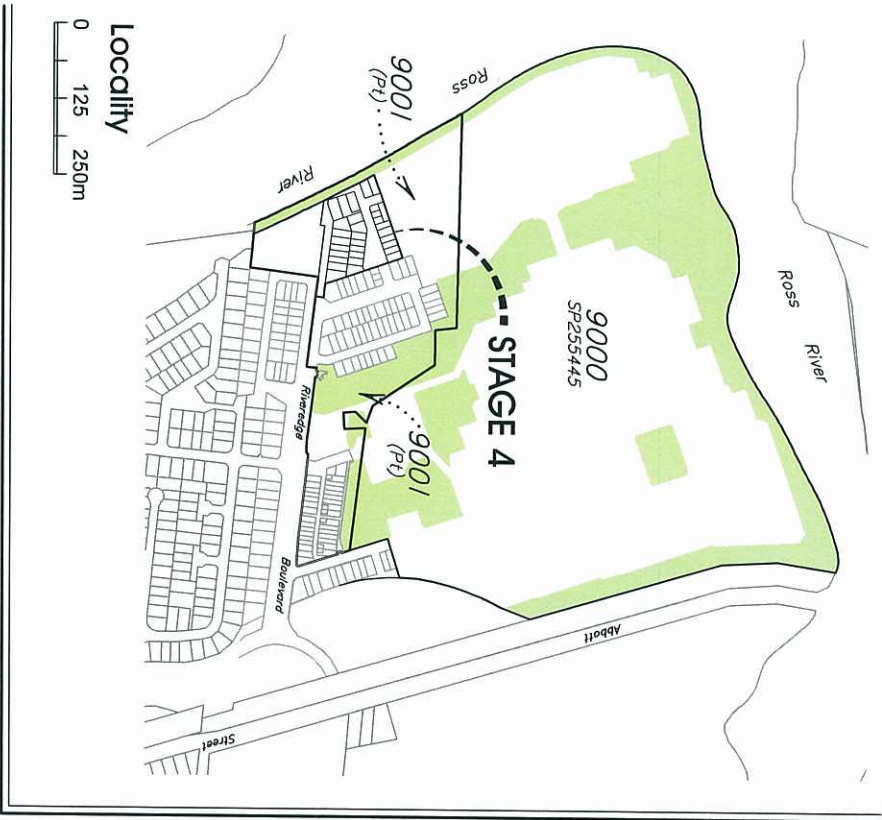
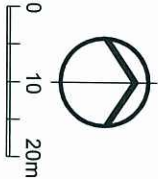
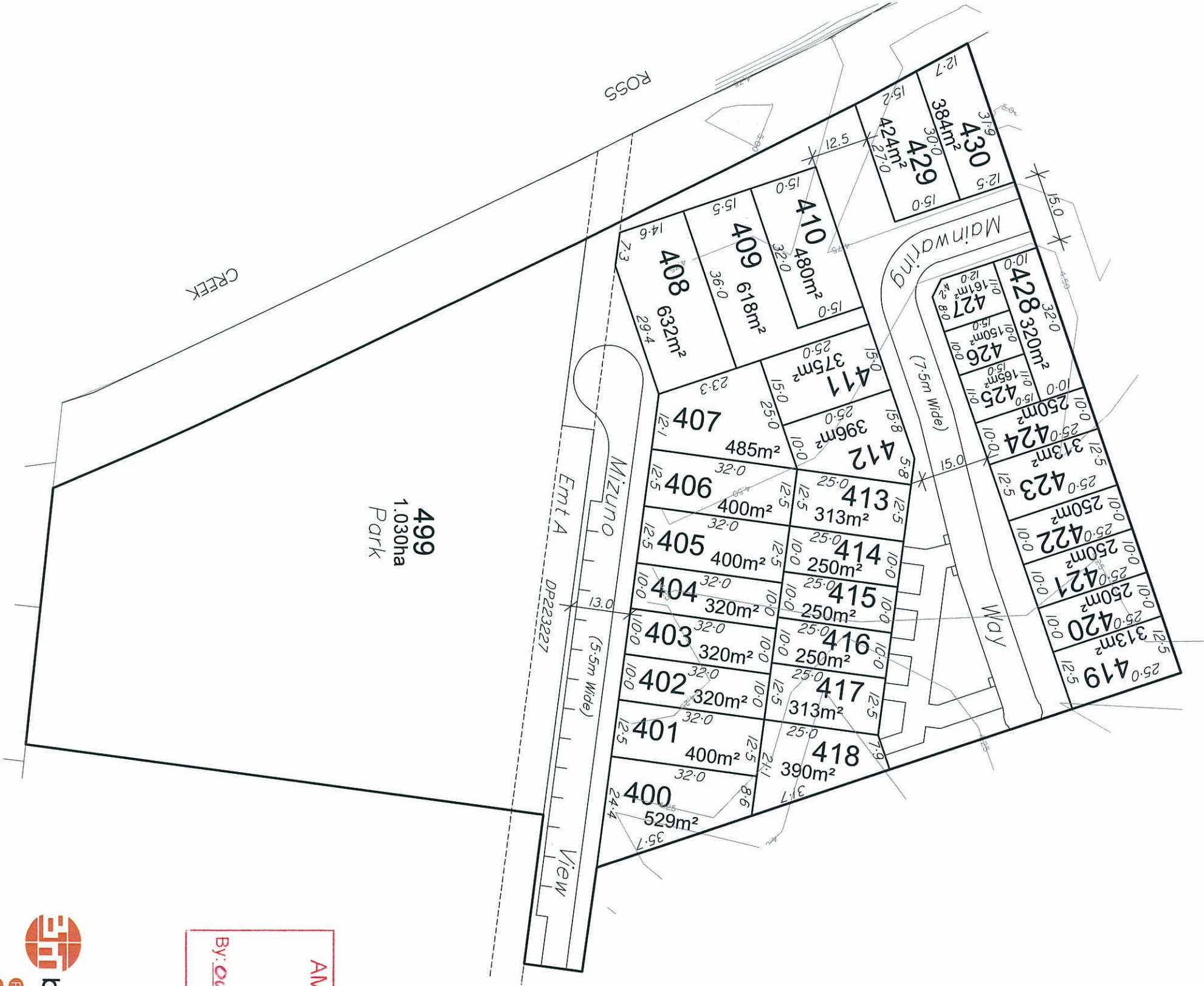




- STAGE 4 -

Areas	
Stage Area	2.668 ha
Park Land Area	1.030 ha
7.5m Road Reserve Area	3135m ²
5.5m Road Reserve Area	1765m ²
Lengths	
7.5m Road Reserve	135m
5.5m Road Reserve	130m



**PROPOSED
RECONFIGURATION**
Lots 400 to 430, 499 & 9001
Cancelling Lot 9001 on **SP257327**
SP257327 Parish of Stuart
County of Elphinstone
City of Townsville

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL
23 SEP 2013
MEDQ

AMENDED IN RED
23 SEP 2013
By: Owen Haslam (name)
MEDQ



brozier moti
Date: 27th August 2013
Scale: 1:1000 @ A3
Drawn: SEM
Job No: 29060/042-01
Plan No: 29060/046 N
1300 267 878
www.broziermoti.com.au

AMENDED IN RED

23 SEP 2013

By: OWEN HASLAM (name)
MEDQ

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

23 SEP 2013

MEDQ



0 10 20m

PROPOSED PLAN OF DEVELOPMENT

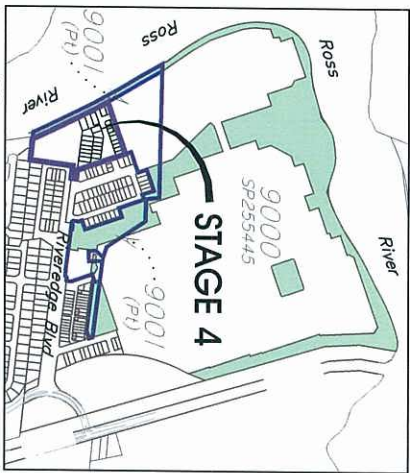
Lots 400 to 430, 499 & 900 I
Cancelling Lot 900 I on SP257327

Parish of Stuart
County of Elphinstone
City of Townsville

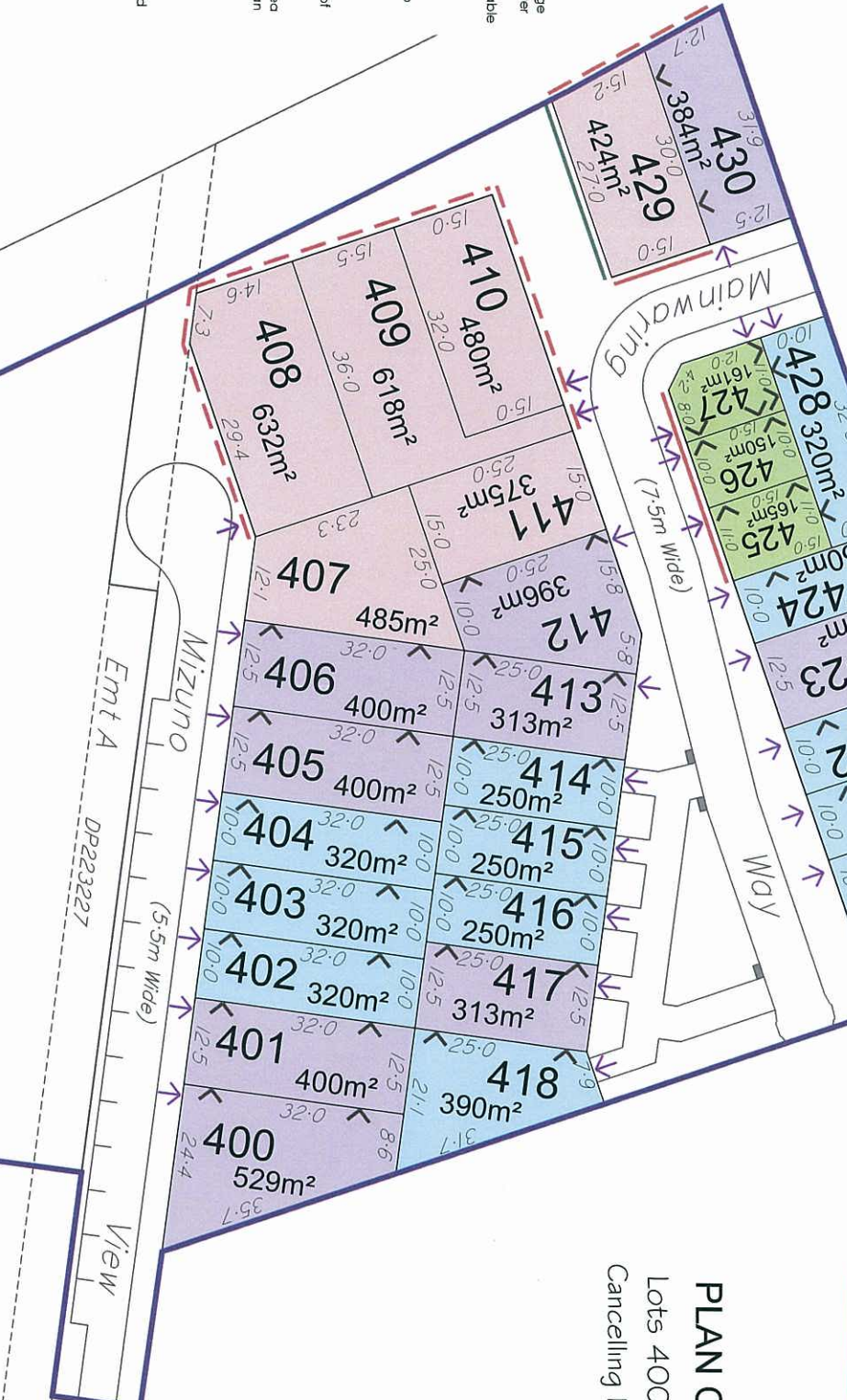
- Lot Type
- Villa Allotment Type 1 (10m frontage)
 - Villa Allotment Type 2 (11.5 & 12.5m frontage)
 - Courtyard Allotment Type 1 (15m frontage)
 - Urban Allotment (7.5m - 11m frontage)

LEGEND

- Stage Boundary
- Build to Boundary (preferred)
- Primary Street Frontage
- Primary Park Frontage
- No vehicle access
- Preferred Driveway location
- Future Parkland Area
- Refuse Bin Pod
- Existing Trees to be retained



Locality scale 1:20000



- Urban Allotments
1. Entries - Front doors of dwellings are to address the Primary Frontage and have a clearly identifiable front door and a Portico undercover point of entry.
 2. Have outdoor lighting to doorway entrance and a clearly identifiable letterbox and clear house number.
 3. Built to boundary walls are to have a maximum height of 6.0m.
 4. The outlook from the first or second storey windows, terraces and decks and other private areas is obscured or screened where a direct view at a distance closer than 9.0m would be available into the private open space or a living room of an existing dwelling.
 5. Windows adjacent to adjoining lots have a minimum sill height of 1.7m, or translucent glass if less.
 6. External drainage pipes are integrated with the building design. A screened drying and rubbish bin area(s) behind the main face of the dwelling.
 7. All habitable rooms must incorporate at least two (2) openings to facilitate cross ventilation. The openings shall have a minimum area of no less than 5% of the total floor area of the room. Openings can include, or combination of:
 8. Internal opening windows
 9. External opening windows
 10. Louvered windows
 11. Ceiling and/or roof ventilation shafts / skylights; and
 12. Mechanical ventilation
 13. For clarity the two (2) openings can not be located on the same wall and must be at least 2m apart.
 14. All habitable rooms must incorporate at least one opening to facilitate access to natural light. Openings can include, or combination of:
 15. External opening windows;
 16. Louvered windows; and
 17. Ceiling and/or roof ventilation skylights.

- Fencing:
1. Fencing on all Primary Street Frontages to be either 50% transparent up to 1.5m high or not to exceed 1.2m in height.
 2. Fencing on secondary street frontages to extend for no more than 50% of the lot boundary, if solid.
 3. Fencing along Pedestrian Access adjacent to Lots 429 and 410 shall be 50% transparent and not exceed 1.5m in height. The fence shall provide casual surveillance opportunities and maintain CPTED design elements.
- Driveways:
1. For conventional allotments (not lane way allotments) the following applies:
 2. The maximum width of a driveway:
 3. serving a double garage shall be 4.8m at the lot boundary
 4. serving a single garage shall be 3.0m at the lot boundary
 5. A maximum of one driveway per dwelling is permitted, unless it is a corner lot.
 6. Driveways should avoid on-street works such as dedicated on-street parking bays, drainage pits and service pillars.
 7. The minimum distance of a driveway from an intersection of one street with another street shall be 6.0m, except where the driveway is from a laneway.
- Notes :-
1. The maximum height of building shall not exceed 2 storeys.
 2. Orientation:
 3. Entries - Front doors and letterboxes of dwellings are to address the Primary Street Frontage and be visible from the street.
 4. Where dwellings encompass more than one frontage they are to be designed to address each street frontage except laneways.
- Setbacks:
1. Setbacks are as per the Site Development Table unless otherwise specified.
 2. Built to boundary walls are preferred where shown.
 3. Excluding Urban Allotments, built to boundary walls are to have a maximum length of 15m and a maximum height of 3.5m.
 4. Boundary setbacks are measured to the wall of the structure.
 5. Eaves should not encroach (other than where building is built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2.4m.
 6. For Urban Allotments, built to boundary wall shall not exceed 75% of the lot boundary length and 6m in height.
 7. Buildings on lots less than 10m wide may be built to more than one boundary. However, the dwelling on the adjoining lot to which the built to boundary relates must be built simultaneously or setback according to the Site Development Table.
- Parking:
1. Minimum off-street parking requirements -
 2. Studio / 1 & 2 bedroom dwellings - 1 space per dwelling.
 3. Double bedroom dwellings - 2 spaces which may be in tandem.
 4. Double garages will not be permitted on a single storey dwelling on a lot less than 12.5m wide.
 5. Double garages may be permitted on a dwelling on allotments (not on a laneway) less than 12.5m wide, where:
 6. the garage is setback at least 1m behind the main face, excluding balconies, of the dwelling, and
 7. the garage doors are articulated, comprise a mix of materials and colours, or are staggered
 8. Carports may be permitted where screened from the front and sides with a maximum of 50% transparency and a minimum height of 2m above the carport slab level (i.e., the carport is only open to the rear boundary of the site). However, car ports must not be provided to lots with a boundary to a public open space, or a Primary Park Frontage.
 9. Allotments (not on a laneway) with a frontage of less than 12.5m are to have a minimum of 4.5m setback to any wall containing a vehicle door (except in corner lot situations where the setback to the side of the garage shall be determined by the secondary frontage setback on the Plan of Development).
 10. The double garage must have one side constructed as a built to boundary (BtB) wall in a position consistent with the Plan of Development for the lot.
 11. The driveway of the double garage is to taper down from the central edge to 3m at the lot street boundary, equal which would have been required if the garage were only a single garage (refer to the building Guidelines, Driveways, Fencing).
 12. Parking spaces on driveways do not have to comply with AS2890.
- Site Cover and Amenities:
1. Site cover for each lot is not to exceed 60% of the lot except on Urban Allotments where the site cover shall not exceed 85% of the lot.
 2. Minimum private open space requirements:
 3. must be accessed from a living area.
 4. One or Studio house/unit 5m² with a minimum dimension of 2.4m.
 5. Two room houses/units 7m² with a minimum dimension of 2.4m.
 6. Three or more bedroom house/unit 12m² with a minimum dimension of 2.4m.
21. Lots with a Primary Park Frontage:
- the dwelling designs shall incorporate elements which provide casual surveillance opportunities to these public areas. Such design elements include habitable rooms oriented towards the public spaces, second floor elements and appropriate fencing (1.5m maximum high and 50% min. transparency)
 - windows recessed into the facade
 - balconies, porches or verandahs provided
 - window hoods provided
 - stoop/lines created on the building through minor changes in the facade (100mm minimum)
 - use more than one building material on the facade.

Site Development Table				
	Villa Allotments (1)		Villa Allotments (2)	
	Ground Floor	First Floor	Ground Floor	First Floor
Frontage (Primary Frontage)	3.0m	3.0m	3.0m	3.0m
Side Build to Boundary	0.0m	1.0m	1.0m	0.9m
Side Non Build to Boundary	0.0m	1.0m	1.0m	0.9m
Side Secondary Frontage (Corner Lots)	1.5m	1.5m	1.5m	1.5m
Primary Frontage	-	-	-	-

This plan is conceptual and for discussion purposes only. All areas, dimensions and land uses are preliminary, subject to investigation, survey, engineering, and Local Authority and Agency approvals.



brozier moti
1300 267 878
www.broziemoti.com.au

surveying | town planning | project management | mapping and GIS

Date: 10th September 2013

Scale: 1:1,000 @ A3

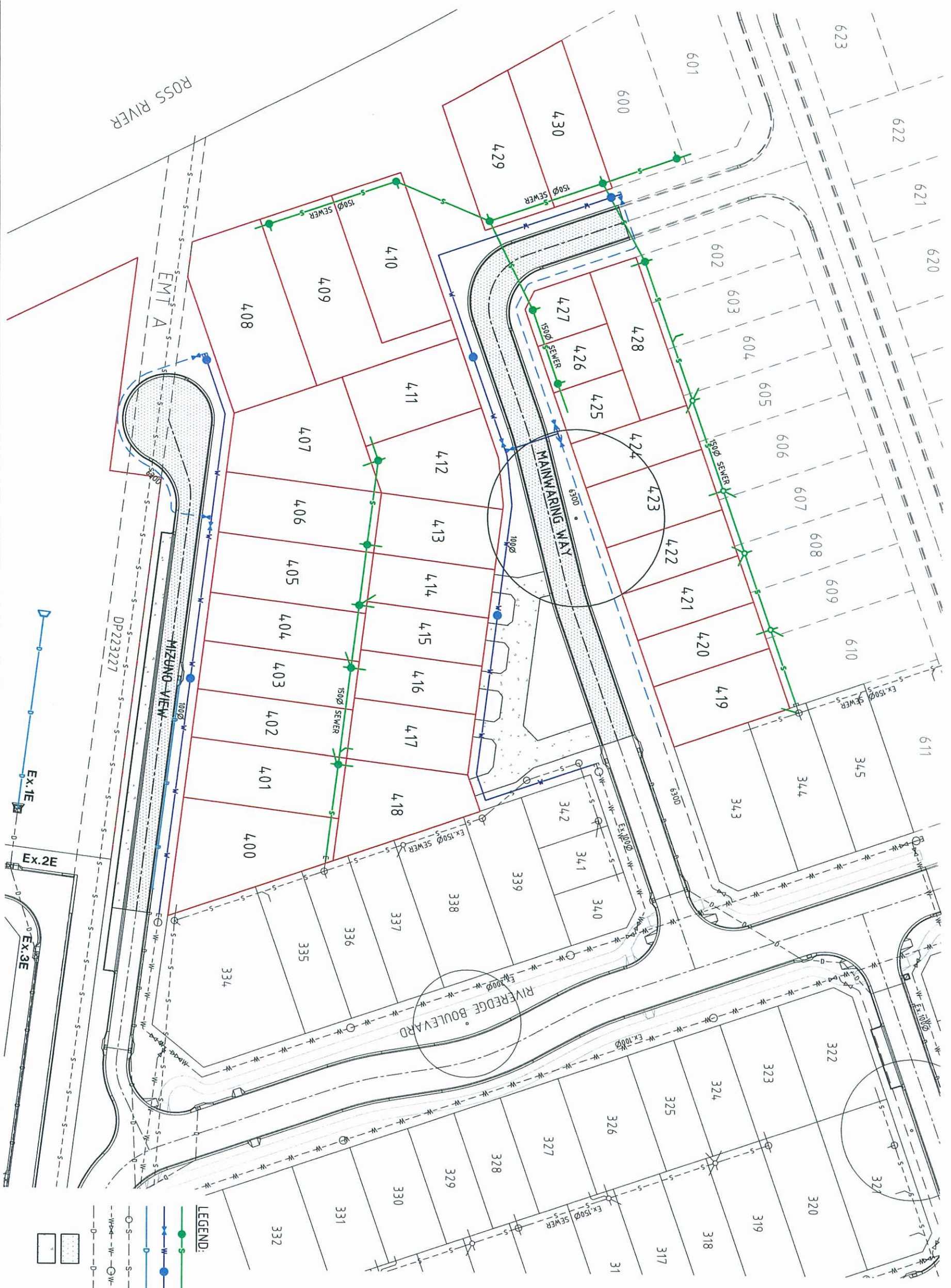
Drawn: SEM

Job No: 29060/042-01

Plan No: 29060/045 Q



PLANS AND DOCUMENTS
referred to in the PDA APPROVAL
23 SEP 2013
MEDQ



LEGEND:

- Proposed Sewer Main and Manhole
- Proposed Watermain, Valve & Hydrant
- Proposed Stormwater Drainage
- Existing Sewer Main and Manhole
- Existing Watermain, Valve & Hydrant
- Existing Stormwater Drainage
- Proposed New Asphalt Pavement
- Proposed New Concrete Pavement

SCALE 1:400

0 8.0 16.0 24.0m

PRELIMINARY ISSUE NOT FOR CONSTRUCTION

JAS-ANZ

INTERNATIONAL CERTIFICATION

ISO 9001

REAL PROPERTY DESCRIPTION:

LOTS 400 TO 430, 499 & 9001 ON SP257338

DRAWN: C. HILLICAN

DESIGNED: R. J. 3.081

DATUM: AHD (DERIVED)

CHECKED: P. SMITH

PROJECT MANAGER: S. MARTIN

PROJECT DIRECTOR: S. MARTIN

UDP Consulting Engineers

Urban Development Design Infrastructure Project Management

Level 1, 62 Walker Street

TOWNSVILLE QLD 4810

PO BOX 1110

Phone: (07) 4772 0866

Fax: (07) 4772 0866

Email: info@udpconsulting.com.au

Web: www.udpconsulting.com.au

URBAN LAND DEVELOPMENT AUTHORITY

THE VILLAGE - STAGE 4

RIVERIDGE BOULEVARD, OONOOBBA

COMBINED SERVICES PLAN

DRAWING No. ULD003/SK01

DRAWING SIZE SCALE A1 1:400

REF ULD003-XR-DESIGN

REV 2

03/09/13 LOT LAYOUT AMENDED

03/09/12 PRELIMINARY ISSUE FOR DEVELOPMENT APPLICATION

REVISIONS