary Frontage	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	
Garage / Double Carport	5.5	3.0	5.5	3.0	5.5	3.0	5.5	3.0	
Tandem Carport	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
Rear	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	
Side - General Lots									
Built to Boundary	0.0	1.0	0.0	1.0	0.0	1.0	n/a	n/a	
Non Built to Boundary	1.0	1.0	1.0	1.0	1.0	1.0	1.2	2.0	
Corner Lots - Secondary Frontage	2.0	2.0	2.0	2.0	2.0	2.0	3.0	3.0	
On site parking requirements (minimum)	1 space to be covered		1 space to be covered		1 space to be covered		1 space to be covered		
Car Accommodation	Single, tandem or double carport or garage configuration acceptable.								
Garage location	Garages are to be located along the built to boundary wall.								
Site Cover (maximum)	60%		60%		60%		60%		

Legend

- Site Boundary
- Proposed Stage Boundary
- Existing Raising Main
- Existing Electricity
- Indicative Footpath Location
- Optional Built to Boundary Location
- Primary Frontage
- Maximum Building Envelope
- Preferred Private Open Space Location
- Preferred Carport / Garage Location
- Indicative Driveway Location

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Source Information:
Spatial Data: RPS
Aerial Imagery: RPS & DCDB
Contours: RPS & GHD
Aerial photography: BMA
Ascon Data: RPS & GHD



Notes:

- General**
- All development is to be undertaken in accordance with the Development Approval.
 - The maximum height of buildings shall not exceed two (2) storeys.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise specified.
 - Built to boundary walls are optional. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
 - Boundary setbacks are measured to the outermost projection.
 - Garages or carports must not project forward of the front building setback, except where a tandem carport is proposed.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- Site Cover and Amenity**
- Site cover for each lot is not to exceed 60%.
 - Dwellings with their main living areas located at ground level should have a minimum area of private open space consisting of at least 12m² with a minimum width of 2.4 metres, preferably accessible from a living room.
 - Dwellings with their main living areas located above ground level should have a minimum area of private open space consisting of a balcony or roof area open to the sky, directly accessible from a living room, with a minimum area of:
 - 1 Bedroom house/dwelling unit - 5m² and a minimum dimension of 1.2m;
 - 2 Bedroom house/dwelling unit - 5m² and a minimum dimension of 2.4m;
 - 3 Bedroom or more house/dwelling unit - 12m² and a minimum dimension of 2.4m;
- Parking**
- Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling;
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one which must be capable of being covered (may be provided in tandem);
 - Where a garage is proposed it must be built to meet the minimum 5.5m setback.
 - Where a carport is proposed to be the sole form of car accommodation it must be built to meet the minimum 5.5m setback.
 - Where a supplementary carport is proposed, it may be built to 0.0m from the front boundary of 3m x 6m (excluding eaves); or
 - Where a double carport - has a maximum dimension of 6m x 6m (excluding eaves); and
 - The carport is not fully enclosed but may have up to two walls on the side or rear; and
 - has a maximum height of 2.4m from the floor level to the inside surface of the roof cover; and
 - The site setback of the carport roofline must be in accordance with the non built to boundary setbacks in the Plan of Development Table, other than where it is aligned with the built to boundary line; and
 - The roofline and materials must be consistent with the roofline and materials of the dwelling.

- Building Articulation**
- All detached dwellings should have a porch, alcove or verandah providing an entry to the building which is visible from the street.
 - Carports and garages should be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All buildings should incorporate two or more of the following design elements which provide diversity in building form as well as respond to the climate:
 - Verandahs
 - Roof overhangs
 - Window hoods/screens
 - Awnings and shade structures
- Buildings facing a park or more than one street**
- For buildings that have more than one street frontage or adjoin a park, the building design should ensure an attractive appearance is presented to the street frontages and, if applicable, the park.
Buildings should address each street frontage or park frontage through the inclusion of, but not necessarily limited to the following design elements:
 - Verandahs
 - Porches
 - Awnings and shade structures
 - Variation to roof and building lines
 - Inclusion of window openings
 - Use of varying building materials

- Fencing**
- Fencing on all Primary Street Frontages has a maximum height of 1.2 metres where solid and have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.
 - Where allotments have a side boundary to non-active open space reserves for drainage purposes, privacy fencing may be to a maximum height of 1.8 metres.
 - Where allotments have a boundary to active open space for recreation purposes, fencing has a maximum height of 1.2 metres where solid and have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.
- Definitions:**
Carport - An unenclosed roofed structure which is designed to provide for the weather protection of a motor vehicle. A carport does not include a garage door on the front and may be located up against the house.

REVISION		CLIENT		PROJECT	
A: 22/02/2017	Amend Open Space and Stage By	BMA ALLIANCE COAL OPERATIONS PTY LTD		DEVELOPMENTS MORANBAH	
B: 24/02/2017	Amend Layout A & Z3	PLAN OF DEVELOPMENT MOR - 3 (ISAC VIEWS STAGE 7) OVER LOT 507 ON SP 252764		Plan Ref 108208 - 45	
C: 26/02/2017	Amend Layout	PLAN OF DEVELOPMENT MORANBAH		Rev G	
D: 07/02/2013	Amend Layout	PLAN OF DEVELOPMENT MORANBAH		Rev G	
E: 20/02/2013	Update notes and Lot Types	PLAN OF DEVELOPMENT MORANBAH		Rev G	
F: 28/02/2013	Update notes and Lot Types	PLAN OF DEVELOPMENT MORANBAH		Rev G	
G: 22/02/2013	Amend Layout	PLAN OF DEVELOPMENT MORANBAH		Rev G	

Scale: 1 : 750

Sheet: A1

Job Reference: 108208

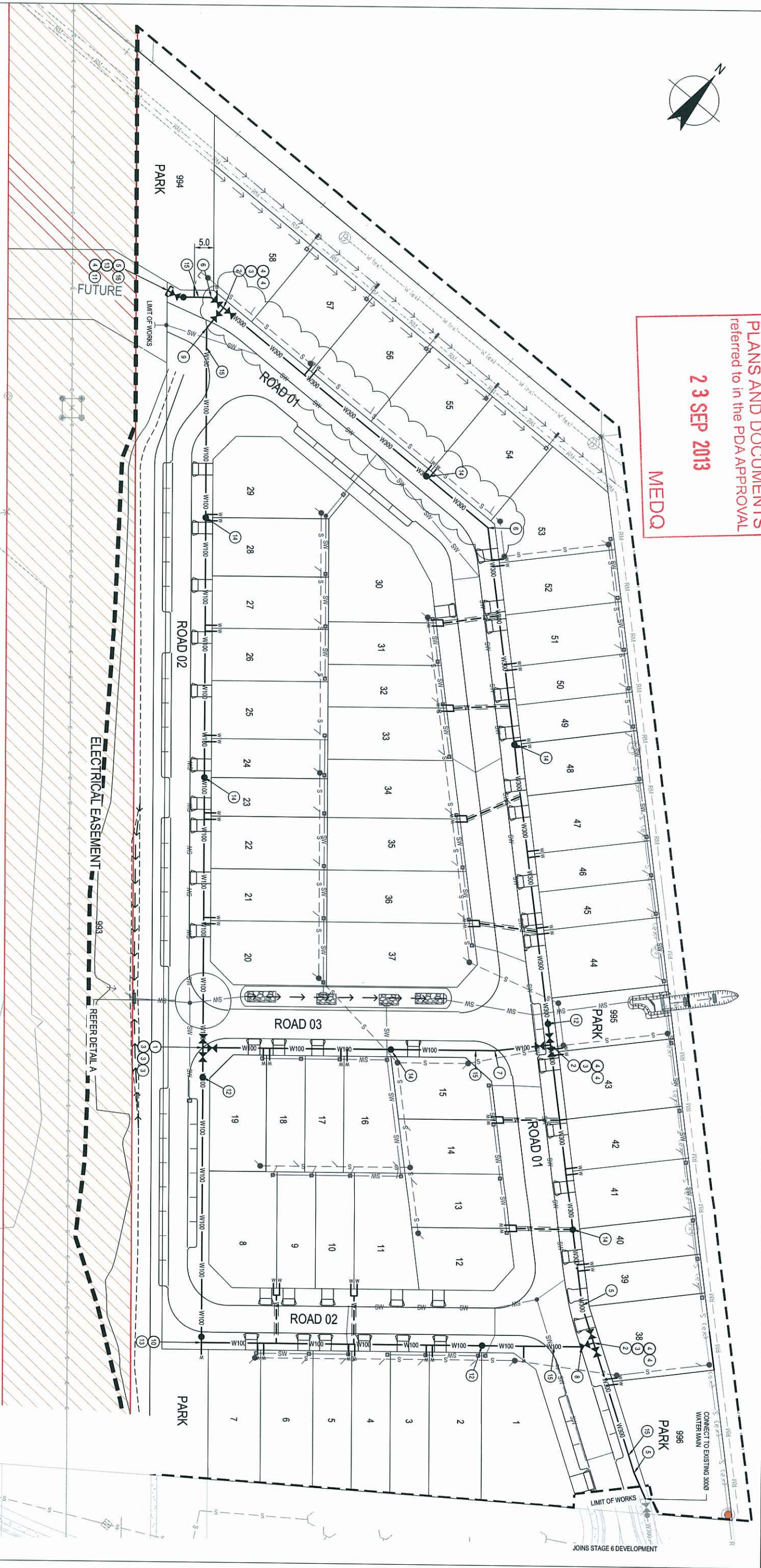
RPS

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23 SEP 2013

MEDQ



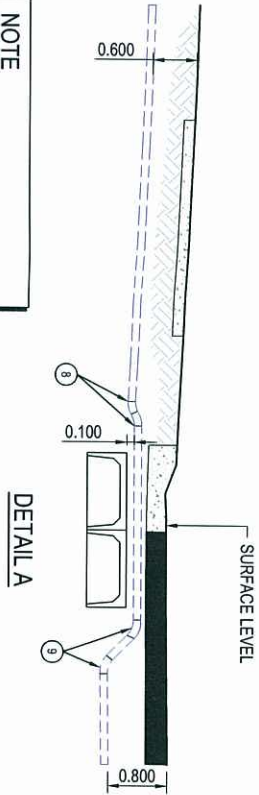
WATER NOTES

1. ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH M.C.C. DEVELOPMENT MANUAL AND STANDARD DIMENSIONS.
2. LOCATION OF WATER MAINS SHALL BE 1.8m FROM PROPERTY BOUNDARY UNLESS NOTED OTHERWISE.
3. MINIMUM COVER - WATERMANS
(a) FOOTPATH: 0.60m TO THE TOP OF PIPE MEASURED FROM THE ADJACENT KERB OR PAVEMENT MARGIN.
(b) ROADWAY: 0.80m TO THE TOP OF PIPE MEASURED FROM THE ADJACENT UP OF CHANNEL OR PAVEMENT.
(c) SHOULD THE REQUIRED COVER NOT BE ACHIEVABLE WHERE THE MAIN CROSSES CULVERT INSTALLATIONS, THE SECTIONS ARE TO BE Laid IN D.I. WITH AN APPROVED METHOD OF PROTECTION TO COUNCIL'S SATISFACTION.
4. MANUAL COVER - SERVICE CONDUITS
(a) ROADWAY: 0.80m TO THE TOP OF PIPE MEASURED FROM THE ADJACENT INVERT OF CHANNEL.
(b) SERVICE CONDUITS SHALL EXTEND 0.30m FROM THE BACK OF KERB OR BEYOND THE EDGE OF THE PAVEMENT OR PATHWAY TOWARDS THE PROPERTY BOUNDARY AT EACH END.
(c) FOR CONDUITS SIZES REFER TO M.C.C. STD DRG NO. A3-0084.
(d) INSTALL SERVICE MARKER STAKE AND PAINT KERB AND CHANNEL TO SHOW SERVICE LOCATIONS. REFER M.C.C. STD DRG NO. A3-0083.
(e) FOR THRUST BLOCK DETAILS REFER TO M.C.C. STD DRG NO. A3-0086.
(f) GROUND BEARING PRESSURE FOR DETERMINING ANCHORAGE SIZES SHALL BE 100kPa.

LEGEND

- | | |
|------------------------------|------------------------------|
| STAGE BOUNDARY | EXISTING SEWER RAISING MAIN |
| PROPOSED 1000 UPVC WATERMAIN | PROPOSED STORMWATER |
| PROPOSED 3000 UPVC WATERMAIN | EXISTING SEWER |
| ROAD CROSSING CONDUIT | EXISTING STORMWATER |
| FIRE HYDRANT | EXISTING WATER |
| VALVE | EXISTING ELECTRICITY |
| PROPOSED WATER CONNECTION | EXISTING WATER TO BE REMOVED |
| PROPOSED WATER | 100 x 100 TEE |
| PROPOSED SEWER | 300 x 100 TEE |
| | 100 VALVE |
| | 300 VALVE |
| | 300 x 11.25° BEND |

- | |
|--------------------------|
| 300 x 45° BEND |
| 100 x 11.25° BEND |
| 100 x 22.5° BEND |
| 100 x 45° BEND |
| 100 x 80° BEND |
| END CAP |
| FIRE HYDRANT (SCOUR) |
| FIRE HYDRANT (AIR VALVE) |
| FIRE HYDRANT (TEE) |
| DEFLECTION |
| 300 x 22.5° BEND |



NOTE

ALL ALLOTMENT WATER SERVICE CONNECTION TO BE IN ACCORDANCE WITH WAKATAP CITY COUNCIL STANDARDS.
3.5 DWELLINGS = 200mm R16 POLY
3.5 DWELLINGS = 600mm R16 POLY

FOR CONSTRUCTION

3	WATER MAIN AT LOTS 54 - 58 FRONTAGE AMENDED	JGM	RA*	SD*	31.07.13	Registered Professional ROGER ANDRADE Registration REGISTERED PROFESSIONAL ENGINEER OF QLD Registration Discipline CIVIL ENGINEERING Signature No. 7675 Date 18.07.12  145 Ann St Brisbane QLD 4000 Australia GPO Box 688 Brisbane QLD 4001 For more information visit www.ghd.com E terranell@ghd.com W www.ghd.com	DO NOT SCALE <table><tr><td>Drawn</td><td>V. NGUYEN</td><td>Designer</td><td>V. NGUYEN</td><td>Client</td><td>BM ALLIANCE COAL OPERATIONS PTY LTD</td></tr><tr><td>Drafting</td><td>R. FISHER</td><td>Design</td><td>A. VERA</td><td>Project</td><td>ISAAC VIEWS ESTATE - STAGE 7</td></tr><tr><td>Checked</td><td>S. DENLAY</td><td></td><td></td><td>Title</td><td>WATER RETICULATION LAYOUT PLAN</td></tr><tr><td>Approved</td><td>(Project Director)</td><td></td><td></td><td></td><td></td></tr><tr><td>Date</td><td>18.04.12</td><td></td><td></td><td></td><td></td></tr><tr><td>Scale</td><td>AS SHOWN</td><td></td><td></td><td></td><td></td></tr></table> This Drawing must not be used for construction unless signed as Approved Original Date A1 Drawing No: 41-24844-C735 Rev: 3				Drawn	V. NGUYEN	Designer	V. NGUYEN	Client	BM ALLIANCE COAL OPERATIONS PTY LTD	Drafting	R. FISHER	Design	A. VERA	Project	ISAAC VIEWS ESTATE - STAGE 7	Checked	S. DENLAY			Title	WATER RETICULATION LAYOUT PLAN	Approved	(Project Director)					Date	18.04.12					Scale	AS SHOWN				
Drawn	V. NGUYEN	Designer	V. NGUYEN	Client	BM ALLIANCE COAL OPERATIONS PTY LTD																																									
Drafting	R. FISHER	Design	A. VERA	Project	ISAAC VIEWS ESTATE - STAGE 7																																									
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Approved	(Project Director)																																													
Date	18.04.12																																													
Scale	AS SHOWN																																													
2	WATER MAIN AT LOTS 54 - 58 FRONTAGE AMENDED	ATL	RA*	SD*	24.07.13																																									
1	WATERMAIN AMENDED AT FUTURE ROAD CONNECTION	JGM	RA*	SD*	23.05.13																																									
0	FOR CONSTRUCTION	MMZ	RA*	SD*	18.02.13																																									
No	Revision	Note	Indicates signature or original issue of drawing or last revision of drawing			Drawn	Job Manager	Project Director	Date																																					

0 5 10 15 20 25m

SCALE 1:500 AT ORIGINAL SIZE

0 0.5 1.0 1.5 2.0 2.5m

SCALE 1:50 AT ORIGINAL SIZE

23 SEP 2013

CONNECT INTO EXISTING
SEWER. REFER TO LIVE
SEWER WORK NOTE 1.

1



1. ALL SEWER LINES DE 30 TO 914 P.C. CLASS R RUBBER RING JOINTED IN MAXIMUM LENGTHS UNTO
2. ALL SEWER LENGTHS AND GRADES ARE CLASSIFIED FROM CENTER OF MANHOLE TO CENTER OF MANHOLE I.N.O.
3. ALL SEWER LINES AND MANHOLES TO BE OFFSET 1"m FROM PROPERTY BOUNDARIES UNLESS OTHERWISE OR
4. DIMENSIONS INDICATE OTHERWISE. REFER SEVER/STORM SETOUT TABLE.
5. THE NATURAL SURFACE PROFILE OF EACH LINE SHALL BE CHECKED ON SITE BY THE CONTRACTOR AND THE SEWER
6. DESIGN LEVELS AND GRADES CONFORMED WITH THE SUPERINTENDENT BEFORE COMMENCING EXCAVATION.
7. ALL SEWER LINES TO BE CONSTRUCTED AS PER M.C.C STD DNG No. SA-385.4.
8. ALL SEWER MANHOLES TO BE 4575 MM C.C STD DNG No. SA-385.4.
9. 3.0m DEEP = 15000. ACTUAL TYP. OF SEWER MANHOLES IN PROPERTIES TO BE 15m ABOVE FINISHED SURFACE
10. DESIGN SURFACE LEVEL. DESIGN SURFACE LEVEL REFERS TO FINISH GROUND LEVEL.
11. FINISHED SURFACE LEVELS TO BE FLUSH WITH FINISHED SURFACE LEVEL. CONTRACTORS TO VERIFY
12. MANHOLE SURFACE LEVELS WITH SURVEYOR'S LEVELS AND NOTIFY SUPERINTENDENT IMMEDIATELY OF ANY
13. DISCREPANCIES OR INQUIRY TO SURVEYOR.
14. MANHOLES TO HAVE MINIMUM 600mm CLEAR OPENING.
15. ALL SEWER HOUSE CONNECTION BRANCHES ARE TO TERMINATE 15m INSIDE PROPERTY BOUNDARY OF THE
16. ALLOTMENT TO BE SERVED BY I.N.O.
17. HOUSE CONNECTION BRANCHES ARE TO BE CONSTRUCTED AS DETAILD ON M.C.C STD DNG No. SA-385 AND ARE
18. TO BE PROVIDED WITH RISERS TO WITHIN 1.0m OF FINISHED SURFACE.
19. ALL SEWER REPLICATION TO BE IN ACCORDANCE WITH ENGINEERING DESIGN GUIDELINES, M.C.C DEVELOPMENT
20. MANUAL, AND STANDARD DRAWINGS.
21. ALL NEW CONNECTIONS AND EXISTING SEWER TO BE CARRIED OUT BY WAKAY WATER AT DEVELOPERS EXPENSE
22. CONTRACTOR TO CONFIRM EXISTING SEWER MANHOLE LOCATIONS AND INVERT LEVELS PRIOR TO
23. COMMENCEMENT OF WORKS.

I.R.C. AND CONTRACTOR LIVE SEWER WORK

221.540 X

OPERATIONS PTY LTD

NO	REVISION	NOV. 1990
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Plotted by: Jay McDonald

Cad File No: G:\124844\CADD Drawings\11-24844-C730.dwg

A1

Drawing No: 41-24844-C/30

Rev: 4



1. ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
2. STORMWATER ALLOTMENT PT MAY BE EAST-NORTH OR PRECAST WITH GULLY GRATE (CLASS X) UP TO 1.0m DEEP = 900x600 INLET
1.0m x 1.5m DEEP = 900x600 INLET
1.5m OR GREATER = STD HAWK HOLE WITH 800x600 GRATE
3. PROVIDE 269S STORMWATER PIPES TO EXTEND 500mm BEYOND PTF AND CAP OFF. LOCATE STUD LIT 550mm BELOW OUTFALL

	STAGE BOUNDARY
	MOUNTAIN KEBB AND CHANNEL, REFER MACKEY CITY COUNCIL STD DRG No. A3- 865 FOR DETAILS
	CARPARK KEBB REFER MACKEY CITY COUNCIL STD DRG No. A3- 865 FOR DETAILS
	DISH DRAIN REFER MACKEY CITY COUNCIL STD DRG No. A3- 865 FOR DETAILS
	CONCRETE EDGE RESTRAINT REFER IPWEAQ TYPE M6*
223.0	FINISHED SURFACE CONTOUR (MAJOR) 1.0m INT
R/W(A)	RETAINING WALL TYPE A 0.3m - 1.0m HIGH, REFER DRG No. 41- 2684 - C70A FOR DETAIL
R/W(B)	RETAINING WALL TYPE B >1.0m HIGH, REFER DRG No. 41- 2684 - C71B FOR DETAIL



DETAIL - SETOUT POINTS FOR GULLIES, MANHOLES, FIELD INLETS AND HEADWALLS

NOTE: NAMING CONVENTIONS USED ARE ONLY FOR DEMONSTRATIVE PURPOSES



Print Date: 31 July 2013 - 12:18 PM

DO NOT SCALE

Client	BM ALLIANCE COAL OPERATIONS PTY LTD
Project	ISAAC VIEWS ESTATE - STAGE 7
Title	STORMWATER DRAINAGE LAYOUT PLAN
Original #	
A1 Drawing No:	41-24844-C722
Rev:	4