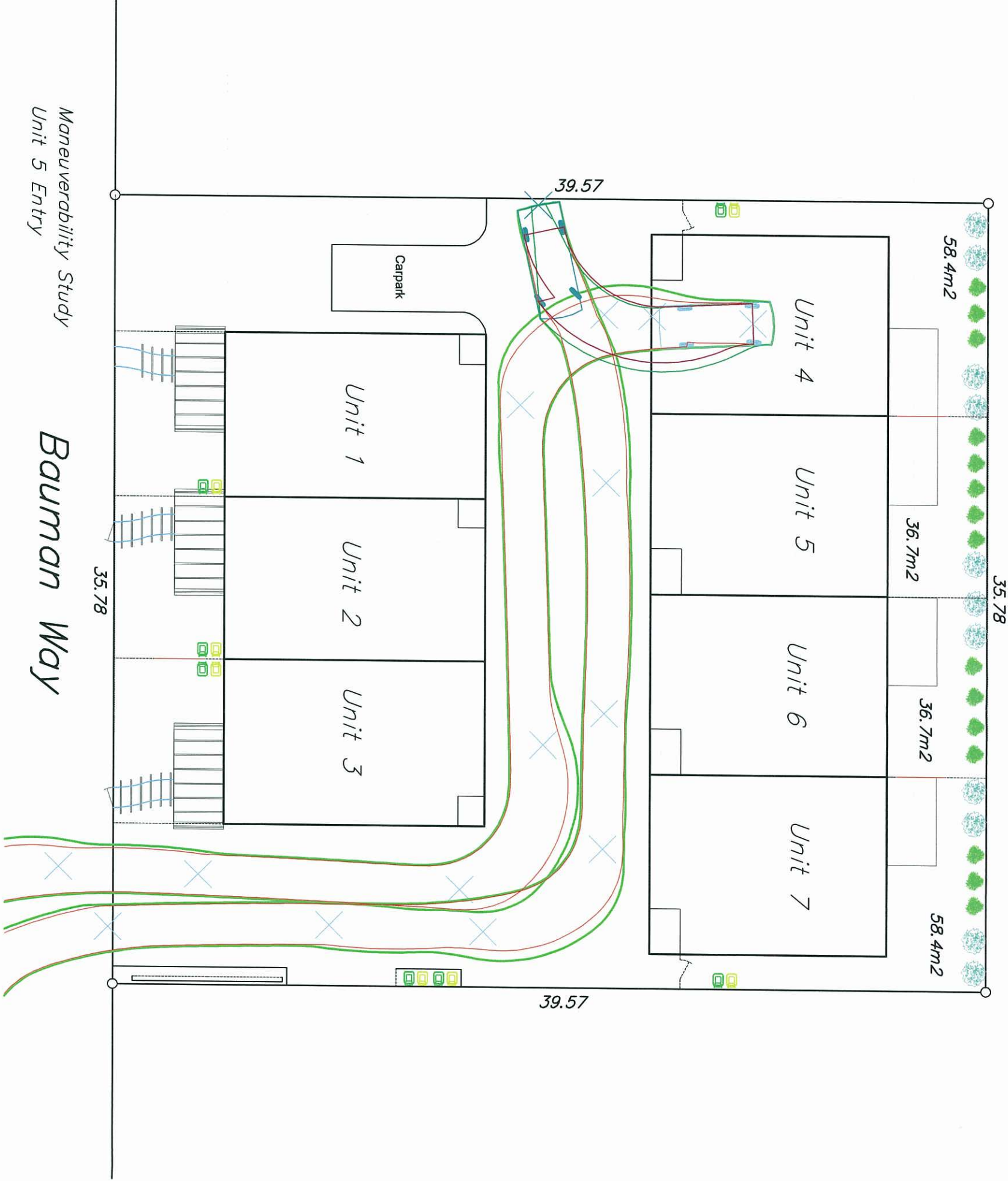


Design Vehicle Note:
Vehicle dimensions for the B99
(Ford Fairlane) size vehicle have
been used as per AS/NZS
2890.1:2004.

Driveway design note:
The turning radius shown is
based on a vehicle entering the
property in forward direction,
reversing from the garage and
then leaving the property in a
forward direction. the design
criteria is extracted from
AS/NZS 2890.1:2004 (B4.4 and
B4.8). The apron width as per
the design meet or exceed
those requires by the AS/NZS
2890.1:2004 for a B99 Vehicle
Type.

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 18 / 7 / 2012



Maneuverability Study
Unit 5 Entry

Bauman Way

NOTES:

1. ALL DIMENSIONS AND DETAILS TO BE CONFIRMED BEFORE COMMENCEMENT OF CONSTRUCTION AND RESPONSIBLE PEOPLE NOTIFIED OF ANY DISCREPANCIES.
2. WALL FINISHES AND WINDOW TYPES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE. REFER TO BUILDERS SPECIFICATIONS FOR DETAILS.
3. GROUND LINE SHOWN ON ELEVATIONS DOES NOT RELATE TO ACTUAL SLOPE OF SITE.



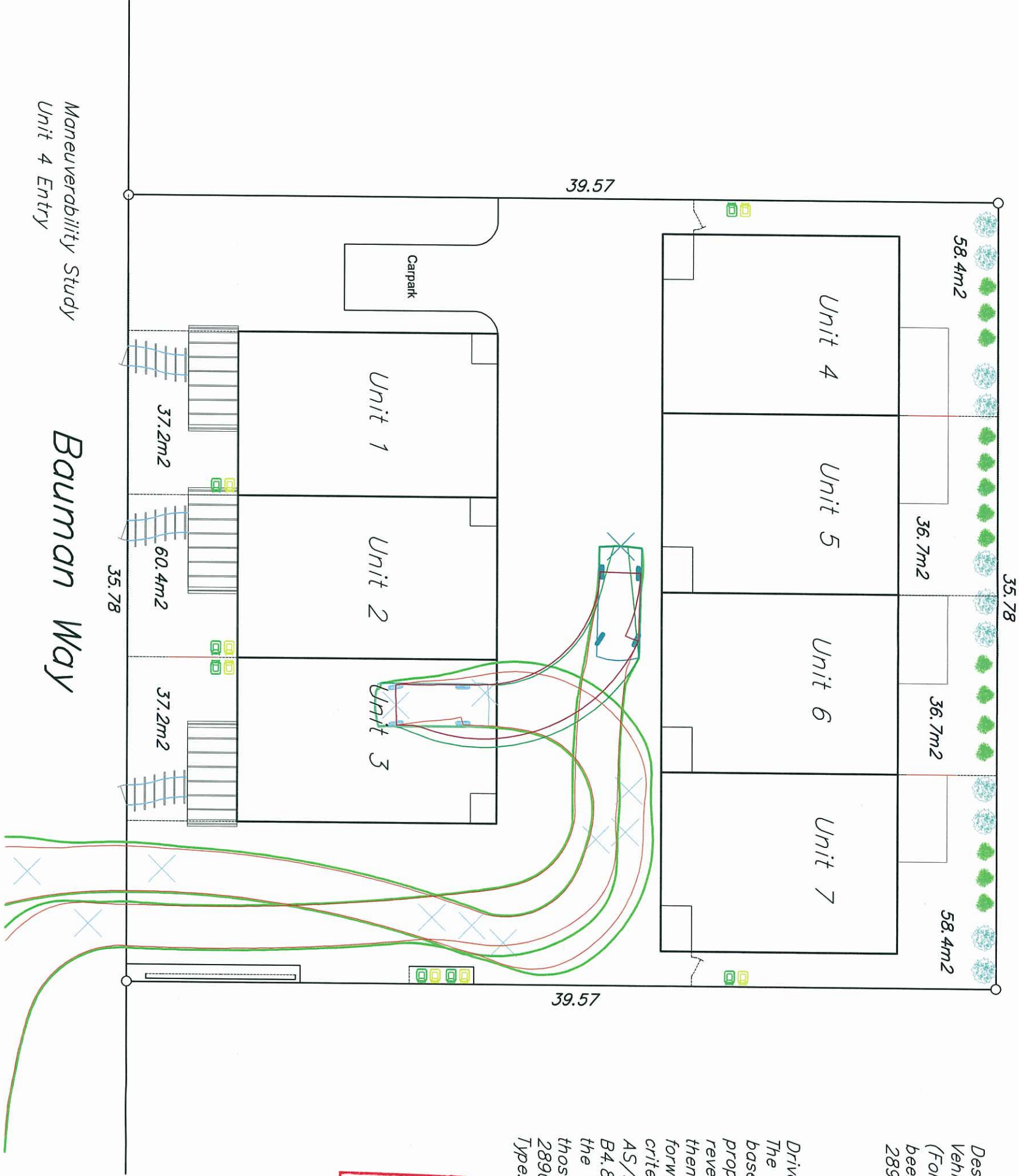
GSPC
(Gracemere Surveying and Planning Consultants Pty Ltd)
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PO Box 379 Gracemere QLD 4702
Rockhampton & Toowoomba
Ph: (07) 4922 7033 email: admin@gspc.com.au Fax: (07) 4922 7044

Sheet No. 13 / 35
Scale: 1:100
Date: 26 / 06 / 2012
Client: Ring Group Pty Ltd
Address: Lot 16 Bauman Way
Blackwater
Drawn By: Mahli Craven
Checked By: Kraag Knabe
Ref. No: 100287-05a

Design Vehicle Note:
Vehicle dimensions for the B99
(Ford Fairlane) size vehicle have
been used as per AS/NZS
2890.1:2004.

Driveway design note:
The turning radius shown is
based on a vehicle entering the
property in forward direction,
reversing from the garage and
then leaving the property in a
forward direction. the design
criteria is extracted from
AS/NZS 2890.1:2004 (B4.4 and
B4.8). The apron width as per
the design meet or exceed
those requires by the AS/NZS
2890.1:2004 for a B99 Vehicle
Type.

PLANS AND DOCUMENTS
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NOTES:

1. ALL DIMENSIONS AND DETAILS TO BE CONFIRMED BEFORE COMMENCEMENT OF CONSTRUCTION AND RESPONSIBLE PEOPLE NOTIFIED OF ANY DISCREPANCIES.
2. WALL FINISHES AND WINDOW TYPES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE. REFER TO BUILDERS SPECIFICATIONS FOR DETAILS.
3. GROUND LINE SHOWN ON ELEVATIONS DOES NOT RELATE TO ACTUAL SLOPE OF SITE.

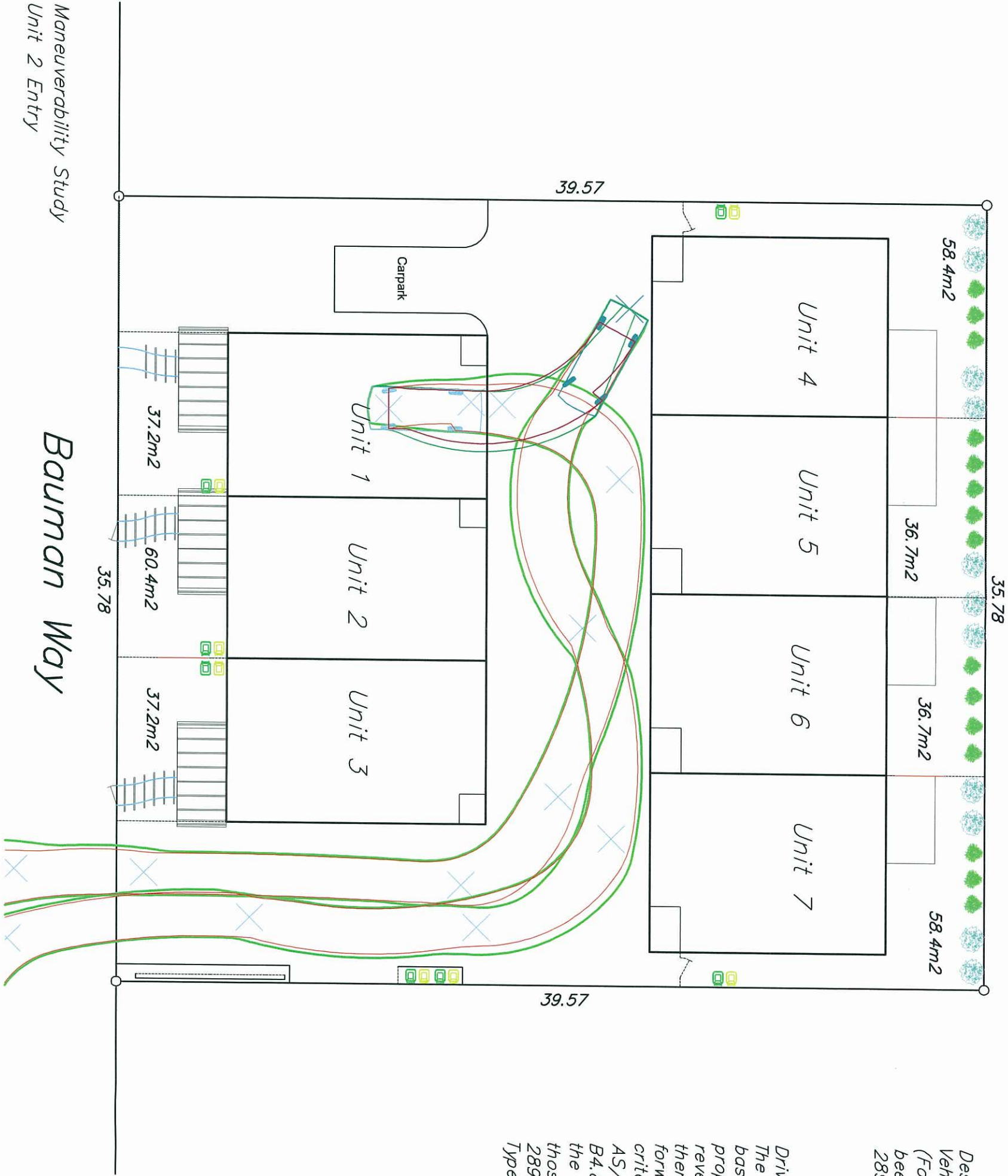


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Sheet No. 14 / 35
Scale: 1:100
Date: 26 / 06 / 2012
Client: Ring Group Pty Ltd
Address: Lot 16 Bauman Way
Blackwater
Drawn By: Mahli Craven
Checked By: Kragg Knabe
Ref. No: 100287-03a

Design Vehicle Note:
Vehicle dimensions for the B99
(Ford Fairlane) size vehicle have
been used as per AS/NZS
2890.1:2004.

Driveway design note:
The turning radius shown is
based on a vehicle entering the
property in forward direction,
reversing from the garage and
then leaving the property in a
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criteria is extracted from
AS/NZS 2890.1:2004 (B4.4 and
B4.8). The apron width as per
the design meet or exceed
those requires by the AS/NZS
2890.1:2004 for a B99 Vehicle
Type.



- NOTES:
1. ALL DIMENSIONS AND DETAILS TO BE CONFIRMED BEFORE COMMENCEMENT OF CONSTRUCTION AND RESPONSIBLE PEOPLE NOTIFIED OF ANY DISCREPANCIES.
 2. WALL FINISHES AND WINDOW TYPES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE. REFER TO BUILDERS SPECIFICATIONS FOR DETAILS.
 3. GROUND LINE SHOWN ON ELEVATIONS DOES NOT RELATE TO ACTUAL SLOPE OF SITE.

Maneuverability Study
Unit 2 Entry

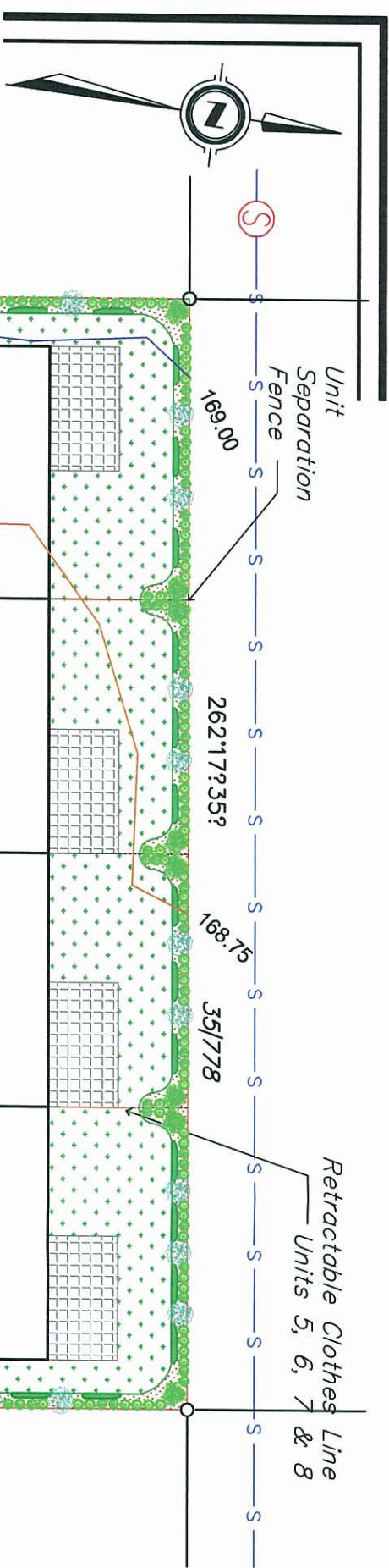
Bauman Way



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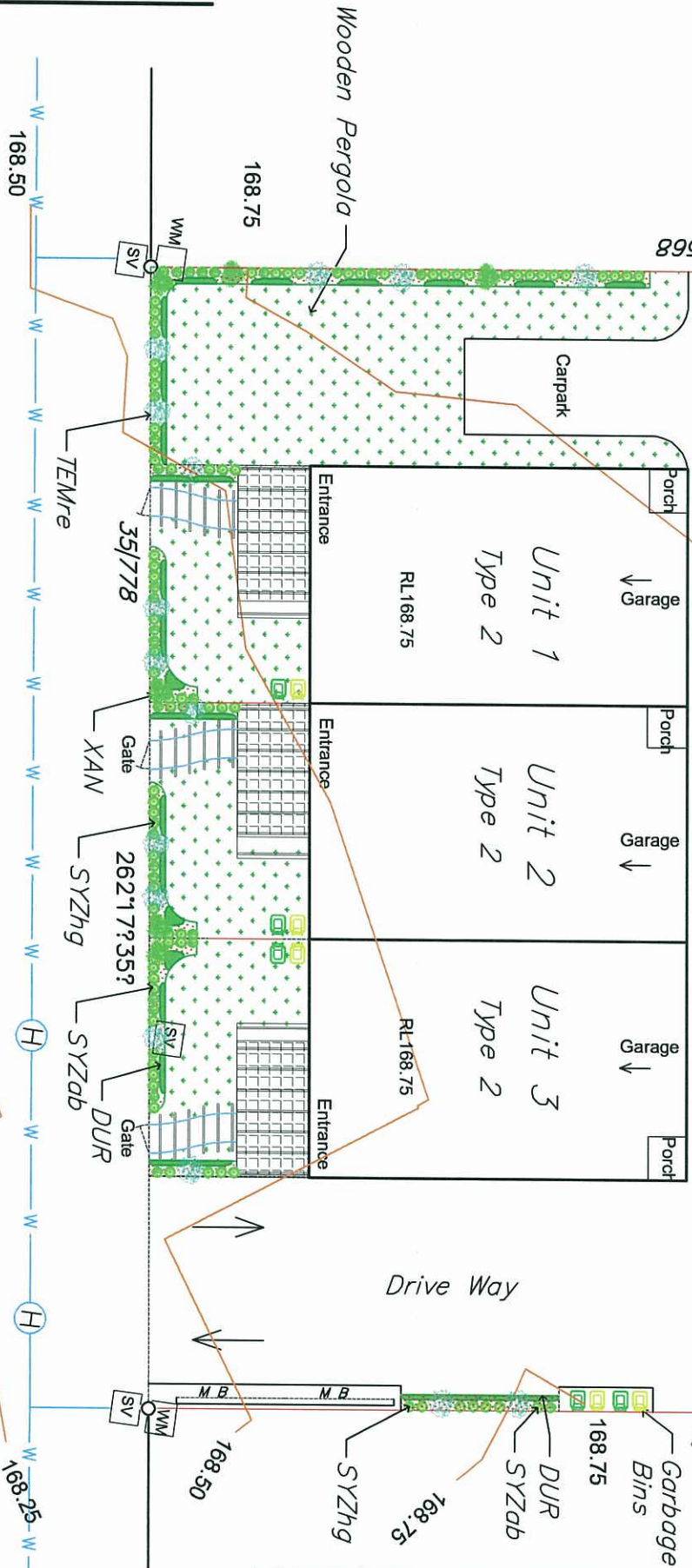
Sheet No. 15 / 35
Scale: 1:100
Date: 26 / 06 / 2012
Client: Ring Group Pty Ltd
Address: Lot 16 Bauman Way
Blackwater
Drawn By: Mahli Craven
Checked By: Krapp Knabe
Ref. No: 100287-03a



PLANS AND DOCUMENTS
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APPROVAL dated 18 / 7 / 2012

Legend:	
Boundary Line	
Fence	
Water	
Sewerage	
Fence	
Sewer Man Hole	
Fire Hydrant	
Telstra Pillar	
Telstra Pit	
Stop Valve	
Electricity Box	
Water Meter	
Garbage Bin	
Outdoor Alfresco Area	
Irrigated, Mulched Garden with massed Species. All Gardens edged with Treated Pine Timber edging.	
Approved Blend of Lawn Turf on Prepared Base, Minimum of 100mm Topsoil.	
Boundary Trees & Shrubs	

Plant Schedule: Lot 16 on B337108				
SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE SIZE	QUANTITY
SYZab	Syzygium Aussie Boomer	Aussie Boomer	1.5 x 1.5 metres	74
DUR	Durantas	Eureka Gold	upto 3 metres	170
SYZhg	Syzygium Hinterland Gold	Hinterland Gold	2.0 x 1 metres	60
XAN	Xanthorrhoea	Grass Tree	2.0 metres up	42
TEMre	Templetonia Retusa	Cocky's Tongue	2.0 x3.0 metres	29
				Prune to establish tree form



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Sheet No. 18 / 35
Scale: 1:200
Date: 26 / 06 / 2012
Client: Ring Group Pty Ltd
Address: Lot 16 Bauman Way
Blackwater
Drawn By: Kraq Knabe
Checked By: Kraq Knabe
Ref. No: 100287-03a

NOTE:
THESE LANDSCAPE DETAILS ARE PROVIDED AS A GUIDE & TO IDENTIFY CONSISTENT LANDSCAPE CONSTRUCTION TECHNIQUES & STANDARDS.
ALL ASSOCIATED WORKS MUST COMPLY WITH ALL LOCAL OR OTHER INDUSTRY STANDARDS. SITE SPECIFIC NOTES ON ALL PLANS TAKE PRECEDENCE OVER THESE DETAILS OR STANDARDS. ANY VARIATIONS OR ADJUSTMENTS SHOULD BE AT THE DIRECTION OF THE PROJECT MANAGER IN CONSULTATION WITH THE PROJECT LANDSCAPE ARCHITECT.

PLANTS

ALL PLANT STOCK ARE TO BE 'A' GRADE FREE FROM PEST AND DISEASES. ALL PLANTS ARE TO BE FERTILISED AT THE TIME OF PLANTING WITH 6 MONTH SLOW RELEASE FERTILISER AND NATIVES ARE TO BE FERTILISED WITH 'NATIVE BLEND' OR EQUIVALENT

MULCH

MULCH IS TO CONSIST OF 'A' GRADE APPROVED PEBBLE OR ORGANIC MULCH AS PER PLAN. MULCH IS TO BE INSTALLED ONTO THE FINISHED GARDEN AT A DEPTH OF 100mm. ALL MULCH MUST BE FREE OF WEEDS, PESTS AND DISEASES.

IRRIGATION

AN AUTOMATIC IRRIGATION SYSTEM IS TO BE INSTALLED TO SUPPLY WATER TO THE PLANTED AREA ONLY. SUPPLY WATER IS TO BE CONTROLLED WITH AN AUTOMATIC IRRIGATION CONTROLLER AND SOLENOID VALVES ARE TO REGULATE WATER DISTRIBUTION. PRESSURE COMPENSATING DRIPPERS ARE TO SUPPLY WATER TO THE GARDEN AREA. WATER AROUND THE PROPERTY AND SOLENOID VALVES WILL BE TAKEN OFF THIS MAIN. A WIRING HARNESS WILL BE INSTALLED ALONG WITH THE RING MAIN TO SUPPLY COMMUNICATION FROM THE CONTROLLER TO SOLENOID VALVES. ALL IRRIGATION LINES TO BE INSTALLED UNDER ROADS OR PATHS ARE TO BE INSTALLED INSIDE A PVC SLEEVE. A D.C.V. NON-RETURN VALVE TO GLADSTONE REGIONAL COUNCIL REQUIREMENTS. AN ISOLATION VALVE AND FILTER ARE TO BE INSTALLED BETWEEN THE MAINS SUPPLY POINT AND FIRST SOLENOID OR SOLENOID MANIFOLD.

DRAINAGE

DRAINAGE FROM SURFACE RUN OFF WILL BE COLLECTED AND ISSUED TO THE STORM WATER SYSTEM.

TIMBER PRODUCTS

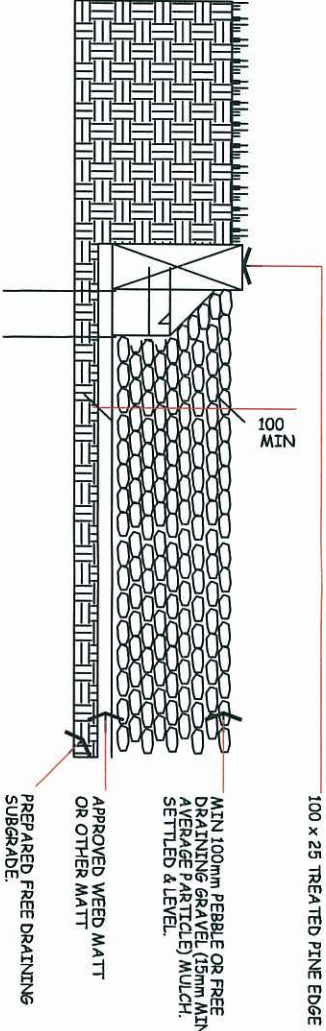
ALL TIMBER PRODUCTS WILL BE SPECIFIED CCA TREATED & TO APPROVED AUST. STANDARDS.

GENERAL LANDSCAPE MAINTENANCE NOTES:

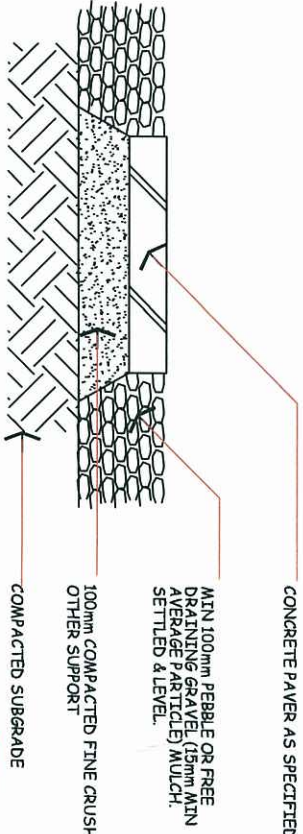
THROUGHOUT THE DEFINED MAINTENANCE PERIOD (3 MONTHS) THE CONTRACTOR SHALL CONTINUE TO CARRY OUT RECURRENT WORKS OF A MAINTENANCE NATURE, INCLUDING BUT NOT LIMITED TO WATERING, WEEDING FERTILIZING , PEST AND DISEASE CONTROL AND PLANT REPLACEMENT, AS DETAILED BELOW. THE CONTRACTOR SHALL REPORT (ON SITE) TO THE LANDSCAPE ARCHITECT OR PROJECT MANAGER ON AN AGREED REGULAR BASIS THROUGHOUT THIS MAINTENANCE PERIOD.
ALL PLANTED AREAS SHALL BE WATERED REGULARLY INITIALLY TO ENSURE CONTINUOUS HEALTHY GROWTH USING THE INSTALLED IRRIGATION SYSTEM. THE FREQUENCY OF WATERING SHALL BE SLOWLY REDUCED DURING THE MAINTENANCE PERIOD TO HARDEN PLANTS BACK TO NATURAL CONDITIONS, IN CLOSE CONSULTATION WITH THE PROJECT LANDSCAPE ARCHITECT.
ADJUST AND/OR REPLACE TUBE STOCK GUARDS IF REQUIRED. REMOVE ALL ADDITIONAL SUPPORT STAKES AT THE END OF THE MAINTENANCE PERIOD, OR SOONER DEPENDENT UPON PLANT GROWTH, HEALTH, STABILITY, AND THE SEASONS. REMOVE STAKES AND TIES NO LONGER REQUIRED AT THE END OF THE MAINTENANCE PERIOD.
DURING THE CONTRACT PERIOD, REMOVE BY HAND RUBBISH AND WEED GROWTH THAT OCCURS THROUGHOUT ALL CONTRACT LANDSCAPE AREAS. THIS SHALL BE EXECUTED REGULARLY SO THAT AREA IS KEPT IN A CLEAN AND TIDY CONDITION.
MINOR PRUNING WORK SHALL BE IMPLEMENTED TO PROMOTE AND MAINTAIN DENSE FOLIAGE GROWTH AND ENCOURAGE SUITABLE PLANT DEVELOPMENT.
MAINTAIN MULCHED SURFACE IN A CLEAN AND TIDY CONDITION REINSTATE APPROVED MULCH TO SPECIFIED DEPTH (100mm MIN) AND TO THE FULL EXTENT OF THE IMPLEMENTED MULCH AREAS UNTIL THE END OF THE MAINTENANCE PERIOD IF REQUIRED.
REPORT ANY INCIDENCE OF PEST OR DISEASE ATTACK ON PLANTS TO THE PROJECT MANAGER INSECTICIDE AND FUNGICIDE SPRAYING, IF CONSIDERED NECESSARY AND APPROVED, SHALL BE CARRIED OUT IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE CONTRACTOR SHALL TREAT ALL OCCURRENCES OF INSECT ATTACK OR DISEASE IN PLANT MATERIAL.

SITE PREPARATION
ALL AREAS DESIGNATED FOR LANDSCAPING ARE TO HAVE EXISTING WEEDS AND GRASS AND RUBBISH COMPLETELY REMOVED PRIOR TO PLANTING. EXISTING SITE SOIL IS TO BE STOCK PILED FOR LATER USE WHERE POSSIBLE. ANY EXISTING PLANTS THAT ARE TO BE RETAINED ARE TO BE ADEQUATELY PROTECTED DURING THE SITE WORKS STAGE OF CONSTRUCTION.

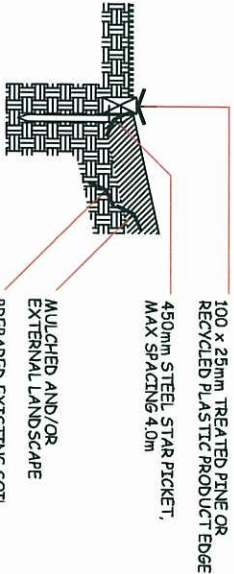
SOIL – GARDENS
IMPORTATION AND INSTALLATION OF BULK SOIL WILL BE RESTRICTED TO IMPROVING SITE CONDITIONS IN THOSE AREAS DISTURBED DURING CONSTRUCTION. FOR ALL OTHER AREAS ESPECIALLY ANY AREAS AROUND OR NEAR EXISTING TREES, INDIVIDUAL HOLES WILL BE EXCAVATED FOR EACH PLANT AND BACKFILLED WITH IMPORTED SOIL. GENERALLY ALL PLANTS ARE TO HAVE THREE TIMES THE VOLUME OF THE PLANTS CONTAINER INSTALLED DURING PLANTING. SOIL WILL BE HIGH GRADE GARDEN MIX SOIL, FREE DRAINING AND FREE FROM ANY WEEDS OF EXTRANEOUS MATERIAL WITH A HIGH ORGANIC CONTENT.



GRAVEL MAINTENANCE



PAVER SET IN GRAVEL



TIMBER EDGING (TYPICAL)

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 18 / 7 / 2012

Sheet No. 19 / 35

Scale: 1:200

Date: 26 / 06 / 2012

Client: Ring Group Pty Ltd

Address: Lot 16 Bauman Way
Blackwater

Drawn By: Kraq Knabe

Checked By: Kraq Knabe

Ref. No: 100287-03a

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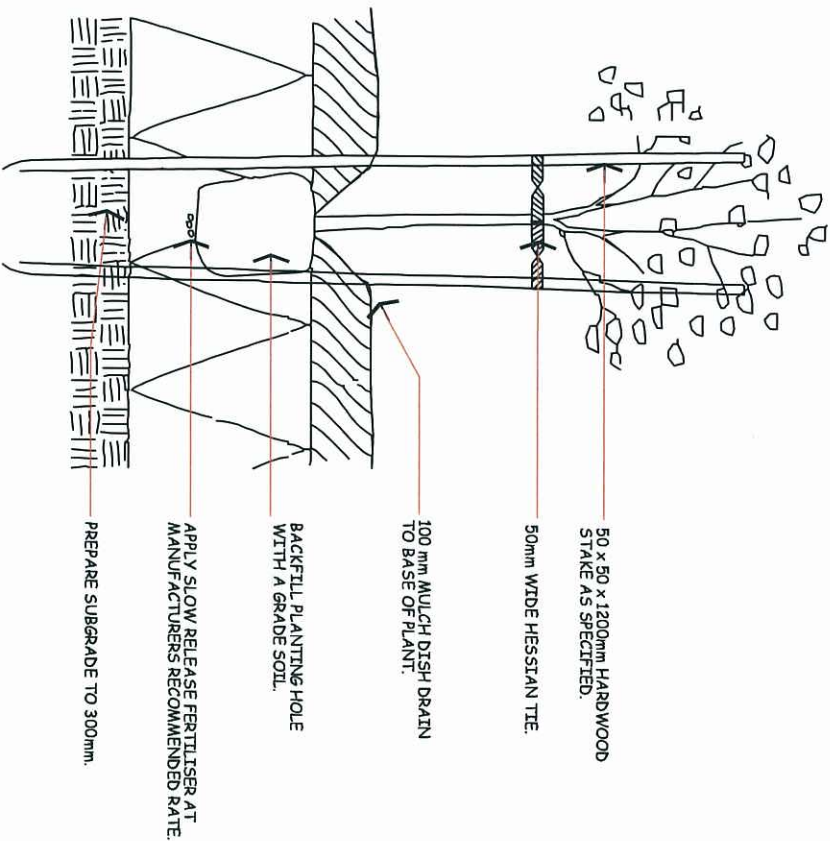
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PO Box 379 Gracemere QLD 4702

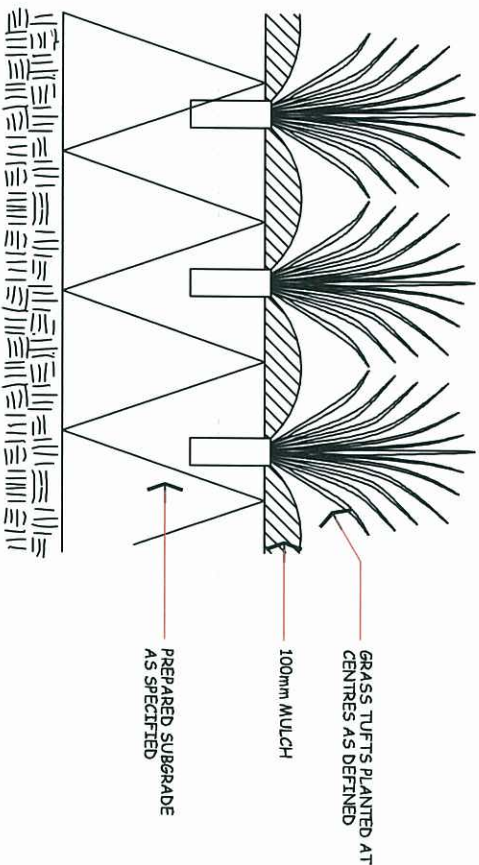
Rockhampton & Toowoomba

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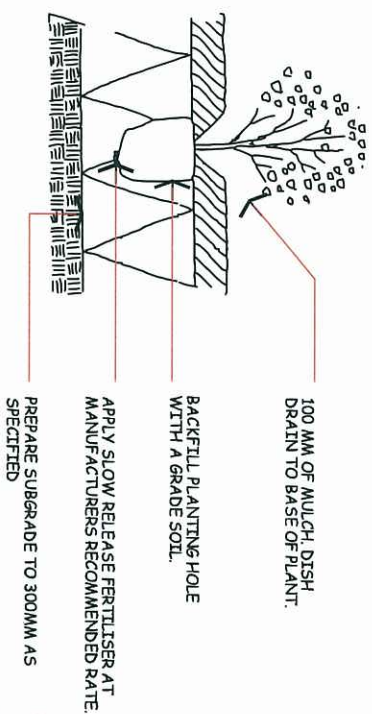
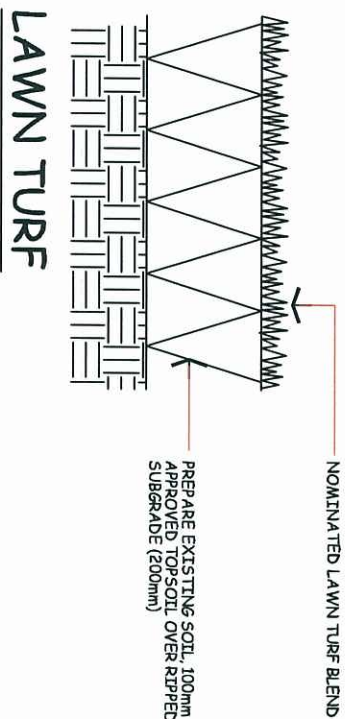




TREE IN MULCH BED 45L



TUFT GRASS PLANTING



SHRUB IN MULCH

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 18 / 7 / 2012

Sheet No. 20 / 35

Scale: 1:200

Date: 26 / 06 / 2012

Client: Ring Group Pty Ltd

Address: Lot 16 Bauman Way
Blackwater

Drawn By: Kraag Knabe

Checked By: Kraag Knabe

Ref. No: 100287-03a

Landscaping Plan

GSPC

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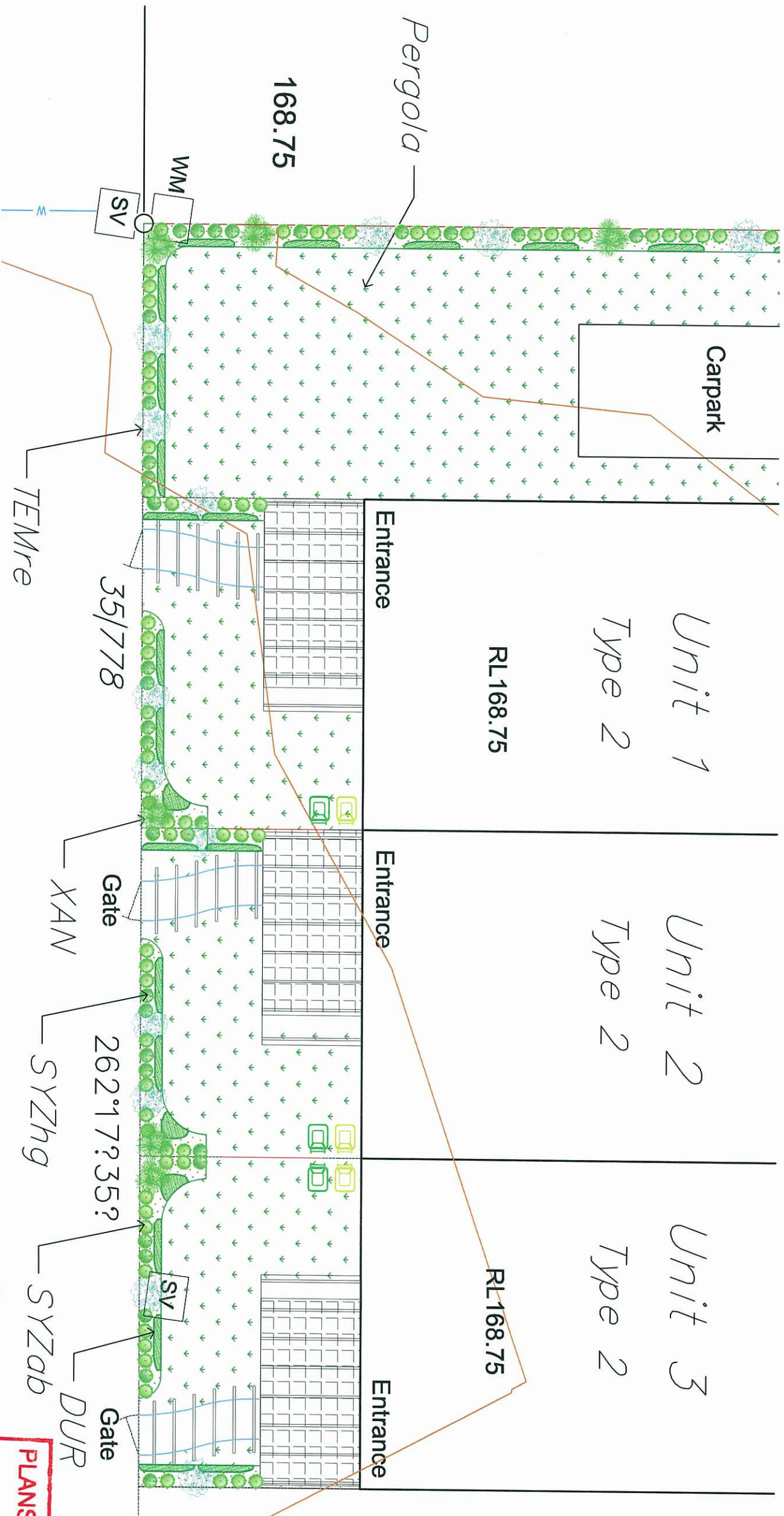
ABN: 40 124 780 445

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Rockhampton & Toowoomba

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Typical Landscaping Plan

Plant Schedule: Lot 16 on B337108

SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE SIZE	QUANTITY	COMMENTS
SYZab	Syzigium Aussie Boomer	Aussie Boomer	1.5 x 1.5 metres	74	Prune to establish tree form
DUR	Durantas	Eureka Gold	upto 3 metres	170	Prune to establish small hedge
SYZhg	Syzigium Hinterland Gold	Hinterland Gold	2.0 x 1 metres	60	Prune to establish tree form
XAN	Xanthorrhoea	Grass Tree	2.0 metres up	42	
TEMre	Templetonia Retusa	Cocky's Tongue	2.0 x 3.0 metres	29	Prune to establish tree form

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Sheet No. 21/35
Scale: 1:100
Date: 26/06/2012
Client: Ring Group Pty Ltd
Address: Lot 16 Bauman Way
Blackwater
Drawn By: Kraag Knabe
Checked By: Kraag Knabe
Ref. No: 100287-03a



17 JUL 2012

(name)

1. CONSTRUCTION IS TO BE PROGRAMMED TO PROVIDE INSTALLATION OF LANDSCAPING / SURFACE TREATMENTS AS EARLY AS PRACTICAL.
2. ROOF RUNOFF TO BE PIPED INTO INTERNAL DRIVEWAY FIELD INLETS.
3. THE CONTRACTORS WORKS PROGRAM IS TO BE REVIEWED AT THE PRESTART MEETING. ALTERATIONS TO THE PROGRAM MAY BE REQUIRED TO ENSURE SATISFACTORY EROSION AND SEDIMENT CONTROL.
4. SAFETY ISSUES MUST BE CONSIDERED AND MONITORED FOR EACH DEVICE TO THE SATISFACTION OF THE SUPERINTENDENT.
5. SEDIMENT FENCE FILTER FABRIC IS TO BE APPROVED BY THE ENGINEER.
6. SEDIMENTATION MANAGEMENT DEVICES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND MAINTAINED AT A SUITABLE LEVEL/ CONDITION THROUGHOUT CONSTRUCTION.
7. SEDIMENT FENCES ARE TO BE CLEANED OUT WHEN CAPACITY IS REDUCED BY 30%.
8. DRAINAGE STRUCTURE PROTECTION IS TO BE CLEANED FOLLOWING EACH SIGNIFICANT RUNOFF PRODUCING STORM.
9. ACCESS TO THE SITE IS TO BE PROVIDED BY THE CONTRACTOR. ACCESS TO AND FROM THE SITE IS TO BE VIA THE SHAVEDOWN FACILITY ONLY. ALL VEHICLES ARE TO BE WASHED DOWN PRIOR TO LEAVING THE SITE.
10. THE CONTRACTOR SHALL PROVIDE TEMPORARY DRAINAGE CONTROLS TO DIVERT FLOW FROM UNDISTURBED AREAS AROUND DISTURBED AREAS AND DIRECT FLOW FROM DISTURBED AREAS TOWARD CONTROL DEVICES.
11. POOLED RAINFALL SHALL BE PUMPED THROUGH A SEDIMENT FENCE LOCATED ON THE SITE BEFORE DISCHARGING INTO THE DOWNSWEEP STORMWATER SYSTEM.
12. STRAW BALES USED IN SEDIMENT DEVICES ARE TO BE REPLACED AFTER A MAXIMUM SERVICE PERIOD OF 6 WEEKS.

SEDIMENT FENCE

DRAINAGE STRUCTURE PROTECTION

DSP

STABILISED ENTRY/EXIT POINT

SEP

PROPOSED SWALE DRAIN

DESIGN CONTOUR MAJOR 168.00

DESIGN CONTOUR MINOR 168.20

EXISTING CONTOUR 168.25

EXTENT OF WORKS

17
B337108



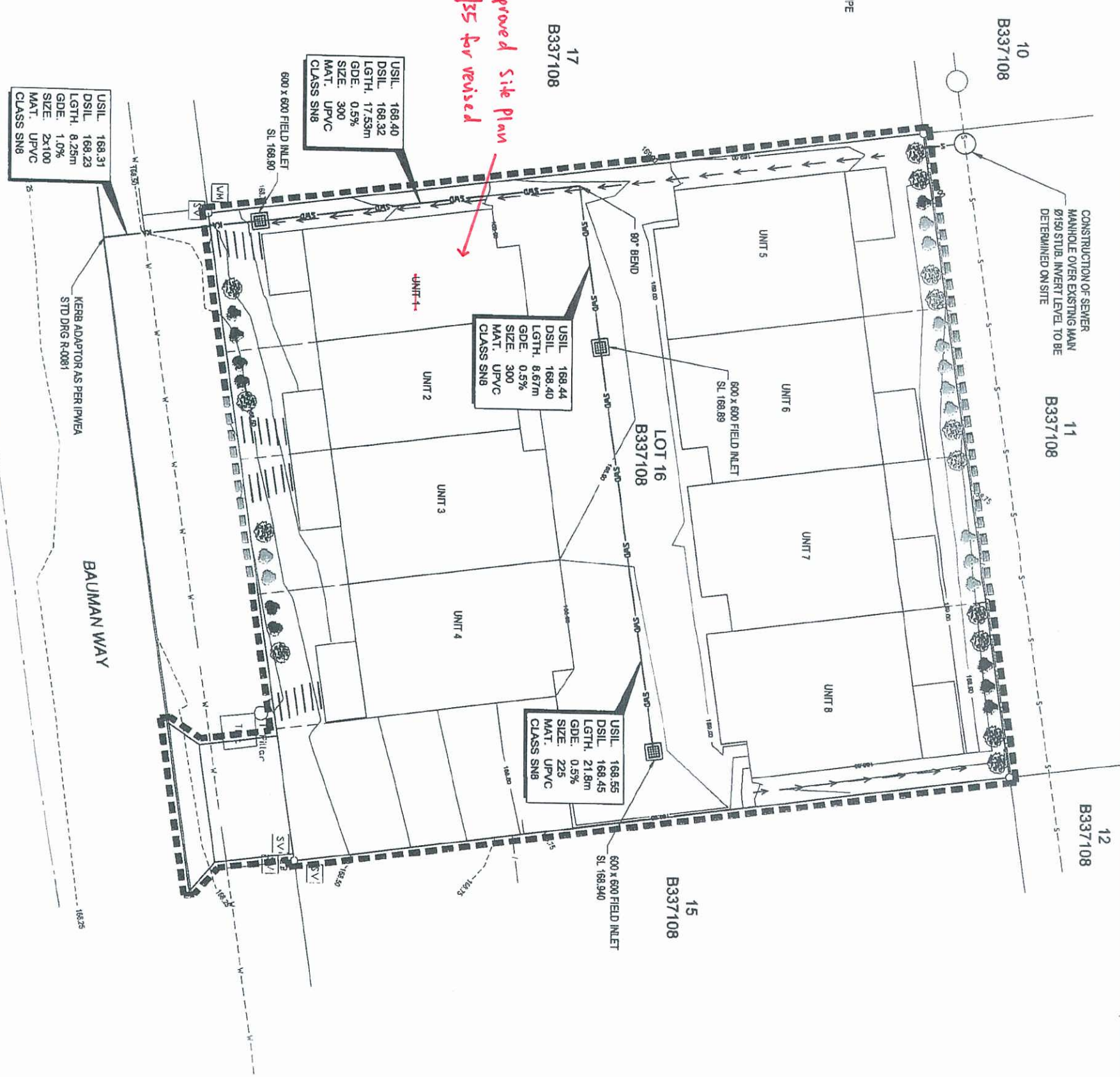
referred to in the ULDA
APPROVAL dated 18 / 7 / 2012

[illegible]



LEGEND

- PROPOSED STORMWATER PIPE
- PROPOSED KERB ADAPTOR
- PROPOSED SWALE DRAIN
- PROPOSED SEWER PIPE
- EXISTING SEWER PIPE
- EXISTING WATER PIPE
- DESIGN CONTOUR MAJOR
- DESIGN CONTOUR MINOR
- EXISTING CONTOUR
- EXTENT OF WORKS



STORMWATER DRAINAGE NOTES

1. ALL STORMWATER DRAINAGE SHALL COMPLY WITH ASS500 NATIONAL PLUMBING AND DRAINAGE CODE AND IPWA STANDARDS.
2. TRENCH EXCAVATIONS FOR DRAINAGE SHALL COMPLY WITH WORKPLACE HEALTH AND SAFETY REQUIREMENTS.
3. MAINTAIN AND PROTECT EXISTING SERVICES TO BE RETAINED.
4. WHERE AN ALTERNATE CONSTRUCTION METHODOLOGY AND/OR PIPE CLASS IS PROPOSED BY THE CONTRACTOR, DOCUMENTATION OF SAME IS TO BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
5. STORMWATER STRUCTURES AND CONNECTIONS ARE TO BE AS INDICATED ON THE PLAN. ADJUSTMENTS TO THE DESIGN LAYOUT AS REQUIRED TO SUIT ACTUAL AS-CONSTRUCTED GEOMETRY SHALL REQUIRE THE ENGINEER'S APPROVAL.
6. UPVC PIPES SHALL BE RUBBER RING JOINTED, CLASS 3 UNLESS NOTED OTHERWISE.
7. SRCP SHALL BE RUBBER RING JOINTED, CLASS 3 UNLESS NOTED OTHERWISE.
8. CONNECTIONS OF DOWNPIPES TO BOTH DRAINAGE STRUCTURES AND PIPELINES SHALL BE IN ACCORDANCE WITH THE HYDRAULICS CONSULTANTS DRAWINGS.
9. THE MAJORITY OF MATERIAL WON FROM PROPOSED TRENCH EXCAVATIONS SHOULD BE SUITABLE FOR REUSE AS TRENCH BACKFILL MATERIAL APART FROM ANY OVERSIZE MATERIAL. SUITABLE MATERIALS FOR BACKFILLING SHOULD GENERALLY HAVE A MAXIMUM PARTICLE SIZE NOT EXCEEDING 150mm. OVERSIZE MATERIAL IS TO BE CRUSHED TO A PARTICLE SIZE <150mm PRIOR TO REUSE AS BACKFILL MATERIAL OR DISPOSED OFF SITE.
10. COMPACTION TESTING IS TO BE CARRIED OUT AT THE SPECIFIED FREQUENCY BY A N.A.T.A. REGISTERED GEOTECHNICAL TESTING AUTHORITY AT THE CONTRACTORS COST. THE CONTRACTOR SHALL PROVIDE DETAILS OF ALL TESTING TO THE ENGINEER PROGRESSIVELY THROUGHOUT THE WORKS AND NOTIFY THE ENGINEER OF ANY NON-COMPLIANCE. ALL NON-COMPLIANCE WORK IS TO BE RECTIFIED AS DIRECTED BY THE ENGINEER.
11. OVERLAND FLOW CHANNELS / SWALE DRAINS ARE TO BE GRADED EVENLY BETWEEN INVERT LEVELS PROVIDED.

CONTRACTOR TO LOCATE ALL EXISTING SERVICES PRIOR TO CONSTRUCTION

APPROVED IN RED
17 JUL 2012
By: BRANDY FYFFE (name)
of the ULDA

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 18 / 7 / 2012

KNOBEL CONSULTING PTY LTD ENGINEERS - PROJECT MANAGERS		CLIENT RING GROUP OLD PTY LTD		DESIGN AP		DRAWN AA		APPROVED 17-04-12		TITLE STORMWATER DRAINAGE AND SEWER CONNECTION PLAN		PROJECT NO. K2117	
Phone: 07 5578 4188 Fax: 07 5578 6477 Email: info@knobelconsulting.com.au		87109 West Burleigh Road Burleigh Heads QLD 4220 ABN 53 071 435 202		PROJECT MULTI UNIT DEVELOPMENT LOT 16 BAUMAN WAY BLACKWATER, QLD 4717		C.W. HAGER - R.P.E.Q. NUMBER 6536		SCALE 1:125 AT A1 1:250 AT A3		DWG NO. SW001		ISSUE A	
Z:\0311\Hobart\0311\0311-11-11\SW001-A.dwg, 17/04/2012 2:29:44 AM, mknobel, 168.000, 320.000													



A MENDED IN RED
17 JUL 2012
By: ELIANNA FIFE (name)
of the ULDA

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 18 / 7 / 2012

Refer to Approved Site Plan Sheet No. 1/35 for revised layout.

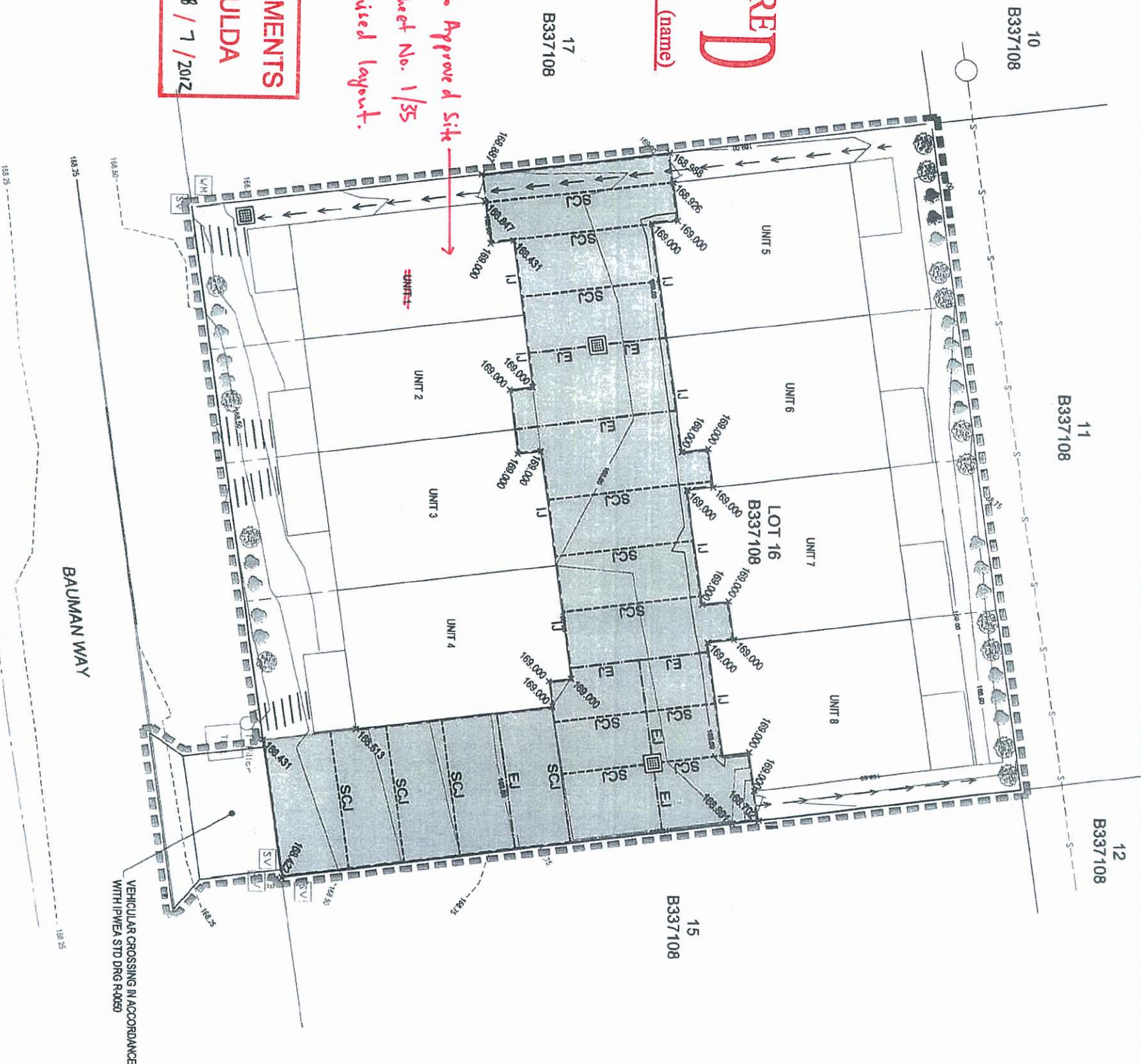


Diagram illustrating the cross-section of a road structure, showing various layers and features:

- Concrete Pavement Isolation Joint
- Concrete Pavement Expansion Joint
- Concrete Pavement Saw Cut Joint
- Concrete Driveway
- Design Contour Minor
- Design Contour Minor
- Design Contour Minor
- Proposed Swale Drain
- Existing Sewer Pipe
- Extent of Works
- Finished Surface Level

1. STRIP ALL VEGETATION, TOPSOIL AND REMOVE FROM SITE. COMPACT AND PROOF ROLL DISTRIBUTED SOILS IN ACCORDANCE WITH EARTHWORKS SPECIFICATION. TYPICAL EXISTING SURFACE SUBGRADE.
2. CONSTRUCT 125 THICK CONCRETE DRIVEWAY SLAB, UNO, N25 CONCERTE, REINFORCE WITH SLR2 MESH (60 TOP COVER). PROVIDE LIGHT BROOM FINISH.
3. CONCRETE CUTTING TO BE UNDERTAKEN WITHIN 46 HOURS OF PLACEMENT.
4. FINISHED SURFACE TO BE TRAFFICKED NO EARLIER THAN 10 DAYS AFTER PLACEMENT. SURFACE TO BE CONTINUOUSLY CURBED FOR 10 DAYS MINIMUM BY APPLICATION OF AN APPROVED CURING MEMBRANE AND AS APPROVED BY THE ENGINEER.
5. TRANSVERSE JOINTS:
SAW CUT JOINTS (SCJ) AT 3m CRS MAX
EXPANSION JOINTS (EJ) - AT 12m CRS MAX

1. CONCRETE COLOUR AND SURFACE FINISHING AS PER ARCHITECTS SPECIFICATION.
2. COLOUR AND OXIDE TO BE ADDED IN CONTROLLED DOSES, AS SPECIFIED BY THE SUPERINTENDENT AT THE BATCHING PLANT ONLY.

1. THE CONTRACTOR IS TO LOCATE, IDENTIFY AND ESTABLISH THE CONNECTIVITY OF ALL EXISTING SERVICES WITHIN THE LIMITS PROPOSED WORKS AND CONFIRM THIS INFORMATION WITH THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
2. VEHICULAR CROSSINGS TO BE 125mm THICK 25 MPa CONCRETE REINFORCED WITH S12 MESH 50mm CLEAR COVER, DOWEL EXPANSION JOINTS TO BE PLACED AT END OF DAYS POUR.
3. ALL EXISTING FEATURES TO BE REINSTATED TO ORIGINAL CONDITION UPON COMPLETION OF WORKS.
4. VERGE TO BE TOPSOILED AND TURED ON COMPLETION.
5. CONTRACTORS TO ARRANGE APPROVAL AND NECESSARY INSPECTIONS FOR VEHICULAR CROSSING.

TIME
INTERNAL DRIVEWAY
AND VEHICULAR CROSSING PLAN

SCALE	1:125 AT A1 1:250 AT A3	0 5 10m	DWG NO.	R001	ISSUE	A
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