



ADAMS CRESCENT

Existing park
Possible Future Multi Unit
Residential Development



YEATES AVE

BLAIN ST

Village on Blain

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 3 / 7 / 12

AMENDED IN RED
- 6 JUN 2012

By: Matt Teon (name)
of the ULDA

DEVELOPMENT DATA			
STATISTICS	TOTAL	STAGE 1	STAGE 2- STAGE 3
LOTS 310 - 349 m2	8	1	7
LOTS 350 - 399 m2	26	9	14
LOTS 400 - 449 m2	21	7	21
LOTS 450 - 500 m2	14	6	8
LOTS 501 - 600 m2	19	2	17
LOTS 601 - 700 m2	10	4	6
LOTS 701 - 800 + m2	2	1	1
MULTI UNIT RES.	4	3	1
TOTAL LOT YIELD	104	30	58
TOTAL AREA	8,0825 Ha	1,7104 Ha	4,6085 Ha (inc Rd Con.)
AREA MULTI UNIT RES.	1,0980 Ha	-	0,9940 Ha
AREA ROAD CLOSURE	0,3987 Ha	-	0,3987 Ha
AREA PARKLAND	0,8795 Ha	-	0,8795 Ha

Drawn By: <u>Geoff Walker Urban Design</u>	Checked By: <u>The BAV Trust</u>
Project: <u>Blackwater Residential Subdivision</u>	



Pantex PL ABN 32 010 563 470
Level 1 Norman Centre, 15 Discovery Drive,
North Lakes, 4509 Queensland, Australia
PO Box 593 North Lakes, 4509 Queensland
QBSA License # 20117
NSW Builders License # 198749C

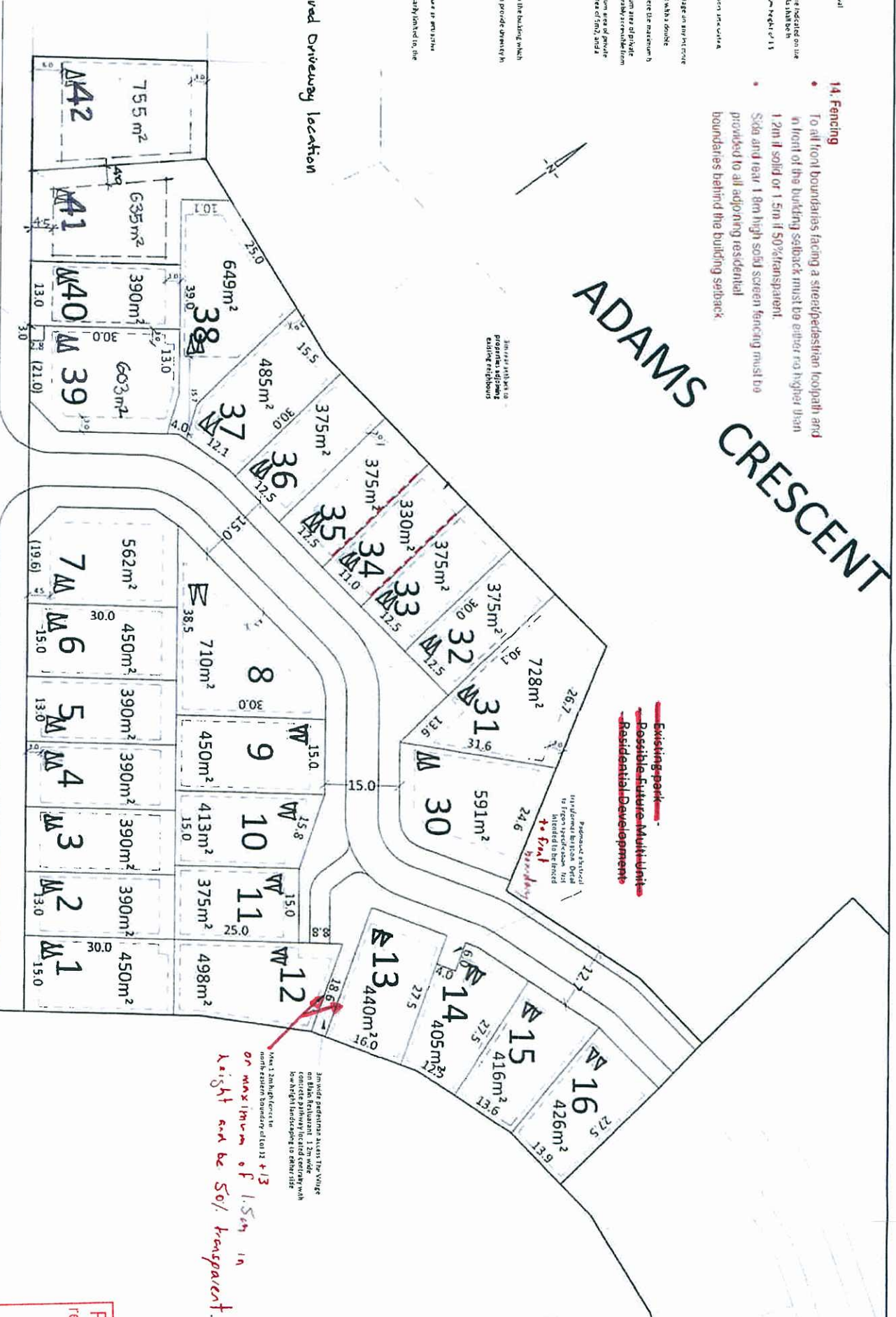
Telephone +61 7 3482 0900
Facsimile +61 7 3482 0999
Email mail@pantex.com.au
Copyright © 2012 Pantex PL. No part
of this drawing shall be reproduced without the written
consent of Pantex PL.

Drawing No: <u>6942-A100</u>	Stage: <u>1</u>	Drawn By: <u>Geoff Walker</u>	Checked By: <u>The BAV Trust</u>
Drawn Date: <u>28.10.11</u>	Drawn Scale: <u>1:500</u>	Drawn By: <u>Geoff Walker</u>	Checked By: <u>The BAV Trust</u>
Drawn By: <u>Geoff Walker</u>	Drawn Scale: <u>1:500</u>	Drawn By: <u>Geoff Walker</u>	Checked By: <u>The BAV Trust</u>

13. **Building Articulation**
14. **Adaptation** - developing, modifying, or altering a building's design or form to meet the needs of a new or changing use.
15. **Building Form** - the overall shape and structure of a building, including its footprint, height, and volume.
16. **Building Time** - the duration of the building process, from conception to completion.
17. **Verticality**
18. **Roof Overhang**
19. **Roof Pitch** - the slope of a roof, measured as the vertical rise over the horizontal run.
20. **Roof Type**
21. **Roof Material**
22. **Roof Structure**
23. **Roof Design**
24. **Roof Construction**
25. **Roof Maintenance**
26. **Roof Replacement**
27. **Roof Inspection**
28. **Roof Repair**
29. **Roof Sealing**
30. **Roof Ventilation**
31. **Roof Insulation**
32. **Roof Waterproofing**
33. **Roof Drainage**
34. **Roof Access**
35. **Roof Safety**
36. **Roof Security**
37. **Roof Aesthetics**
38. **Roof Sustainability**
39. **Roof Innovation**
40. **Roof Research**
41. **Roof Development**
42. **Roof Production**
43. **Roof Distribution**
44. **Roof Installation**
45. **Roof Operation**
46. **Roof Maintenance**
47. **Roof Repair**
48. **Roof Replacement**
49. **Roof Inspection**
50. **Roof Safety**
51. **Roof Security**
52. **Roof Aesthetics**
53. **Roof Sustainability**
54. **Roof Innovation**
55. **Roof Research**
56. **Roof Development**
57. **Roof Production**
58. **Roof Distribution**
59. **Roof Installation**
60. **Roof Operation**
61. **Roof Maintenance**
62. **Roof Repair**
63. **Roof Replacement**
64. **Roof Inspection**
65. **Roof Safety**
66. **Roof Security**
67. **Roof Aesthetics**
68. **Roof Sustainability**
69. **Roof Innovation**
70. **Roof Research**
71. **Roof Development**
72. **Roof Production**
73. **Roof Distribution**
74. **Roof Installation**
75. **Roof Operation**
76. **Roof Maintenance**
77. **Roof Repair**
78. **Roof Replacement**
79. **Roof Inspection**
80. **Roof Safety**
81. **Roof Security**
82. **Roof Aesthetics**
83. **Roof Sustainability**
84. **Roof Innovation**
85. **Roof Research**
86. **Roof Development**
87. **Roof Production**
88. **Roof Distribution**
89. **Roof Installation**
90. **Roof Operation**
91. **Roof Maintenance**
92. **Roof Repair**
93. **Roof Replacement**
94. **Roof Inspection**
95. **Roof Safety**
96. **Roof Security**
97. **Roof Aesthetics**
98. **Roof Sustainability**
99. **Roof Innovation**
100. **Roof Research**

Maximum Building Location From Edge:
Optional Build to Boundary Wall

AA Preferred Driveway location



3m wide pedestrian access. The bridge on Bham Reliance 1.2m wide concrete pathway is faced either with low wall/landscaping to define it.

Max 1.2m height for north eastern boundary (a) 11 + 1/3 or maximum of 1.5m in height and be 50% transparent.

YEATES AVE

Plan of Development Table		12.5m Allotments		15m Allotments		Traditional Allotments >550m ²	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front / Primary Frontage	3.0	3.0	3.0	3.0	4.5	4.5	
Exceptions: Minimum front setback to lot 40, 43	4.5m, Minimum front setback to lot 42 & 50						
rear	1.2	2.0	1.2	2.0	1.2	2.0	
Exceptions: Minimum rear setback to lot 32-36, 40-43 is 3.0m							
Side							
Built to Boundary	0.0	1.0	0.0	1.0	n/a	n/a	
Non Built to Boundary	1.0	1.0	1.0	1.5	1.2	2.0	
Corner Lot - Secondary Frontage	1.5	1.5	2.0	2.0	3.0	3.0	
Exceptions: Minimum side setback to lot 35 is 3.0m as indicated on drawing							
Garage location	Single, tandem or double garage acceptable						
Site Cover (maximum)	70%						
	60%						

Not part of this approach

BLAIN ST

AMENDED IN RED

21 AUG 2013

By: OWEN HASZM (name)

MEDQ

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

21 AUG 2013

MEDQ

Geoff Walker Urban Design

The BAV Trust

Blackwater Residential Subdivision

Pantex

Pantex PL ABN 32 010 563 470
Level 1 Norwin Center, 35 Discovery Drive
North Lake, 4509 Queensland, Australia
[P.O. Box 959 North Lake, 4509 Queensland
QBSA license # 70117
NSW Outdoors license # 156749C

Telephone +61 73482 0900
Facsimile +61 73482 0999
Email mail@pantox.com.au
© Copyright
Copyright of this drawing belongs to Pantox Pl. No part
of this drawing shall be reproduced without the written
consent of Pantox Pl.

Stage 1

Group Number		
NW		
261011		1

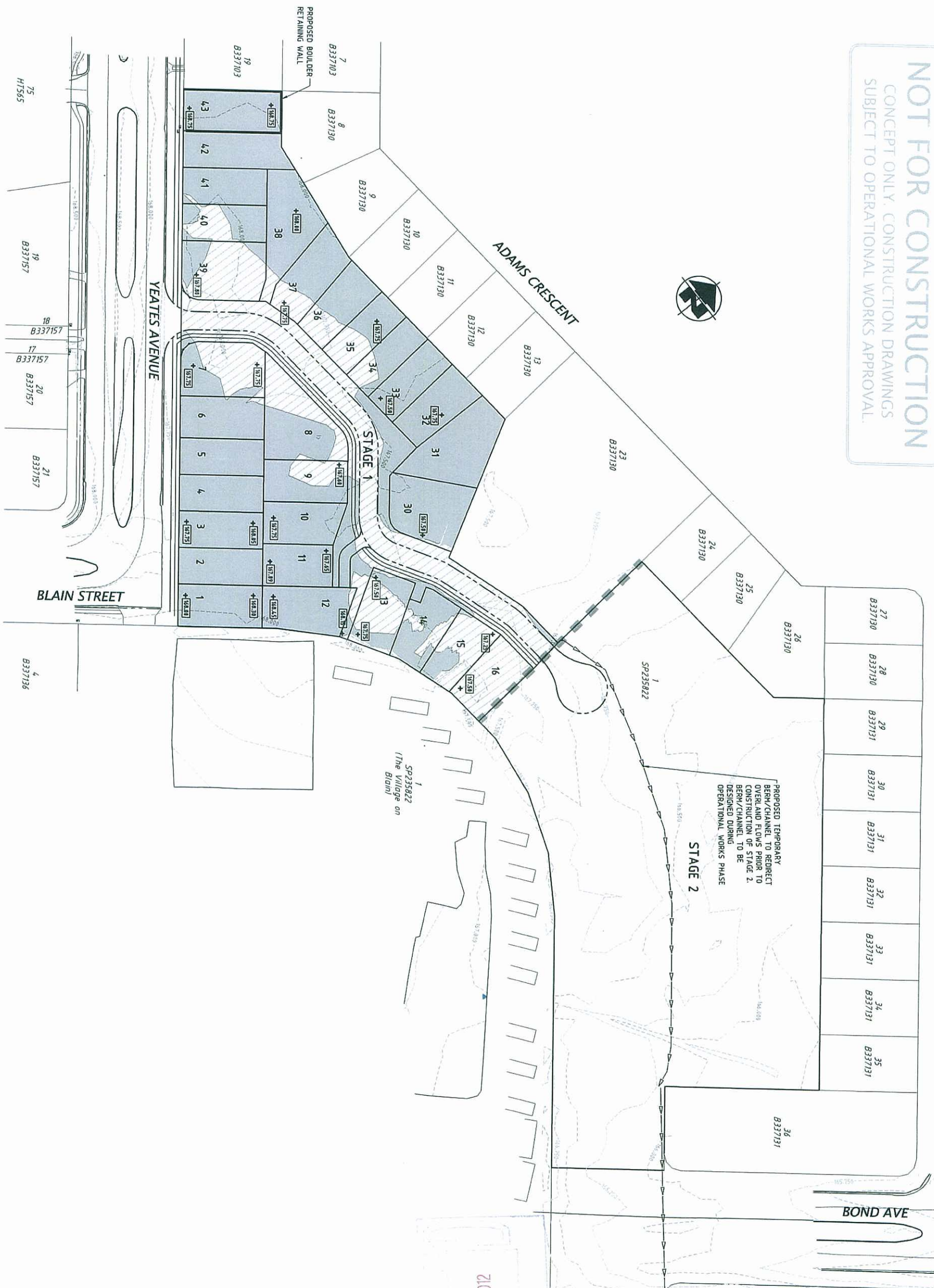
Plan of Development 6942-A101

Stage 1

NW	26.10.11	1:
----	----------	----

A11

NOT FOR CONSTRUCTION
CONCEPT ONLY. CONSTRUCTION DRAWINGS
SUBJECT TO OPERATIONAL WORKS APPROVAL.



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 3 / 7 / 12

2 FEB 2012

LEGEND

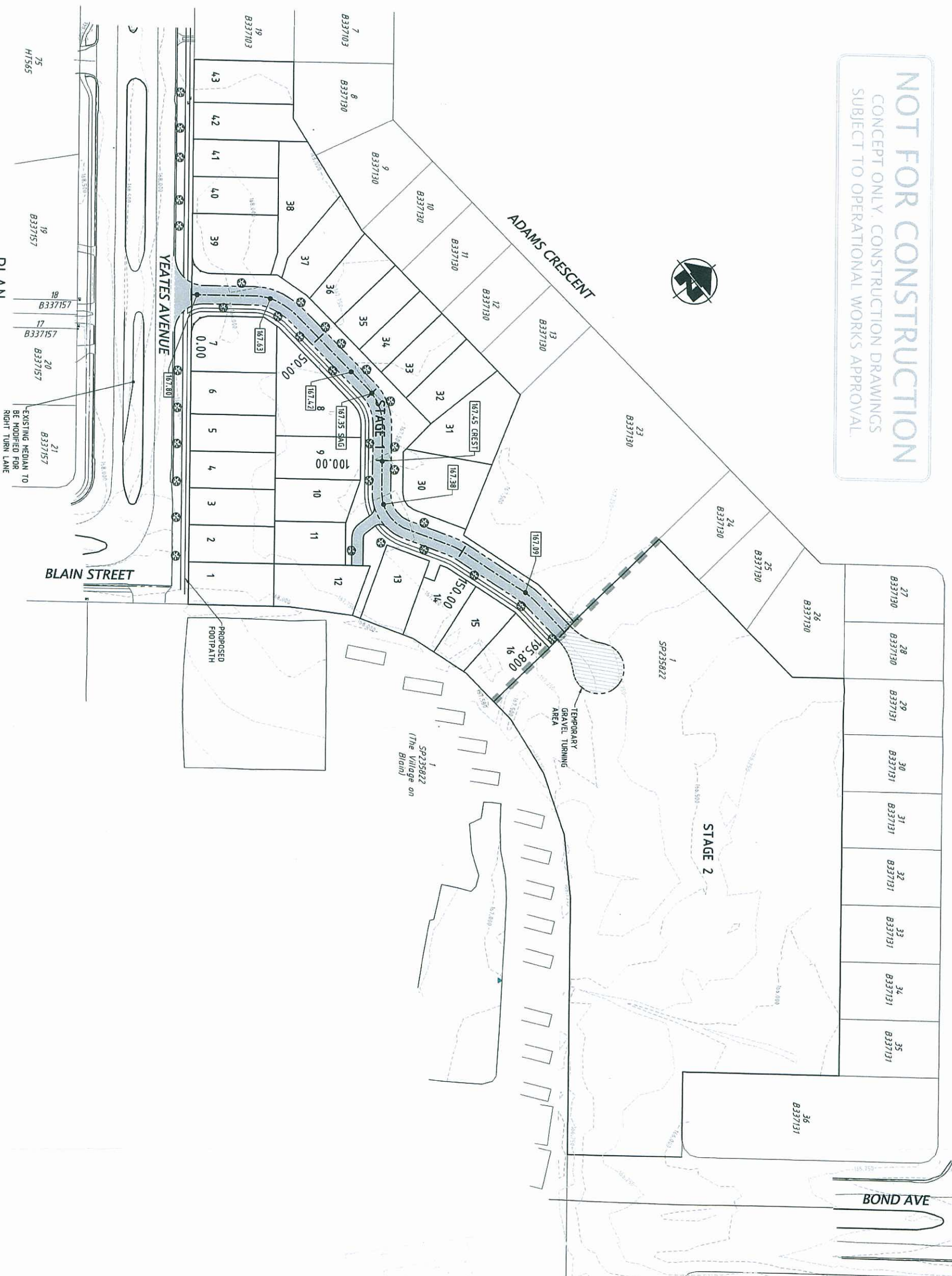
- 1:7.25 --- EXISTING CONTOURS
- + 166.00 PROPOSED LEVEL
- FILL AREA
- CUT AREA
- PROPOSED RETAINING WALL
- PROPOSED KERB
- STAGE BOUNDARY

PROJECT
30 BLAIN STREET
BLACKWATER
STAGE 1
TITLE
PROPOSED CONCEPT
EARTHWORKS PLAN



HCE Engineers
Hydraulic • Civil • Environmental
Unit 3,
8 Castlemead Street,
Geelong, VIC 3210
Phone: (07) 3371 7846
Fax: (07) 3371 7866
www.hce-engineers.com.au
4912-120216-SK01

NOT FOR CONSTRUCTION
CONCEPT ONLY. CONSTRUCTION DRAWINGS
SUBJECT TO OPERATIONAL WORKS APPROVAL.



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 3 / 7 / 12

Emt B SP24-2689
22 FEB 2012

LEGEND

- EXISTING CONTOURS
- PROPOSED SURFACE LEVEL
- PROPOSED KERB
- STAGE BOUNDARY

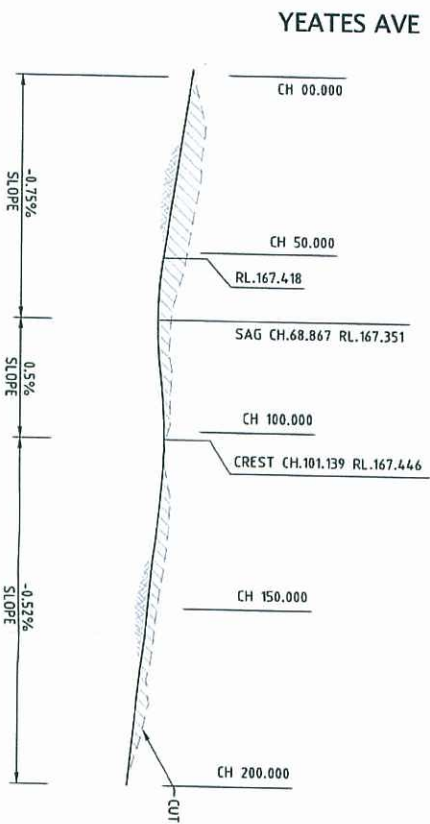
PROJECT
30 BLAIN STREET
BLACKWATER
STAGE 1
TITLE
PROPOSED CONCEPT
ROADWORKS
PLAN



HCE Engineers
Hydraulic • Civil • Environmental
Unit 3,
8 Castlemaine Street,
Geelong, QLD, 451
Phone: (07) 3391 7844
Fax: (07) 3391 7866
Email: hce@hce-engineers.com.au
www.hce-engineers.com.au

SCALE 1:1500 (A3)
SCALE BEFORE REDUCTION

NOT FOR CONSTRUCTION
 CONCEPT ONLY. CONSTRUCTION DRAWINGS
 SUBJECT TO OPERATIONAL WORKS APPROVAL.

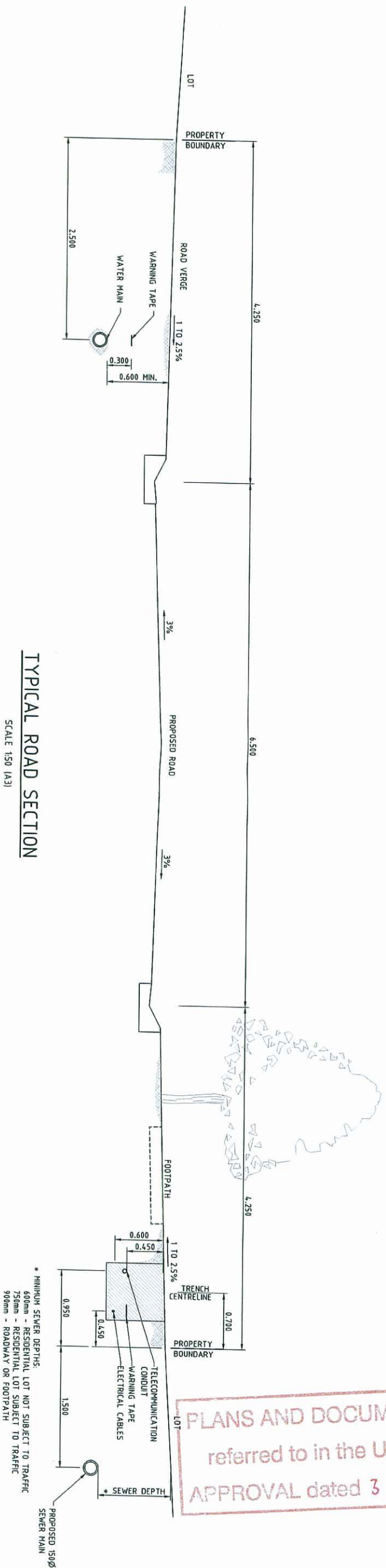


ROAD 1 LONGITUDINAL SECTION

SCALE 1:100 (A3)

TYPICAL ROAD SECTION

SCALE 1:50 (A3)



PLANS AND DOCUMENTS
 referred to in the ULDA
 APPROVAL dated 3 / 7 / 12

22 FEB 2012

PROJECT
 30 BLAIN STREET
 BLACKWATER
 STAGE 1
 TITLE
 PROPOSED CONCEPT
 ROADWORKS DETAIL
 PLAN

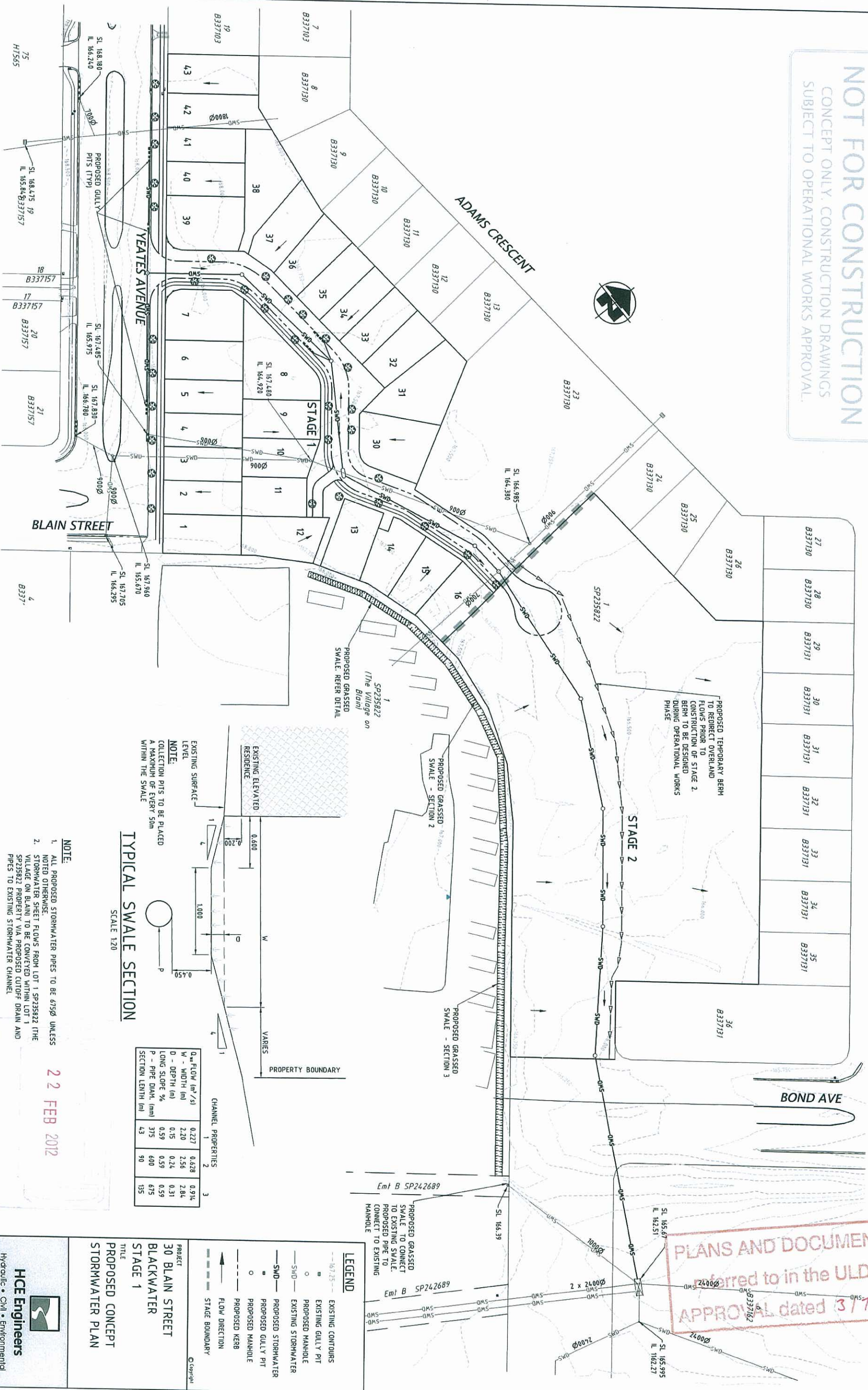


HCE Engineers
 Hydraulic • Civil • Environmental

Unit 3,
 8 Castlemaine Street,
 Geelong, VIC 3214
 Phone: (03) 3331 7844
 Fax: (03) 3331 7866
 email: hce@hce-engineers.com.au
 www.hce-engineers.com.au

4912-120209-SK03

CONCEPT ONLY. CONSTRUCTION DRAWINGS
SUBJECT TO OPERATIONAL WORKS APPROVAL



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL 3/7/12

PROPOSED CONCEPT STORMWATER PLAN

HCE Engineers

Hydraulic • Civil • Environmental

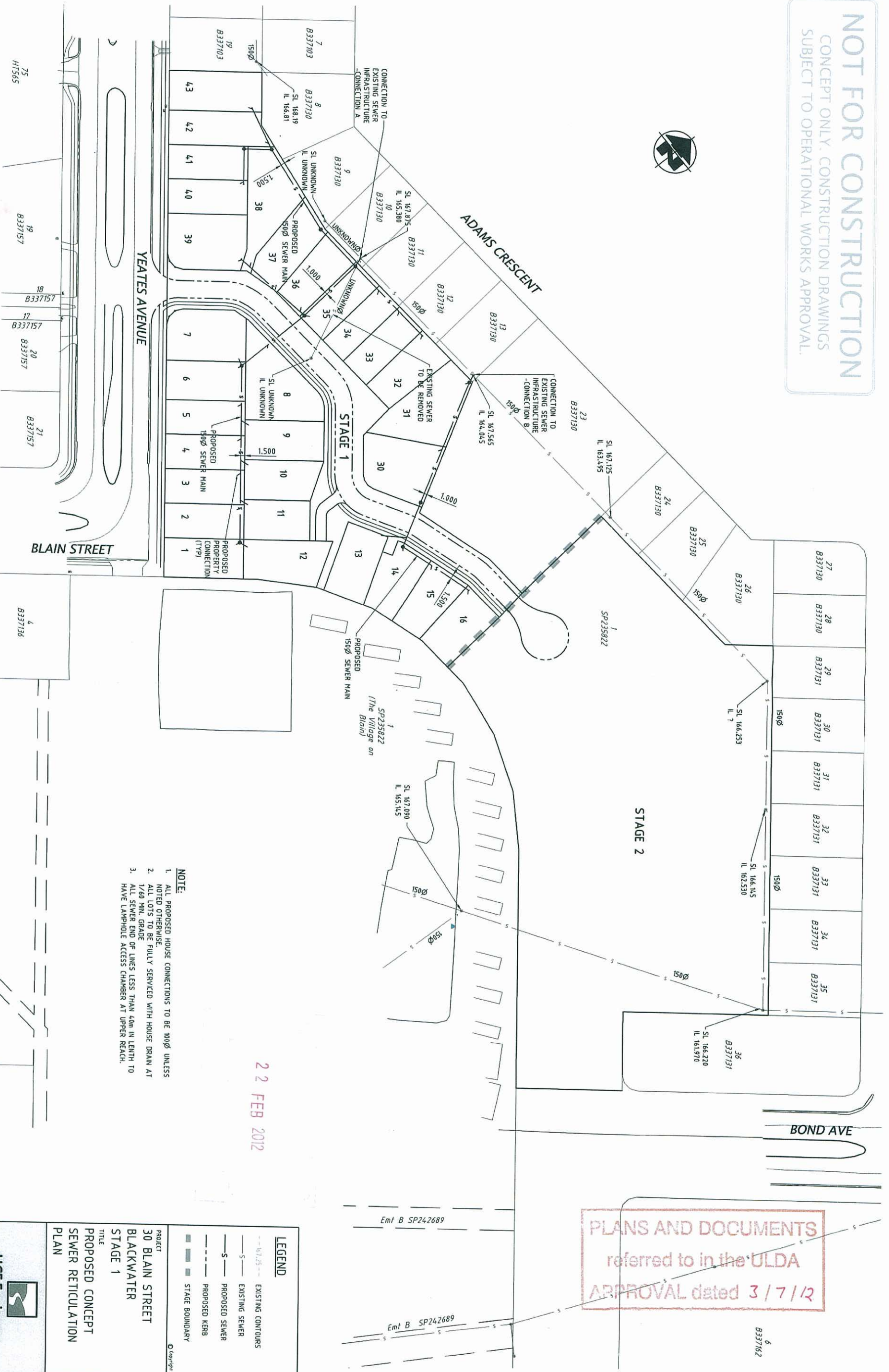
Phone: (07) 3391 7844

Unit 3.
8 Castlemaine Street.
Fax : (07) 3391 7866
mail@che-engineers.com.au

Sketch

4912-120216-SK04

NOT FOR CONSTRUCTION
CONCEPT ONLY. CONSTRUCTION DRAWINGS
SUBJECT TO OPERATIONAL WORKS APPROVAL.



- NOTE:**
1. ALL PROPOSED HOUSE CONNECTIONS TO BE 100Ø UNLESS NOTED OTHERWISE.
 2. ALL LOTS TO BE FULLY SERVICED WITH HOUSE DRAIN AT 1/60 MIN. GRADE.
 3. ALL SEWER END OF LINES LESS THAN 40m IN LENGTH TO HAVE LAMPHOLE ACCESS CHAMBER AT UPPER REACH.

22 FEB 2012

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 3/7/12

LEGEND

- 1:61.25 --- EXISTING CONTOURS
- S- EXISTING SEWER
- S- PROPOSED SEWER
- - - - - PROPOSED KERB
- STAGE BOUNDARY

PROJECT
30 BLAIN STREET
BLACKWATER
STAGE 1
TITLE
PROPOSED CONCEPT
SEWER RETICULATION
PLAN



HCE Engineers
Hydraulic • Civil • Environmental

Unit 3,
8 Castlemeane Street,
Carrara, QLD, 4111
Phone: (07) 3371 7846
Fax: (07) 3371 7866
mail@hce-engineers.com.au
www.hce-engineers.com.au

4912-120216-SK05

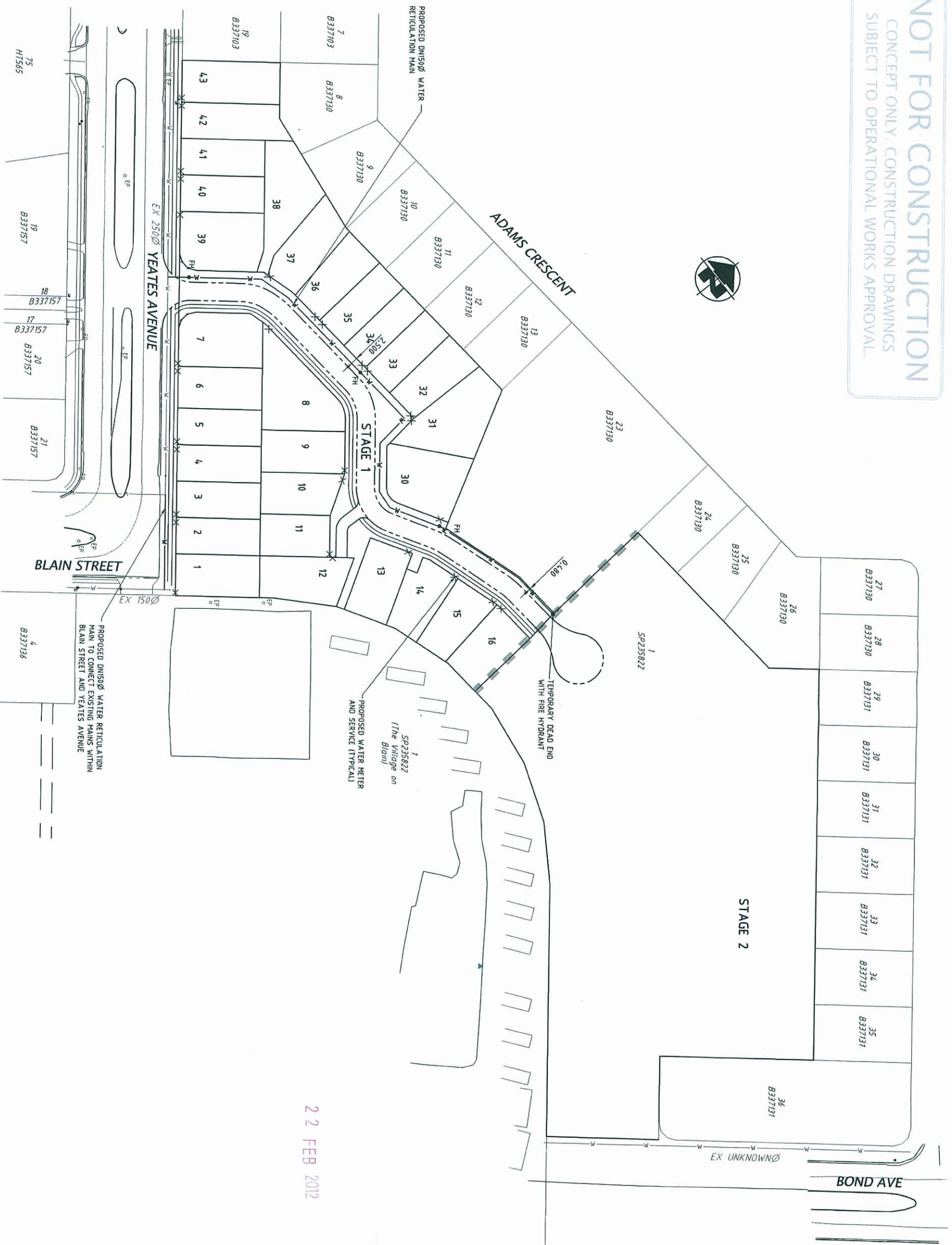
PLAN

SCALE 1:1500 (A3)

SCALE 1:1500 (A3)



NOT FOR CONSTRUCTION
CONCEPT ONLY. CONSTRUCTION DRAWINGS
SUBJECT TO OPERATIONAL WORKS APPROVAL.



PLAN

SCALE 1:1500 (A3)

22 FEB 2012

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 3/7/12

LEGEND

- W — EXISTING WATER
- - - W - - - PROPOSED WATER
- - - K - - - PROPOSED KERB
- X PROPOSED WATER METER & SERVICE
- FH PROPOSED HYDRANT
- STAGE BOUNDARY

PROJECT
30 BLAIN STREET
BLACKWATER
STAGE 1
TITLE
PROPOSED CONCEPT
WATER RETICULATION
PLAN



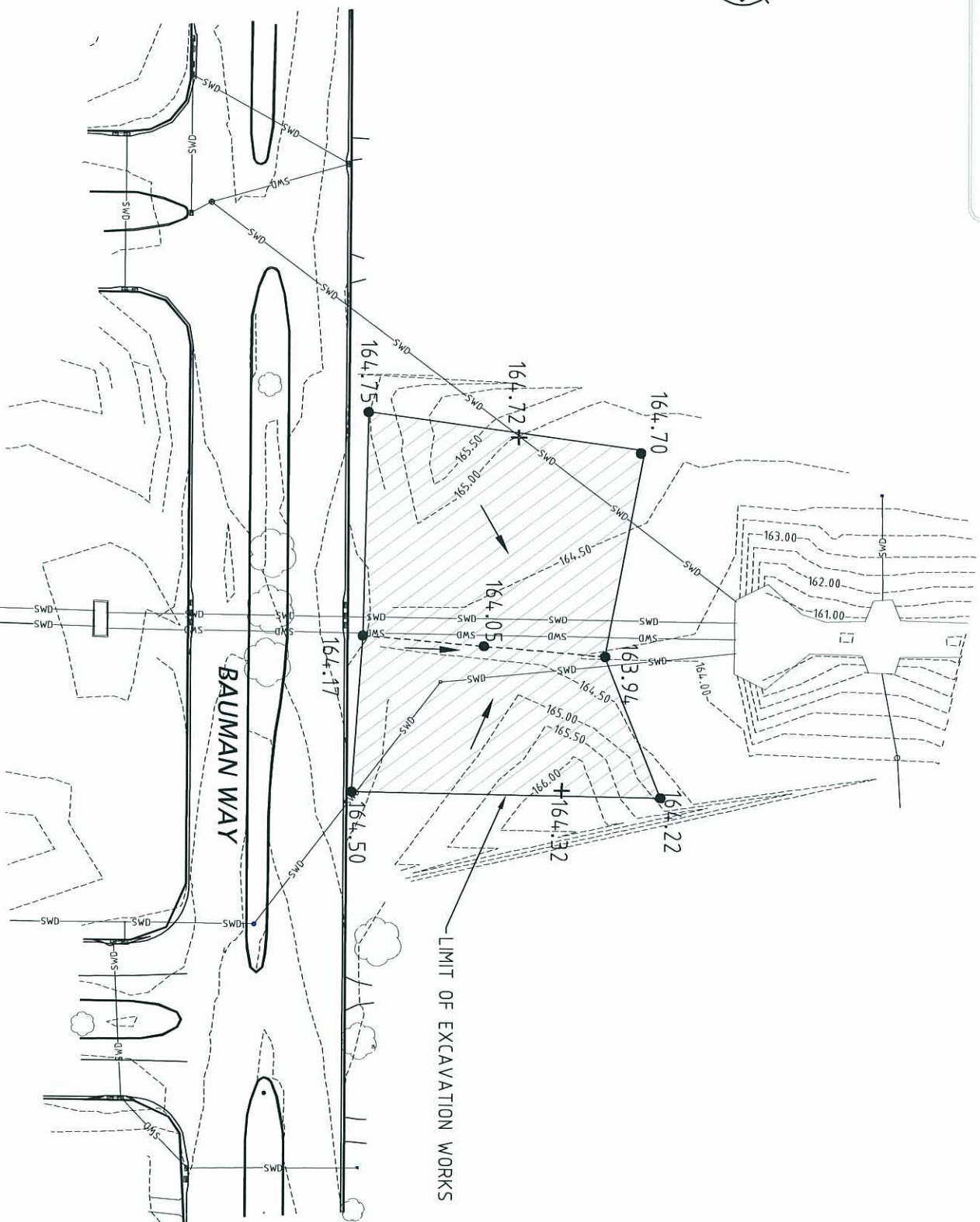
HCE Engineers
Hydraulic • Civil • Environmental

Unit 3,
8 Castlemeane Street,
Geelong, VIC 3211
Phone: (07) 3391 7844
Fax: (07) 3391 7866
Email: info@hce-engineers.com.au
Web: www.hce-engineers.com.au

4912-120216-SK06

NOT FOR CONSTRUCTION
CONCEPT ONLY. CONSTRUCTION DRAWINGS
SUBJECT TO OPERATIONAL WORKS APPROVAL.

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL
03 JUL 2012
MEDQ



PLAN
SCALE 1:1000 (A3)



- LEGEND**
- 167.25 --- EXISTING CONTOURS
 - + 166.00 PROPOSED LEVEL
 - 166.00 EXISTING LEVEL
 - ▨ CUT AREA
 - PROPOSED TOP OF BATTER
 - PROPOSED TOE OF BATTER

© Copyright

PROJECT
30 BLAIN STREET
BLACKWATER

TITLE
CONCEPT STORMWATER
EARTHWORKS PLAN



HCE Engineers

Hydraulic • Civil • Environmental

Unit 3,
8 Castlemaine Street,
Geelong, VIC, 3210
Phone: (07) 3391 7844
Fax: (07) 3391 7866
Email: info@hce-engineers.com.au
www.hce-engineers.com.au

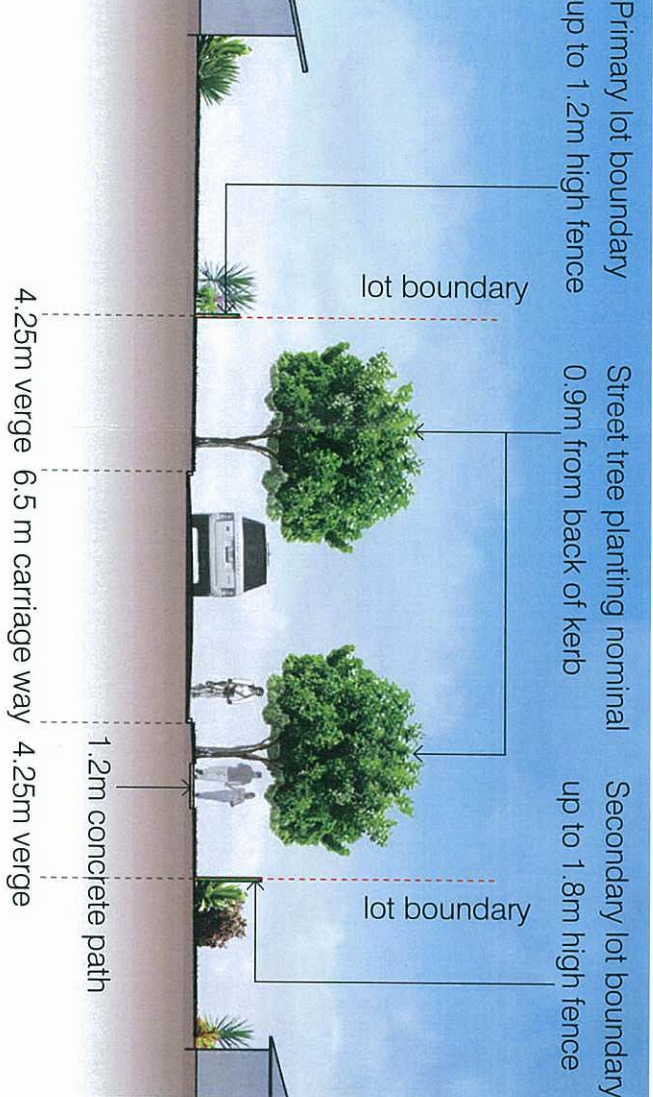
Sketch
4912-120223-SK07



- 1 Estate entry with signage walls - use of contrasting materials and bold signage text.
 - 2 Pedestrian connectivity - 1.2m wide footpath with broom-finished concrete treatment within development.
 - 1.5m wide footpath with broom-finished concrete treatment along Yeates Avenue.
 - 3 Streetscape planting - selection of site specific tree species that will ensure survival and provide shade protection whilst creating an identity for the residents.
 - 4 Selection of house types and lot sizes.
 - 5 Existing open space - not a part of these works.
- Site Boundaries**
- A Proposed 1.8m high timber paling fence.
 - B Fencing to be agreed with adjoining existing resident/landowner.
 - C Existing fence to be retained

Section A-A
Typical street character

1:200 @ A3



BLACKWATER RESIDENTIAL PROJECT - LANDSCAPE CONCEPT