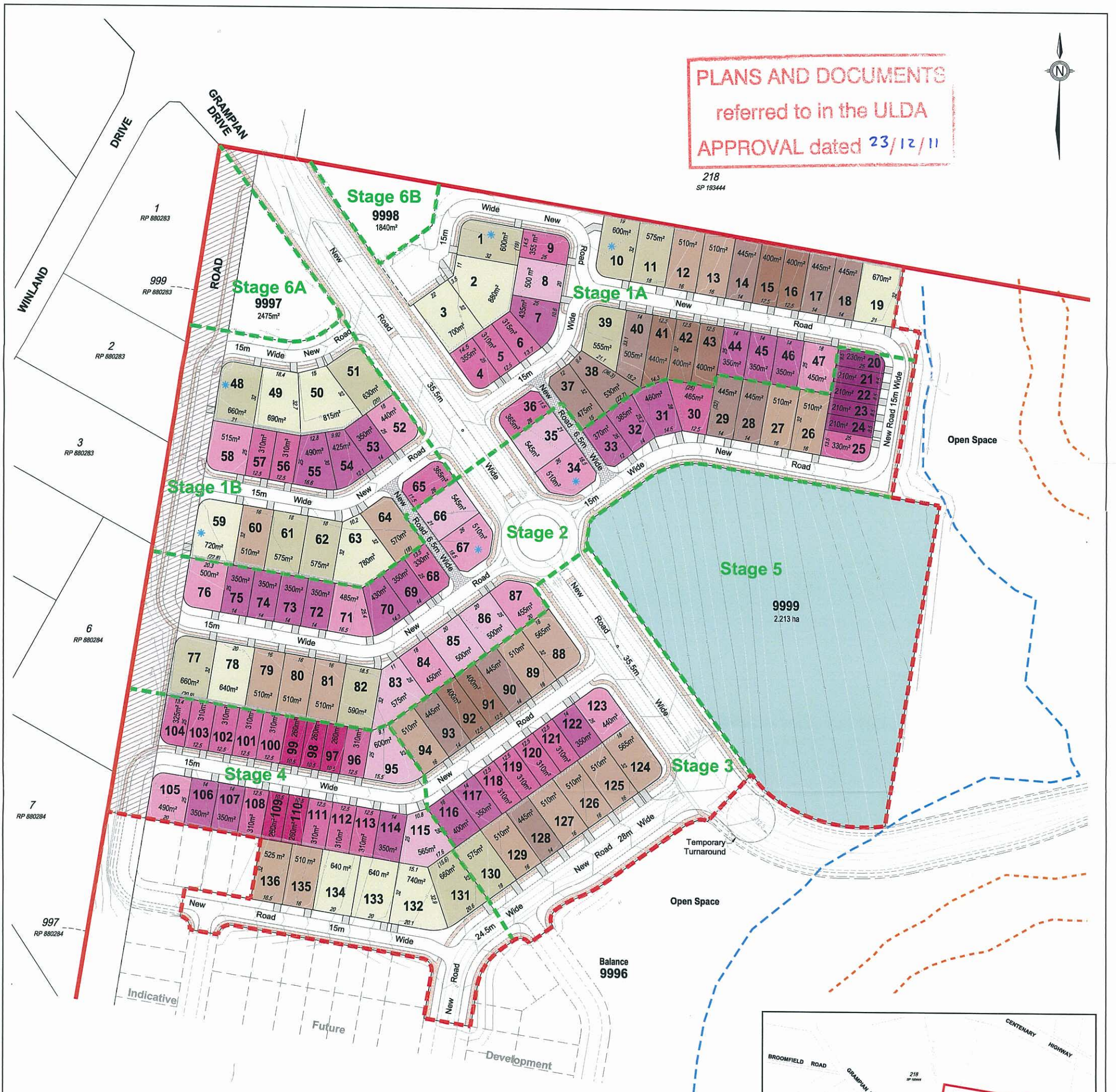


PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 23/12/11

218
SP 193444



DEVELOPMENT STATISTICS PRECINCT A

Allotment Type	Number of Allotments	Allotment %
Single Family Dwellings		
25m Deep Lots	Typical Lot	
Cottage Allotment	8.5 x 25m	5
Villa Allotment	10.5 x 25m	5
Premium Villa Allotment	12.5 x 25m	25
Courtyard Allotment	14 x 25m	22
Premium Traditional Allotment Type 1	18 x 25m	11
Premium Traditional Allotment Type 2	20 x 25m	8
Sub Total		76
32m Deep Lots	Typical Lot	
Premium Villa Allotment	12.5 x 32m	7
Courtyard Allotment	14 x 32m	11
Traditional Allotment	16 x 32m	19
Premium Traditional Allotment Type 1	18 x 32m	12
Premium Traditional Allotment Type 2	20 x 32m	11
Sub Total		60
Total Single Family Dwellings		136
Density Calculation		dw/ha
Net Residential Density without Multi-family Dwellings (excluding Balance Allotment)		16.1
Net Residential Density with Multi-family Dwellings (excluding Balance Allotment)		16.8
* Density assuming all multi-family dwellings are constructed as Duplex Lots		

LAND USE BUDGET PRECINCT A

Land Use Budget	Area (ha)	Percentage
Area of Precinct A	13.688	100.00%
Saleable Area		
Single & Multiple Residential Lots	6.157	44.98%
Balance Allotment	0.432	3.16%
Future Neighbourhood Centre Site	2.213	16.17%
Total Area of Allotments	8.802	64.30%
Road		
Trunk Collector Road	1.870	13.66%
Existing Road to be Utilised	0.702	5.13%
Local Roads	2.314	16.91%
Total Area of New Road	4.886	35.70%
Road Type		
Total Length of New Road	2339	
6.5m Wide New Road	114	
15m Wide New Road	1427	
24.5m Wide New Road	111	
28m Wide New Road	70	
35.5m Wide New Road	411	
Existing Road 6.5m Pavement	206	

Legend

General Details

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Existing Road to be Utilised
- Possible Multiple Residential Allotment (Duplex and Triplex Lots Only)

Open Space

- Waterway Top of Bank
- Waterway 50m Buffer

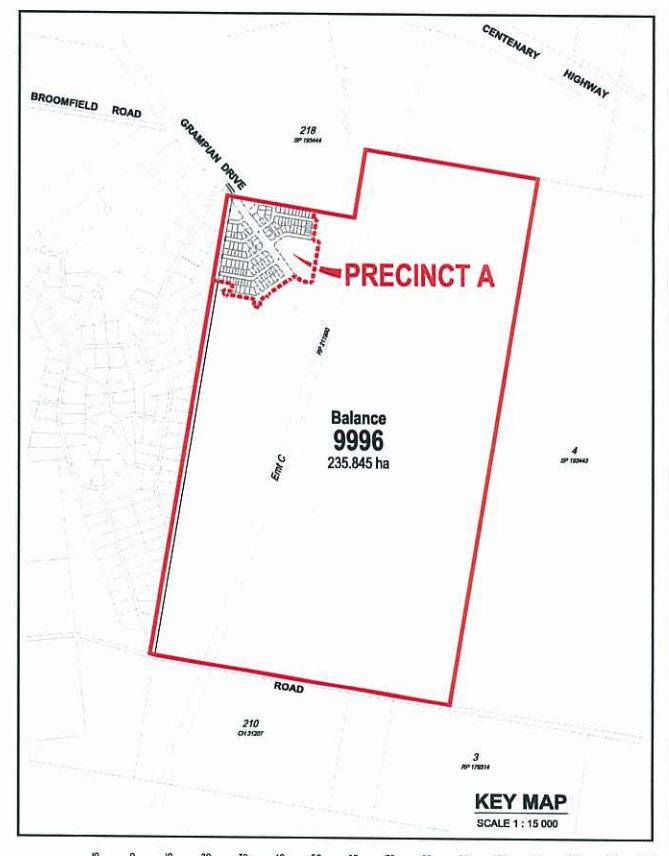
Road

- Indicative Footpath Location
- Indicative 3.5m Wide Driveway

Allotments

- Future Neighbourhood Centre Site

Note
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.



REVISION A: 30/05/2011 Amend Lot Layout B: 03/06/2011 Amend Lot Layout C: 17/06/2011 Amend Lot Layout		Level Datum		Date	17 JUNE 2011	CLIENT STOCKLAND PROPOSED SUBDIVISION PRECINCT A OVER LOT 207 ON CH 31135 & EXISTING ROAD	PROJECT		Stockland Residential		RPS RPS Australia East Pty Ltd ACN 140 292 762 ABN 44 140 292 762 743 Ann Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3237 8899 F +61 7 3237 8833 W rpsgroup.com.au	
		Approval Authority.		Comp By.	JLS / WNW / KCH		Estate - Precinct A					
		URBAN LAND DEVELOPMENT AUTHORITY		DWG Name.	104527-55 Prop							
				Local Authority	IPSWICH CITY COUNCIL							
				Scale	Sheet		Locality	DEEBING HEIGHTS	Plan Ref	Rev		
1:1000/1:2000	A1/A3	Job Reference	105598	104527 - 55	C							

Note
All dimensions and areas are approximate only,
and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1
metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be
used for final detailed engineers design.
For further details of intended Display Homes,
Advertising Devices and Sales Office(s) refer to
RPS Plan Ref: 104527-54.



Notes:

- General**
- Plan of Development recognises the following aspects of Development:
(i) Houses/Multiple Residential;
(ii) Display Homes;
(iii) Sales Office not exceeding 150m² GFA; and
(iv) Advertising Devices (as defined on the Plan of Development).
 - All development is to be undertaken in accordance with the Development Approval.
 - The maximum height of residential buildings shall be in the order of 9 metres.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise specified.
 - Built to boundary walls are optional. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
 - Boundary setbacks are measured to the wall of the building or edge of balcony.
 - Eaves (except on a wall that is built to the boundary) should not encroach within 450mm of the side or rear boundaries. Gutters may not extend beyond the boundaries of the lot.
 - First floor setbacks on single and multiple residential allotments must not exceed the minimum ground floor setbacks.
 - Garages must not project forward of the front building setback and must be setback a minimum of 4.5m from the front property boundary.
- Parking**
- A minimum of 0.5 off street car park is required per dwelling.
 - Garages and carports served off a Laneway must be setback to 0.0m from the rear boundary.
- Site Cover and Amenity**
- Site cover for each lot is not to exceed 70% of the lot.
 - Dwellings with their main living areas located at ground level should have a minimum area of private open space consisting of at least 12m² with a minimum width of 2.4 metres, preferably accessible from a living room.
 - Dwellings with their main living area above ground floor level should have a minimum area of private open space consisting of a balcony or roof area open to the sky, with a minimum area of 5m², and a minimum dimension of 1.2 metres, directly accessible from a living room.
- Multiple Residential Dwellings**
- Multiple Residential Allotments may be developed as two or three dwellings (duplexes/triplexes) provided all other requirements are satisfied in the Plan of Development.
 - Each dwelling must have at least one covered on-site car parking space with minimum clear dimensions of 2.7m x 5.5m.
 - Where Multiple Residential Allotments encompass more than one frontage they are to be designed to address (entries) each street frontage.
- Fencing**
- Fencing on all Street Frontages, to be 50% transparent or not to exceed 1.2 metres in height.
- Advertising Devices**
- Advertising Devices to be limited to the advertising of the Stockland Residential Estate (Precinct A) at Deebing Heights.
 - Advertising Devices are restricted to the following signage types as nominated on the Plan of Development:
(i) Vertical Banner Sign (0.6m wide x 2m high - 1.2m² per sign);
(ii) Pole/Directional Sign (1.5m wide x 1.5m high - 2.25m² per sign);
(iii) Pole Sign (2m wide x 2.9m high - 5.8m² per sign); and
(iv) Billboard Sign (6m wide x 3m high - 18.0m² per sign);
 - Unless otherwise nominated &/or approved on specific POD's, plan(s) identifying the intended extent and final location of Advertising Devices to be submitted to ULDA prior to construction of signage to be commenced.
 - Billboard signage to be limited to nominated locations along main entry road to estate (i.e. Grampian Drive) and in conjunction with the nominated Estate Sales Office(s).
 - Advertising of any other nature not nominated/defined on the Plan of Development will require a separate (operational works) development application in accordance with applicable ULDA provisions.
 - All Estate & Directional Signage to be generally in accordance with provisions outlined under Ipswich City Council's Advertising Code and Implementation Guideline 18 (Estate and Directional Signage) however where there are discrepancies, POD requirements take precedence.

Where a site has more than one frontage the dwelling is to be designed to address each street frontage, through the use e.g. of doors, windows, balconies.

Definitions:
Laneway Allotment - Allotments serviced by a laneway.
Private Open Space - Private open space includes Yards, Courtyards, Alfresco's, Patio's, Terraces etc.
Secondary Private Open Space - Shown in Location to optimise solar orientation within the allotment. These spaces are optional.

Legend

- General Details**
- Site Boundary
 - Proposed Precinct Boundary
 - Possible Multiple Residential Allotment (Duplex and Triplex Lots Only)
- Road**
- Indicative Footpath Location
 - Indicative 3.5m Wide Driveway
- Open Space**
- Waterway Top of Bank
 - Waterway 50m Buffer
- Allotment Details**
- Primary Private Open Space Location (min 12m²)
 - Secondary Private Open Space Location (min 12m²)
 - Letterbox Location for Primary Dwelling (on a laneway)
 - Maximum Building location Envelope
 - Optional Built to Boundary Wall
 - No Vehicle Access
 - Primary Frontage
 - Preferred Garage Location (on Single Family Dwellings)
 - Preferred Garage Location (on Multi Family Dwellings)
 - Future Neighbourhood Centre Site
 - Balance Lot
 - Potential Pylon/Billboard Signage Locations

Plan of Development Table	Cottage Allotments 8.5m		Villa Allotments 10.5m		Premium Villa Allotments 12.5m		Courtyard Allotments 14m		Traditional Allotments 16m+		Multiple Residential Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4
Garage	4.5	n/a	4.5	n/a	4.5	n/a	4.5	n/a	4.5	n/a	4.5	n/a
Rear	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0
Side - General Lots												
Built to Boundary	0.0	1.0	0.0	1.0	0.0	1.0	0.0	1.0	0.0	1.0	0.0	1.0
Non Built to Boundary	0.9	0.9	0.9	0.9	1.0	1.0	1.0	1.0	1.0	1.5	1.0	1.0
Corner Lots - Secondary Frontage	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Lots												
Rear of Lot (from laneway boundary)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Garage (from laneway boundary)	0.0	0.0	0.0	0.0	0.5	0.0	0.5	0.0	0.5	0.0	0.5	0.0
On site parking requirements (minimum)	1 space to be covered and enclosed		1 space to be covered and enclosed		1 space per dwelling to be covered and enclosed		1 space to be covered and enclosed		1 space to be covered and enclosed		1 space per dwelling to be covered and enclosed	
	Single or tandem garage acceptable.		Single or tandem garage acceptable.		Single, tandem or double garage acceptable.		Single, tandem or double garage acceptable.		Single, tandem or double garage acceptable.		Single, tandem or double garage acceptable.	
	Double garages are only permitted on laneway		Double garages are only permitted on laneway or two storey allotments.									
Garage location	Garages are to be located along the built to boundary wall.		Garages are to be located along the built to boundary wall.		Garages are to be located along the built to boundary wall.		Garages are to be located along the built to boundary wall.		Garages are to be located along the western or southern boundary where appropriate.		Garages are to be located along the built to boundary wall where appropriate	
Site Cover (maximum)	70%		70%		70%		70%		70%		70%	

NOT APPLICABLE TO THIS STAGE OF DEVELOPMENT

REVISION A: 17/06/2011 Amend Lot Layout		Level Datum Date 17 JUNE 2011		Approval Authority Comp By. JLS / WNW / KCH		CLIENT STOCKLAND		PROJECT Stockland Residential Estate - Precinct A	
URBAN LAND DEVELOPMENT AUTHORITY		DWG Name 104527-55 Prop		Local Authority IPSWICH CITY COUNCIL		PLAN OF DEVELOPMENT PRECINCT A		Plan Ref 104527 - 56	
Scale 1:1000/1:2000		Sheet A1/A3		Locality DEEBING HEIGHTS		Job Reference 105598		Rev A	

RPS

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PLANS AND DOCUMENTS referred to in the ULDA APPROVAL dated 23/12/11

Future Road Reserve - 15 metre width

218 SP 193444

ROAD

Notes:

Advertising Devices

1. Advertising Devices to be limited to the advertising of the Stockland Residential Estate (Precinct A) at Deebing Heights.

2. Advertising Devices are restricted to the following signage types as nominated on the Plan of Development:

- (i) Vertical Banner Sign (0.6m wide x 2m high - 1.2m² per sign);
- (ii) Pole/Directional Sign (1.5m wide x 1.5m high - 2.25m² per sign);
- (iii) Pylon Sign (2m wide x 2.9m high - 5.8m² per sign); and
- (iv) Billboard Sign (2 x 6m wide x 3m high - 18.0m² per sign / 2 x 12m wide x 3m high - 36m² per sign).

3. Billboard signage to be limited to nominated areas along main entry road to estate (i.e. Grampian Drive) and in conjunction with the nominated Estate Sales Office and as nominated on any approved POD.

4. Advertising of any other nature not nominated/defined on the Plan of Development will require a separate (operational works) development application in accordance with applicable ULDA provisions.

5. All proposed Advertising Devices will directly cater to the needs of the Sales Information Centre and Display Housing in order to make the public aware of development and the relationship of all signage to the overall development. Sales Information Centre and Display Housing will be immediately identifiable.

6. All proposed Advertising Devices will be of materials and colours which compliment the design theme of the residential estate and present a visually attractive appearance to the public.

7. No Advertising Devices will be illuminated.

8. All Advertising Devices are to be located wholly within private property.

9. Unless otherwise agreed to in writing, the advertising devices are to be considered temporary only and not permitted to remain for a period exceeding ten (10) years from the date the approval takes effect or once the last residential lot is sold within the estate, whichever is the earliest. After this time, the Advertising Devices must be removed.

10. Advertising Devices must be:

- (i) maintained to not cause disturbance to the occupants of nearby developments; and
- (ii) located and designed to not create a nuisance or potential hazard to pedestrians.

11. Construction of Advertising Devices not to exceed Monday to Saturday 6:30am - 6:30pm and is not permitted to be undertaken outside of these hours or on Sundays or on public holidays.

12. All Estate & Directional Signage to be generally in accordance with provisions outlined under Ipswich City Council's Advertising Code and Implementation Guideline 18 (Estate and Directional Signage) however where there are discrepancies, POD requirements take precedence.

Legend

General Details

Site Boundary

Proposed Precinct Boundary

Display Village Boundary

Display Village

Carpark Location

Sales Office

Kiddies Park

Potential On Street Signage

Temporary Access to Carpark

Allotment Types

Villa Allotment 10.5 x 25m

Premium Villa Allotment 12.5 x 25m

Courtyard Allotment 14 x 25m

Premium Traditional Allotment 18 x 25m

Premium Traditional Allotment 20 x 25m

Premium Villa Allotment 12.5 x 32m

Courtyard Allotment 14 x 32m

Traditional Allotment 16 x 32m

Premium Traditional Allotment 18 x 32m

Premium Traditional Allotment 20 x 32m

STOCKLAND

PROPOSED DISPLAY VILLAGE

PLAN OF DEVELOPMENT

CLIENT

PROJECT

Stockland Residential Estate - Precinct A

Plan Ref

104527 - 59

Rev

B

Level Datum

30 JUNE 2011

Approval Authority

URBAN LAND DEVELOPMENT AUTHORITY

Comp By.

WNW / KCH

DWG Name.

104527-59 DISPLAY

Local Authority

IPSWICH CITY COUNCIL

Locality

DEEBING HEIGHTS

Job Reference

105598

Scale

1:1000

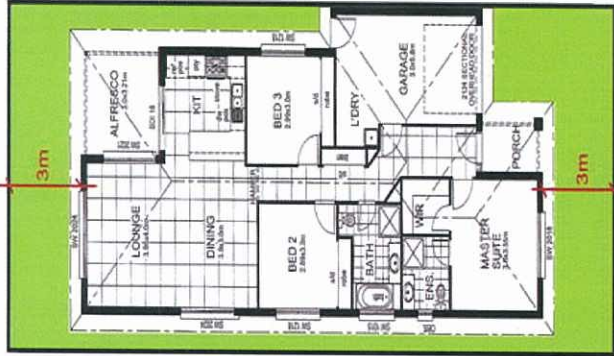
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A3

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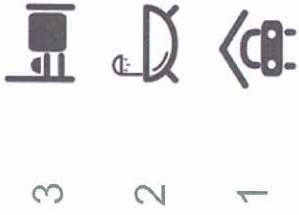
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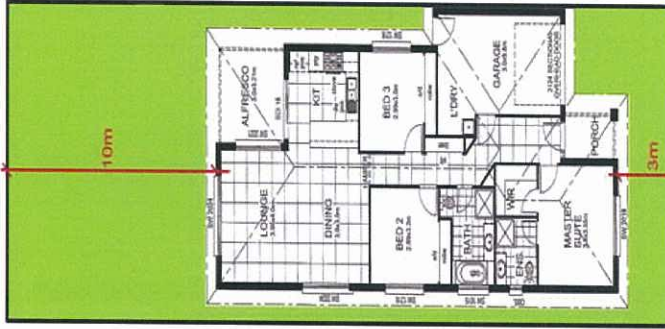


3
2
1

262.5m²
Villa 25

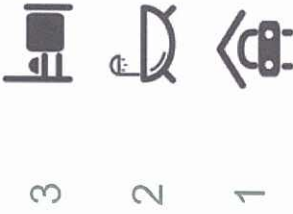


Nevis 143 By Indigo Homes



3
2
1

336m²
Villa 32



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Source

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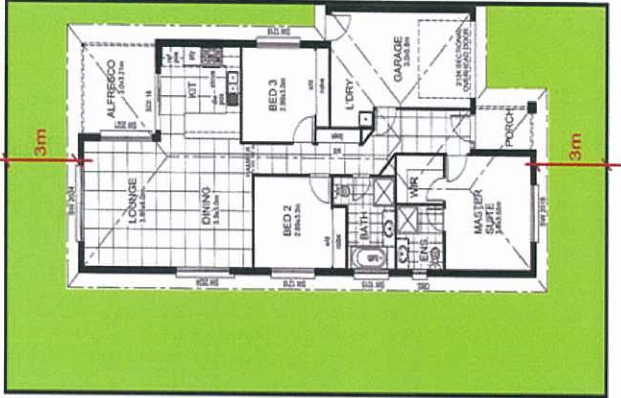
Stockland Residential Estate - Precinct A
Plan of Development - Typical House Plans - 10.5m frontage, single storey



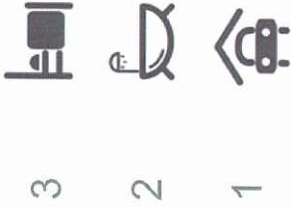
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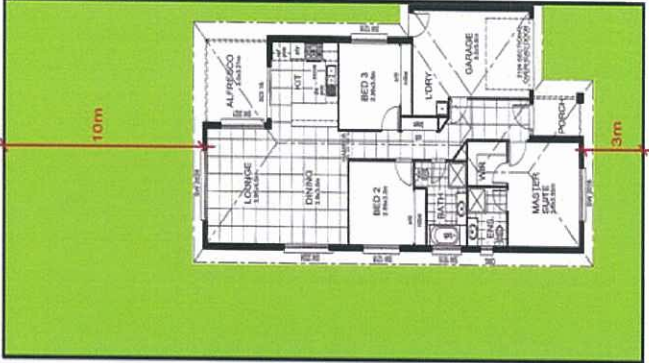
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312.5m²
Prem Villa 25



Nevis 143 By Indigo Homes



400m²
Prem Villa 32



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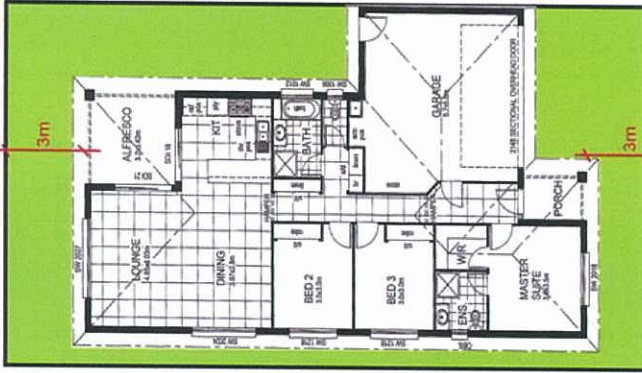


Stockland Residential Estate - Precinct A
Plan of Development - Typical House Plans - 12.5m frontage, single storey

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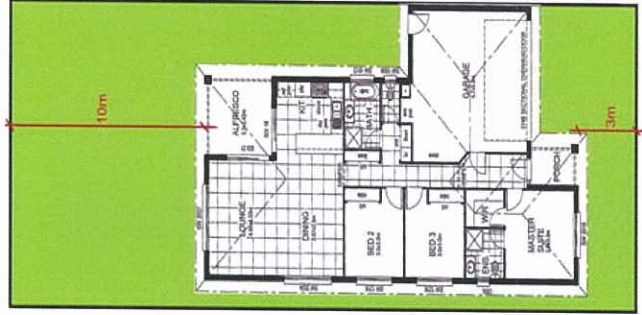
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Nevis 169 By Indigo Homes

3
2
2

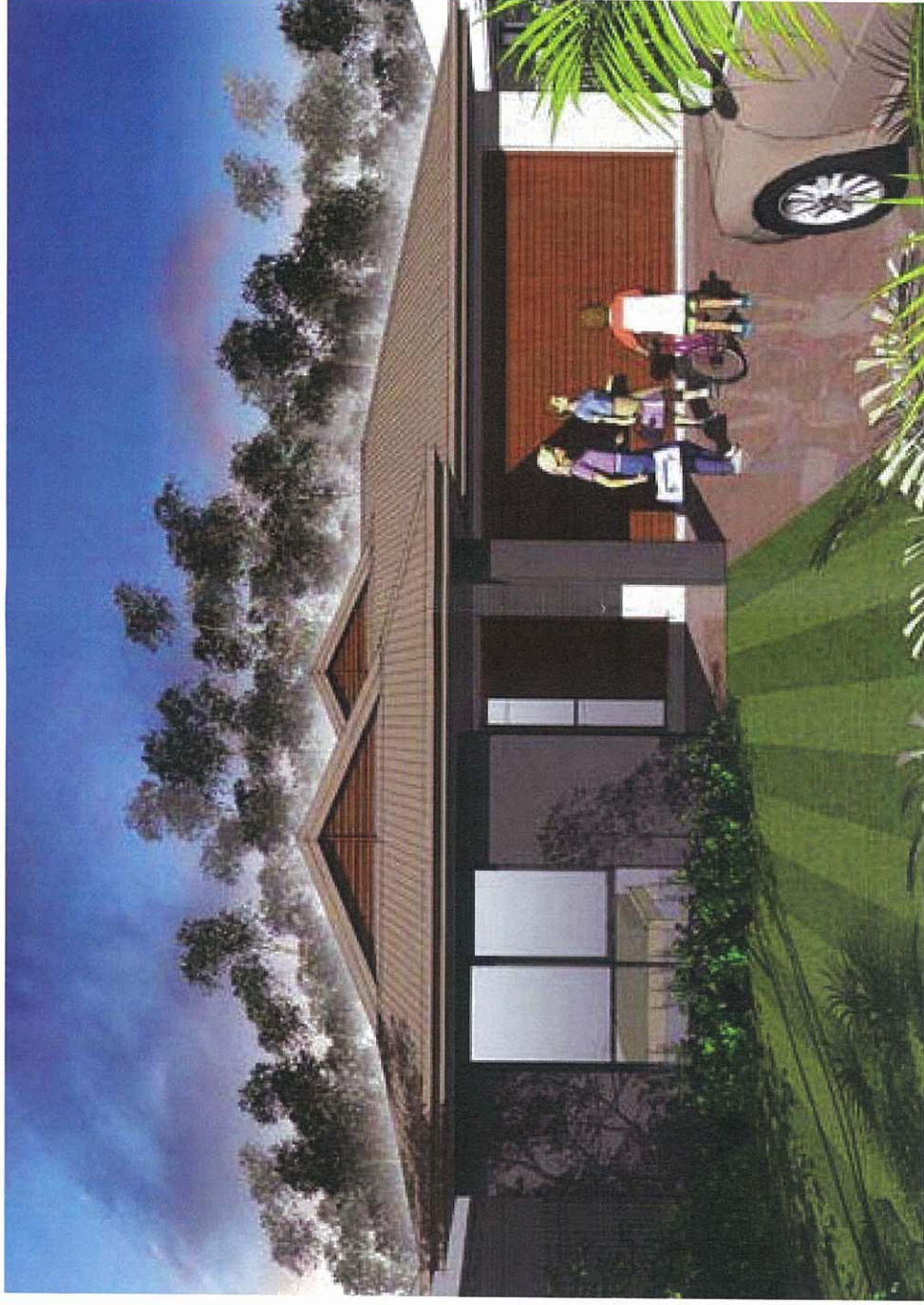
312.5m²
Prem Villa 25



Nevis 169 By Indigo Homes

3
2
2

400m²
Prem Villa 32



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Stockland Residential Estate - Precinct A

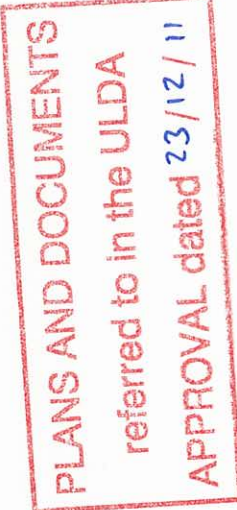
Plan of Development - Typical House Plans - 12.5m frontage, single storey

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4	2.5	2



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The image displays two architectural floor plans for a house, one above the other, with a red line indicating a 10.5m distance between them.

Top Floor Plan (First Floor):

- Master Suite:** 4.3m x 5.5m, located at the top right.
- Bed 1:** 3.4m x 4.0m, located at the top left.
- Bed 2:** 3.4m x 4.0m, located at the top center.
- Bed 3:** 3.4m x 4.0m, located at the bottom left.
- Bath:** 2.0m x 2.0m, located in the center.
- Living Area:** 10.0m x 10.0m, located at the bottom right.
- Stairs:** Located in the center, leading up and down.
- Entrance:** Located at the bottom center.

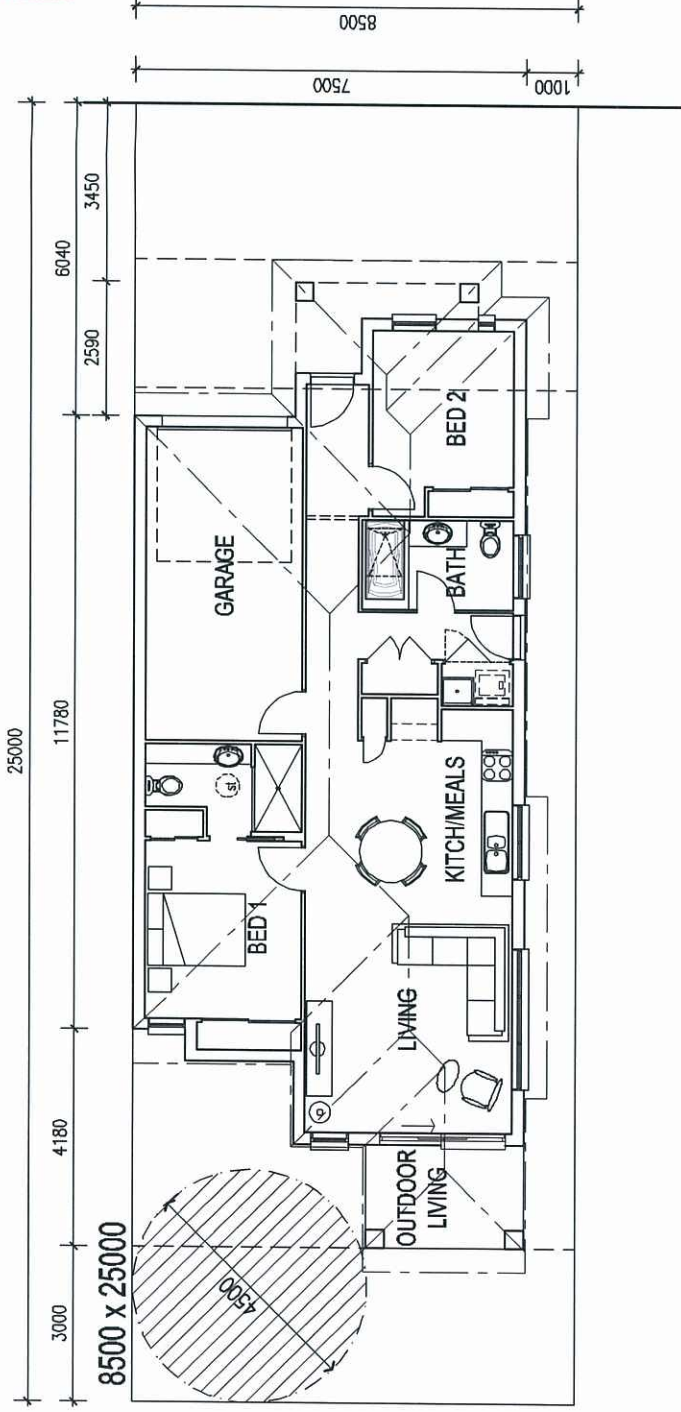
Bottom Floor Plan (Second Floor):

- Garage:** 6.0m x 6.0m, located at the top right.
- Porch:** 2.0m x 2.0m, located at the top left.
- Meats:** 4.0m x 5.0m, located in the center.
- Lounge:** 4.0m x 5.0m, located at the bottom left.
- Kitchen:** 2.0m x 2.0m, located in the center.
- Stairs:** Located in the center, leading up and down.
- Entrance:** Located at the bottom center.

A red line with arrows at both ends spans the width of the plans, with the text "10.5m" written vertically next to it.

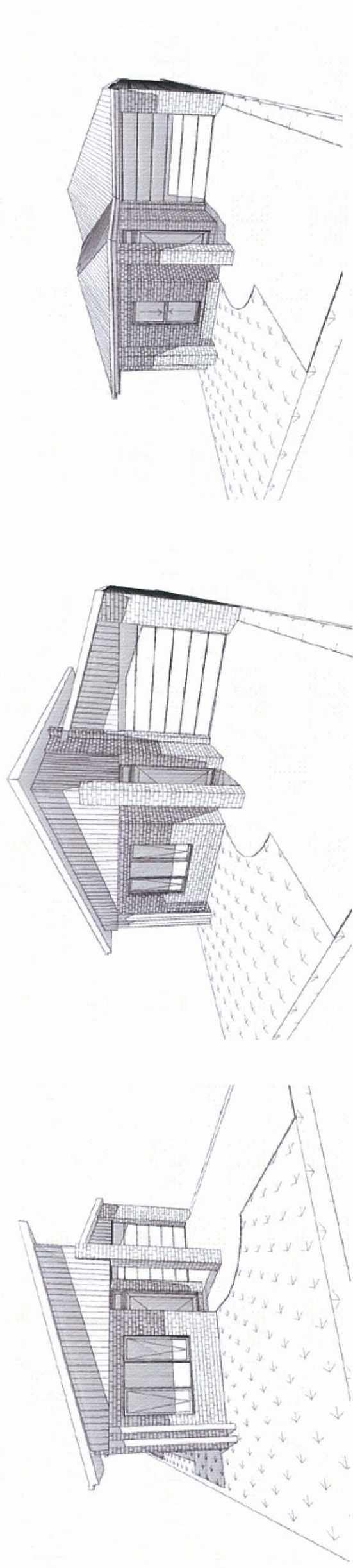
4	2.5	2
		

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 23/12/11



AREA	GROUND FLOOR
GARAGE:	86.34sqm
PORCH:	19.99sqm
OLIVING:	3.75sqm
TOTAL:	110.14sqm
	12.55SQ

SITE AREA 212.55sqm
SITE COVER (NO EAVES) 50%
SITE COVER (INC EAVES) 60%



Source

Floor plans and elevations have been used with the consent of Orbit Homes and are not to be used or reproduced without their prior consent.



Stockland



Stockland Residential Estate - Precinct A

Plan of Development - Typical House Plans - 8.5m frontage, single storey

RPS

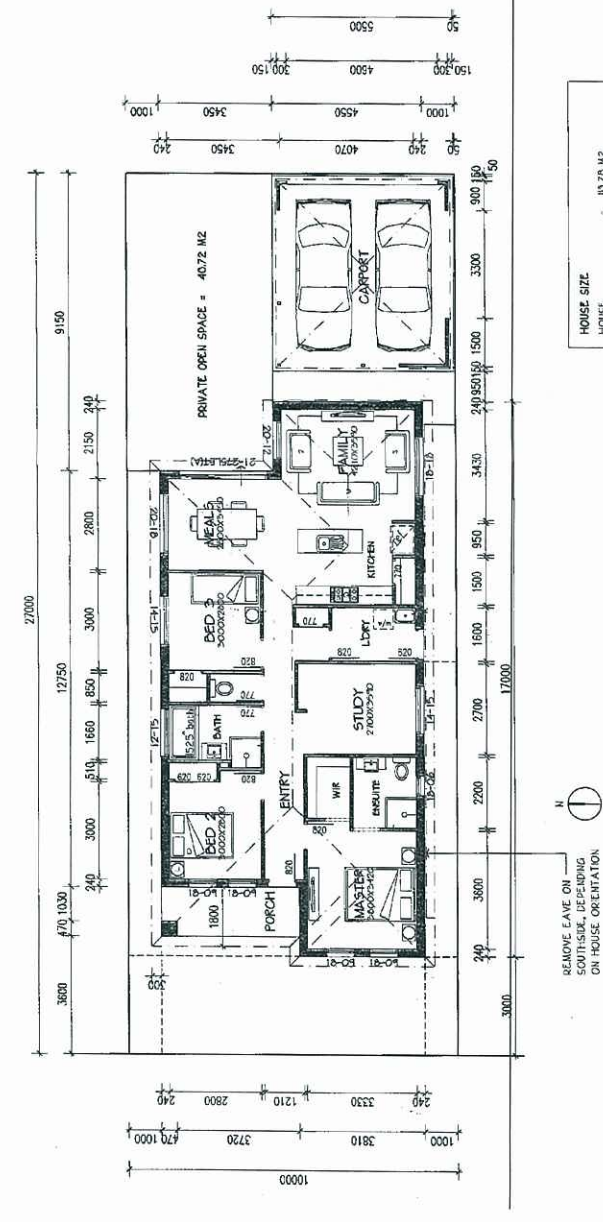
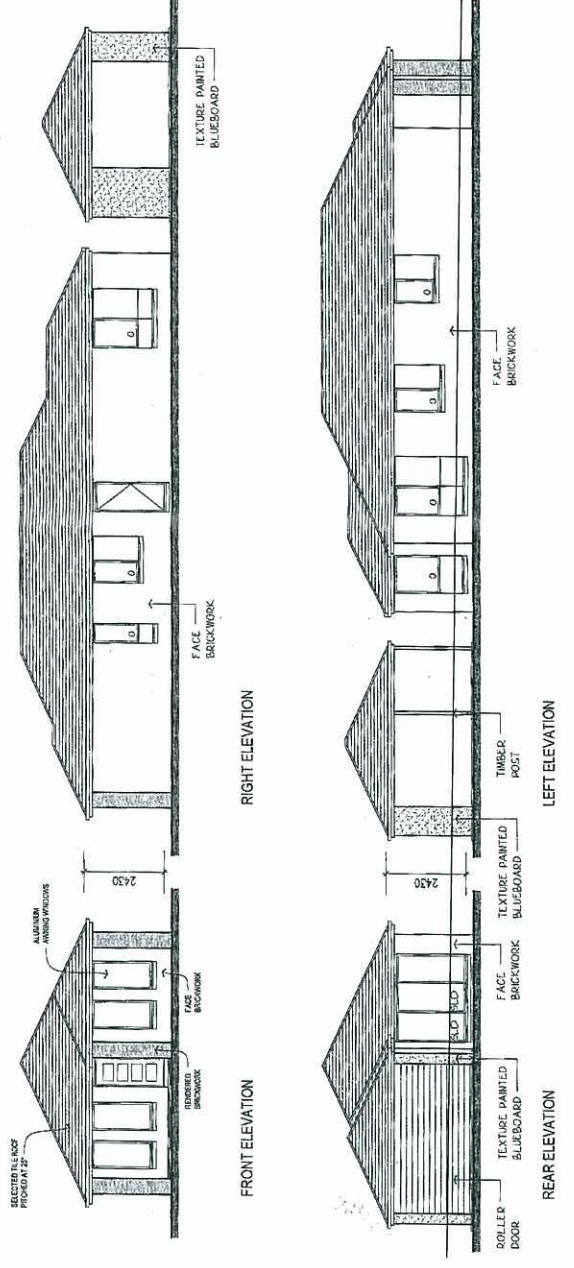
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3 bedroom + study laneway home



Stockland

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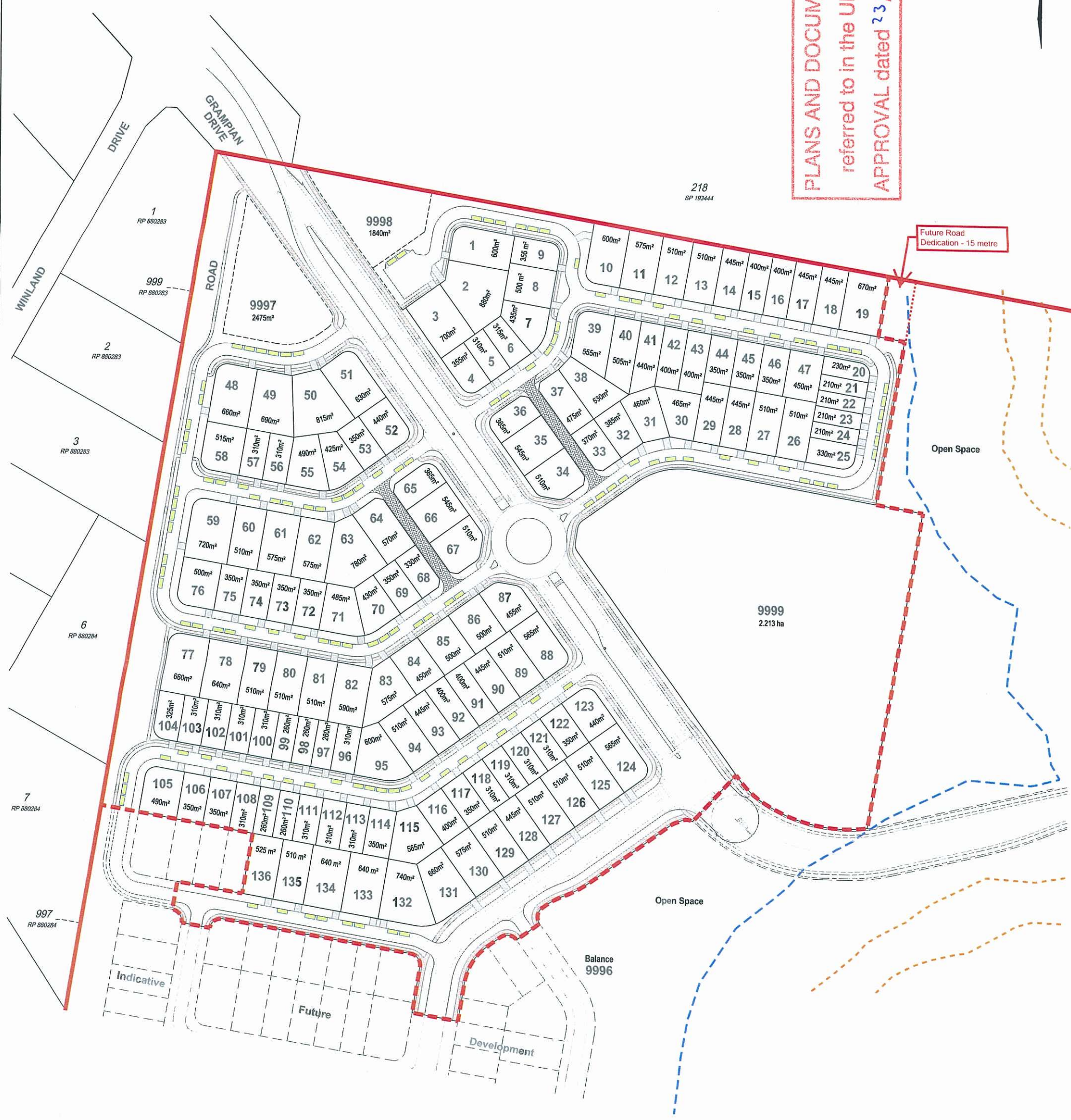
HOUSE SIZE	
HOUSE	= 113.70 M2
CARPORT	= 33.00 M2
PORCH	= 6.23 M2
HOUSE + GARAGE = 153.07 M2 17.12 SQ	
PRIVATE OPEN SPACE = 40.72 M2	
SITE IS 10 X 27 = 270 m2	

REMOVE EAVE ON —
SOUTH-SIDE, DEPENDING
ON HOUSE ORIENTATION

REMOVE GAVE ON
SOUTHSIDE, DEPENDING
ON HOUSE ORIENTATION



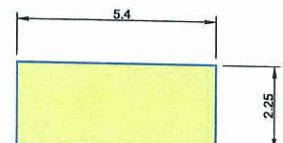
PLANS AND DOCUMENTS
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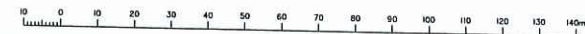
Note
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Parking locations are subject to further Traffic Engineering input.

- Legend**
- General Details**
- Site Boundary
 - Proposed Precinct Boundary
- Open Space**
- Waterway Top of Bank
 - Waterway 50m Buffer
- Road**
- Indicative Footpath Location
 - Indicative 3.5m Wide Driveway
 - Possible On-Street Parking Location

Parking Ratio: 131 Parking Bays for 142 Dwellings
Therefore there is approximately 0.9 Parks per Dwelling



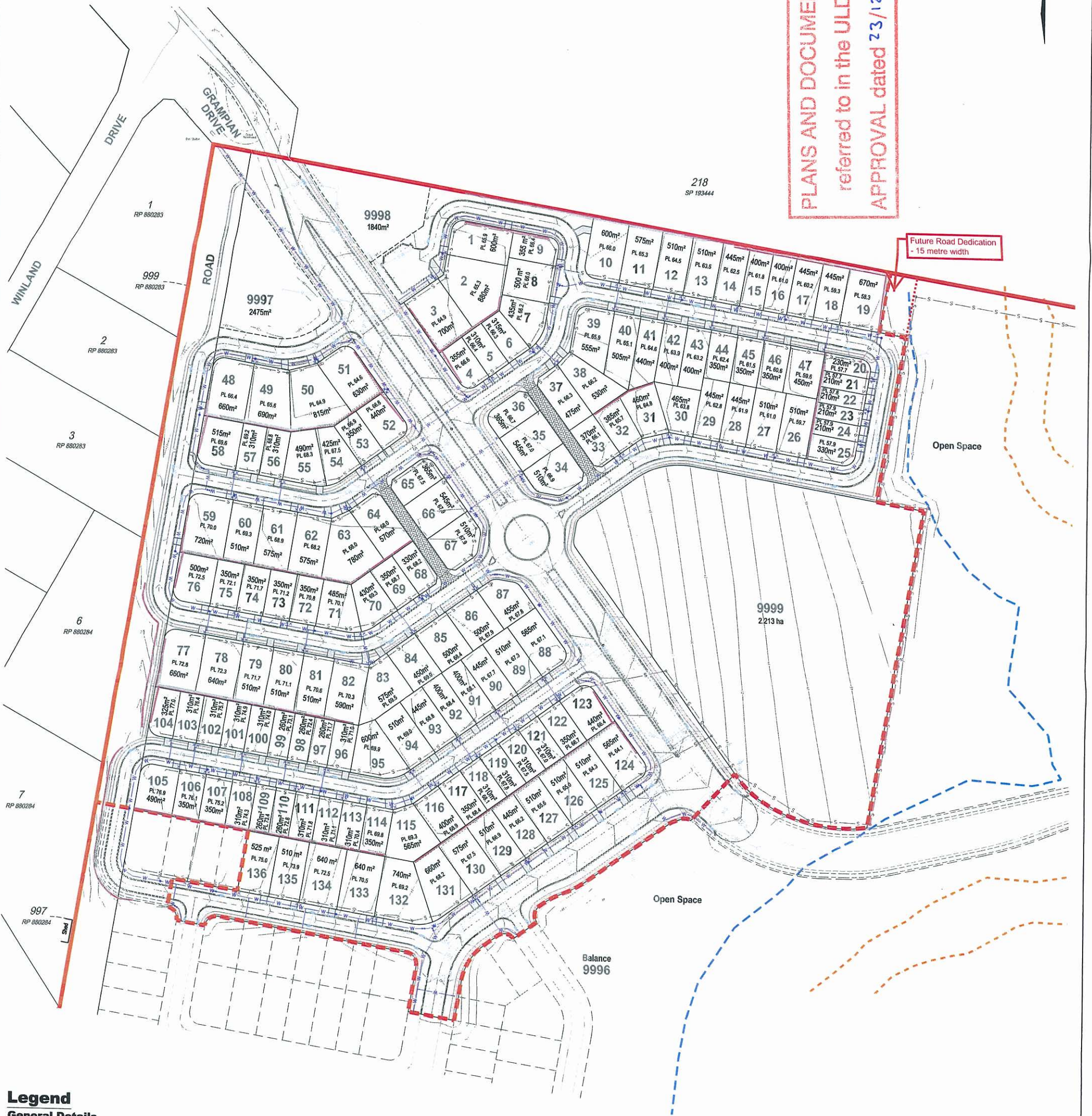
Parking Bay Diagram
Scale 1 : 100



REVISION A: 17/06/2011 Amend Lot Layout	Level Datum		Date	17 JUNE 2011	CLIENT	PROJECT Stockland Residential Estate - Precinct A		 © COPYRIGHT PROTECTS THIS PLAN Unauthorized reproduction is prohibited without permission. Please contact the author. RPS Australia East Pty Ltd ACN 140 292 752 ABN 44 140 292 752 743 Ann Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3237 8899 F +61 7 3237 8833 W rpsgroup.com.au
	Approval Authority.		Comp By.	JLS / WNW / KCH				
	URBAN LAND DEVELOPMENT AUTHORITY		DWG Name.	104527-55 Prop	PLAN OF DEVELOPMENT PARKING MANAGEMENT PLAN PRECINCT A			
	Scale 1:1000/1:2000		Sheet A1/A3	Local Authority			IPSWICH CITY COUNCIL	
			Locality	DEEBING HEIGHTS				
		Job Reference	105598	Plan Ref 104527 - 57	Rev A			

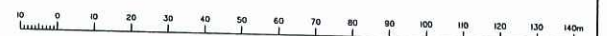


PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 23/12/11



- Legend**
- General Details**
- Site Boundary
 - Proposed Precinct Boundary
- Open Space**
- Proposed Detention & Park
 - Waterway Top of Bank
 - Waterway 50m Buffer
- Road**
- Indicative Footpath Location
 - Indicative 3.5m Wide Driveway
- Services**
- Sewerage
 - Stormwater
 - Water
 - Retaining Walls shown at 1.5m & over except for rear lanes

Note
All dimensions and areas are approximate only, and are subject to survey, detail design and approval(s).
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
All earthworks and servicing layouts are subject to final detail design.
Service locations provided by Bradlees Civil Consulting.



REVISION A: Update Contours, Services		Level Datum		Date	21 JUNE 2011	CLIENT STOCKLAND <i>PLAN OF DEVELOPMENT</i> PRELIMINARY BULK EARTHWORKS & SERVICES <i>PRECINCT A</i>	PROJECT Stockland Residential Estate - Precinct A		 RPS Australia East Pty Ltd ACN 140 292 762 ABN 44 140 292 762 743 Ann Street PO Box 1059 Fairfield Valley QLD 4006 T +61 7 3237 8899 F +61 7 3237 8833 W rpsgroup.com.au
		Approval Authority. URBAN LAND DEVELOPMENT AUTHORITY		Comp By.	KCH / WNW		Plan Ref 104527 - 58	Rev A	
				DWG Name.	104527-55 Prop				
				Local Authority	IPSWICH CITY COUNCIL				
Scale 1:1000/1:2000		Sheet A1/A3	Locality		DEEBING HEIGHTS				
			Job Reference		105598				

Legend

- Site Boundary
- Development Area Boundary
- Local Streets
- Paths
- Local Park/Pocket Park
- Bio-retention Basin
- Open Space
- Residential Area (15.7dw/ha)
- Future Mixed-Use Centre - Balance Lot
- Sales Office (indicative only)
- Waterway Top of Bank
- Waterway Corridor
- Waterway Preferred Centreline
- Waterway
- Formal Boulevard
- Park Esplanade
- Spine Streets
- Balance Lots *

*(Refer DesignFlow Conceptual Designs and Stormwater Management Plans)

PLANS AND DOCUMENTS referred to in the ULDA APPROVAL dated 23/12/11

BALANCE LOTS:
+ Refer to Stormwater Management Plans

BOULEVARD:
+ Boulevard/Avenue tree species refer precinct A 106228_02 landscape concept plan

EXISTING RURAL RESIDENTIAL

PARK ESPLANADE:
+ Informal groupings of native trees against green park edge

LOCAL STREETS:
+ Street trees to vary between precincts in colour and form (per Ipswich guidelines)

LOCAL SPINE STREETS:
+ Formal layout of taller street trees

LOCAL DRAINAGE GREEN:
+ Local Green 'relief' park with drainage function

Future Road Dedication 15 metre Width

OPEN SPACE
+ Playground
+ Opportunity for Shelters/ Amenities/Bike/Fitness Trail etc.

INFORMAL OPEN SPACE

PRECINCT B

FUTURE DEVELOPMENT

Existing Dam

Electricity Easement

OPEN SPACE:
+ Opportunity for Shelters/Eco Education Trail, Amenities
+ Informal Planting
+ Parking

FUTURE DEVELOPMENT



Disclaimer
The contents of this plan are conceptual only, for discussion purposes. All areas and dimensions are approximate only subject to relevant studies, Survey, Engineering and Council approval.



SK 3085

10-473

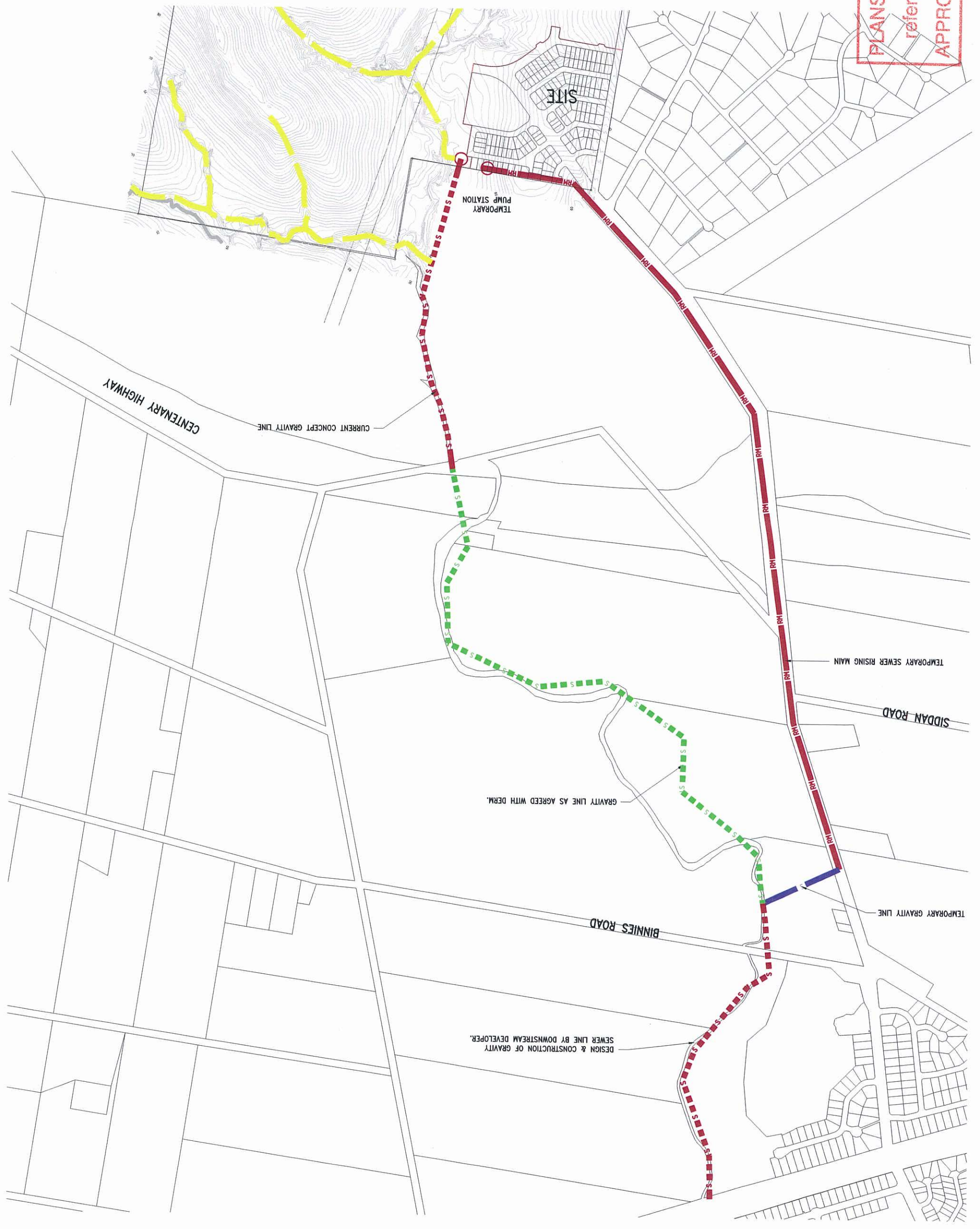
STOCKLAND DEVELOPMENTS PTY LTD
PARADISE WATERS
GRAVITY TRUNK SEWERAGE



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1 : 5000 (FULL SIZE)
0 50 100 150 200 250m

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PARADISE WATERS

EXTERNAL TRUNK SEWER

GENERAL NOTES:

1. ALL DIMENSIONS ON THE JOB ARE IN METRES UNLESS SHOWN OTHERWISE.
2. THE CONTRACTOR IS TO MAKE HIMSELF FULLY AWARE OF ALL EXISTING SERVICES PRIOR TO WORKS COMMENCING.
3. ALL WORKS ARE TO BE CARRIED OUT TO I.C.C. STANDARDS UNLESS OTHERWISE DIRECTED (IN WRITING).
4. NOTWITHSTANDING THE LIMITS OF CUTTING AND FILLING SHOWN ON THE DRAWINGS, THE ACTUAL LIMITS SHALL BE DETERMINED ON SITE BY THE SUPERINTENDENT DURING CONSTRUCTION.
5. UNLESS SHOWN OTHERWISE, THE INVERT LEVELS SHOWN ON DRAINAGE LONGITUDINAL SECTIONS ARE LEVELS CALCULATED AT THE CENTRE OF MANHOLES. TO OBTAIN LEVELS ON DRAINLINES AT THE INSIDE FACE OF MANHOLES, THE CONTRACTOR SHALL MAKE ALLOWANCE FOR THE DIFFERENCE IN LEVEL CALCULATED AT SLOPE SHOWN ON DRAINLINE LONGITUDINAL SECTION FOR THE APPROPRIATE DISTANCE.
6. THE LEVELS AND SLOPES SHOWN ON MANHOLE COVERS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL FINISH MANHOLE COVERS AND SURROUNDS TO SUIT THE SLOPE AND LEVEL OF THE FINISHED SURFACE AT THAT LOCATION UNLESS OTHERWISE DIRECTED OTHERWISE BY THE SUPERINTENDENT.
7. ANY WORK CONSTRUCTED OUTSIDE TOLERANCES WILL BE RECTIFIED AT CONTRACTORS EXPENSE IF ORDERED.
9. ALL BATTERS BETWEEN 1:4 AND 1:6 ARE TO BE FULLY TURFED TO PREVENT SCOUR AND EROSION. ANY BATTERS BETWEEN 1:4 AND 1:3 TO BE HEAVILY LANDSCAPED. BATTERS STEEPER THAN 1:3 ARE UNDESIRABLE.
10. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE APPROVED CULTURAL HERITAGE MANAGEMENT PLAN.
11. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT BY MORRISON GEOTECHNICAL.
12. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENT AND RESOURCE MANAGEMENT.
13. PRIOR TO COMMENCEMENT OF WORKS, THE CONTRACTOR SHALL PROVIDE A 3 STRAND WIRE FENCE WITH FLAGGING TO THE WORKS AREAS. THE FENCE SHALL BE ERECTED AT THE LIMIT OF WORKS IN ACCORDANCE WITH THE DRAWINGS. CONSTRUCTION ACTIVITY OTHER THAN FOR ACCESS SHALL NOT OCCUR OUTSIDE THESE LIMITS WITHOUT PRIOR APPROVAL FROM THE SUPERINTENDENT. ACCESS TO THE WORKS AREA SHALL BE VIA APPROVED ACCESS POINTS ONLY AND SHALL INCLUDE THE PROVISION OF A SHAKE DOWN AREA.

DRAWING INDEX:

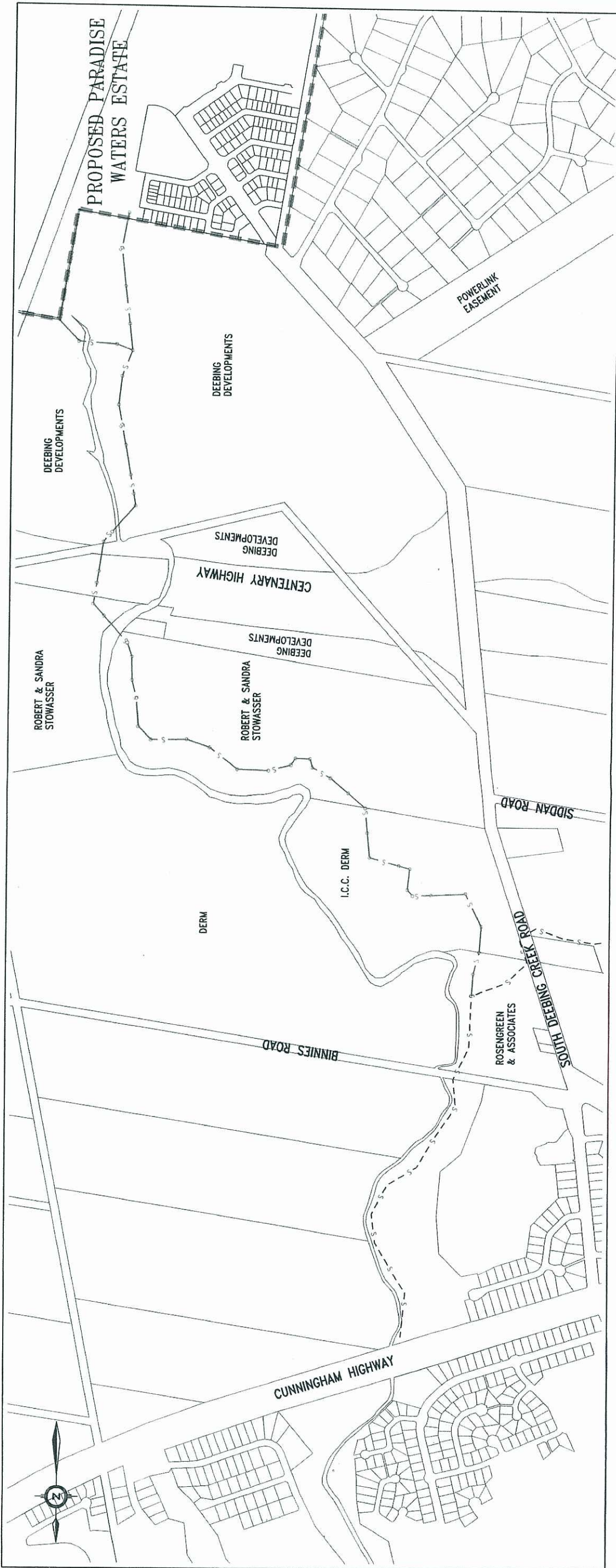
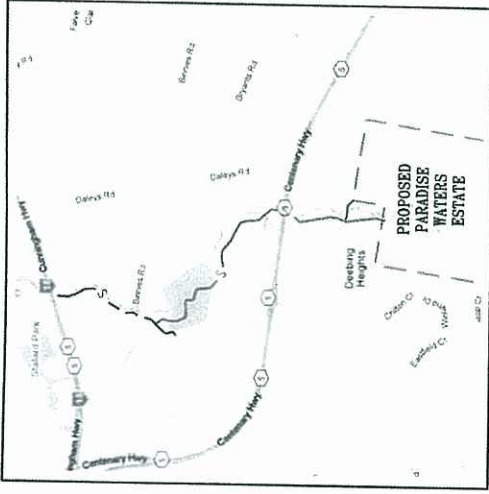
DWG No.

DESCRIPTION

DWG No.	DESCRIPTION
01	DRAWING INDEX & LOCALITY PLAN
02	OVERALL LAYOUT
03	SEWER RETICULATION PLAN & LONGITUDINAL SECTION - SHEET 1 OF 6
04	SEWER RETICULATION PLAN & LONGITUDINAL SECTION - SHEET 2 OF 6
05	SEWER RETICULATION PLAN & LONGITUDINAL SECTION - SHEET 3 OF 6
06	SEWER RETICULATION PLAN & LONGITUDINAL SECTION - SHEET 4 OF 6
07	SEWER RETICULATION PLAN & LONGITUDINAL SECTION - SHEET 5 OF 6
08	SEWER RETICULATION PLAN & LONGITUDINAL SECTION - SHEET 6 OF 6

LOCALITY PLAN

NOT TO SCALE



SURVEYOR

RPS

SCALES

100 150 200 250m
(1:1000 SCALE)

REVISIONS

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Checked	JM	05/11	
Drawn	JM	05/11	
Checked	JM	05/11	

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Accred. No. 33

CLIENT: STOCKLAND DEVELOPMENT PTY LTD

PARADISE WATERS - EXTERNAL TRUNK SEWER

DRAWING INDEX & LOCALITY PLAN

JOB No. 10-476

DRAWING No. 01

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