

DEV2013/447

1 August 2013

Department of
**State Development,
Infrastructure and Planning**

Mr Phillip Roxburgh
Pantex Pty Ltd
PO Box 959
NORTH LAKES QLD 4509

Dear Phillip

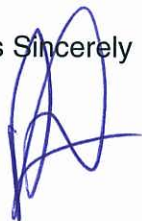
**SECTION 89(1)(a) PDA DEVELOPMENT APPROVAL FOR A PDA
DEVELOPMENT APPLICATION FOR A PDA DEVELOPMENT PERMIT FOR A
RECONFIGURATION OF A LOT – 1 INTO 34 LOTS (31 RESIDENTIAL LOTS AND
3 MANAGEMENT LOTS), 3 ACCESS EASEMENTS, NEW ROAD, A PLAN OF
DEVELOPMENT AND ASSOCIATED OPERATIONAL WORKS (EROSION AND
SEDIMENT CONTROL, VEHICLE CROSSOVERS, WATER RETICULATION
WORKS, STORMWATER DRAINAGE WORKS, ROADWORKS AND FILLING AND
EXCAVATION) AT YEATES AVENUE, BLACKWATER DESCRIBED AS LOT 1 ON
SP235822**

On 30 July 2013 the Minister for Economic Development Queensland (MEDQ) approved the Priority Development Area (PDA) development application pursuant to s.85(4)(b) of the *Economic Development Act 2012*. MEDQ has decided to grant all of the PDA development approval applied for subject to PDA development conditions set out in the attached PDA Development Approval Package.

The PDA development application and the decision notice can also be viewed in the MEDQ Development Approvals Register via the MEDQ website
<http://edq.qld.gov.au/infrastructure-and-planning/priority-development-area-development-approvals.html>.

Should you have any queries in relation to the decision notice, please do not hesitate to contact Brianna Fyffe on 3174 0206.

Yours Sincerely



Patrick Atkinson

Director – Development Assessment

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PDA Decision Notice – Approval

Site information		
Name of urban development area (PDA)	Blackwater	
Site address	Yeates Avenue, Blackwater	
Lot on plan description	Lot number	Lot description
	Lot 1	SP235822
PDA development application details		
MEDQ reference number	DEV2013/447	
Lodgement date	7 May 2013	
Type of application	☒ New development involving:- ☐ Material change of use ☐ Preliminary approval ☐ Development permit ☒ Reconfiguring a lot ☐ Preliminary approval ☒ Development permit ☒ Operational work ☐ Preliminary approval ☒ Development permit ☐ Changing a PDA development approval ☐ Extending the currency period of a PDA approval	
Description of proposal applied for	1 into 34 lots (31 residential lots and 3 management lots) & 3 access easements, new road, plan of development and associated operational works (erosion and sediment control, vehicle crossovers, water reticulation works, stormwater drainage works, roadworks and filling and excavation)	

PDA development approval details

Decision of the MEDQ [delete other than the applicable decision]	The MEDQ has decided to grant all of the PDA development approval applied for, subject to PDA development conditions forming part of this decision notice.
Decision date	1 August 2013
	4 Years from Decision Date

Plans and specification

The plans and specifications approved by the MEDQ and referred to in the PDA development conditions concerning the PDA development approval are detailed below.

Approved plans, reports and specifications		Number (if applicable)	Date (if applicable)
1.	Plan of Development	7068-A002 Rev E	13/03/2013
2.	Proposed Survey Plan	7068-A001 Rev D	13/03/2013
3.	Lot Reconfiguration Plan	7068-A001 Rev A	1/08/2013, Amended in Red 1/08/2013
4.	Proposed Water Reticulation Layout Sketch, prepared by Bornhorst + Ward	SK-C103 Rev A	13 March 2013
5.	Proposed Sewer Layout Sketch, prepared by Bornhorst + Ward	SK-C102 Rev A	13 March 2013
6.	Proposed Stormwater Drainage Sketch	SK-C101 Rev A	13 March 2013
7.	Proposed Bond Avenue Connection Sketch, prepared by Bornhorst + Ward	SK-C102 Rev A	13 March 2013
8.	Stage 1 Road 1 Cross Section Plan prepared by Bornhorst + Ward	C042 Rev D	12/07/12
9.	Landscape Concept, prepared by DFS Group	SD-01[C]	2013.07.22
10.	Landscape Concept, prepared by DFS Group	SD-02[C]	2013.07.22

PDA Development Conditions

General/ Planning Requirements

1.	Carry out the Approved Development Carry out the development generally in accordance with the approved plan(s), drawing(s) and document(s).	Prior to endorsement of survey plan
2.	Complete all Operational Works Complete all operational work associated with this development approval, including work required by any of the conditions included in the Conditions Package. Such operational work is to be carried out generally in accordance with the approved drawing(s), and/or documents or, if requiring a further approval from DSDIP – Development Assessment Division, in accordance with the relevant approval(s).	Prior to endorsement of survey plan

3.	Maintain the Approved Development Maintain the approved development (including landscaping, parking, driveways and other external spaces) in accordance with the approved drawing(s) and/or documents, and any relevant engineering or other approval/s required by the conditions.	As indicated
4.	Water Reticulation - Internal a) Submit to DSDIP – Development Assessment Division engineering plans certified by a Registered Professional Engineer Queensland (RPEQ) detailing the water reticulation, including connections, required to service each lot generally in accordance with that shown on the approved Proposed Water Reticulation Layout Sketch SK-C103 Rev A dated 13 March 2013 prepared by Bornhorst + Ward and the <i>Capricorn Municipal Development Guidelines</i> . b) Construct the works in accordance with the RPEQ certified plans from part a) of this condition. c) Upon completion of the works, submit to DSDIP – Development Assessment Division "As Constructed" plans including an asset register, checked by a Registered Professional Engineer Queensland (RPEQ-Civil), certifying that the works have been completed in accordance with part a) of this condition.	a) Prior to commencement of works b) Prior to survey plan endorsement c) Prior to survey plan endorsement
5.	Sewer Reticulation a) Submit to DSDIP – Development Assessment Division engineering plans certified by a Registered Professional Engineer Queensland (RPEQ) detailing the sewer reticulation, including connections, required to service each lot generally in accordance with the approved Proposed Sewer Layout Sketch SK-C102 Rev A dated 13 March 2013 prepared by Bornhorst + Ward and the <i>Capricorn Municipal Development Guidelines</i> . b) Construct the works in accordance with the RPEQ certified plans c) Upon completion of the works submit to the DSDIP – Development Assessment Division "As Constructed" plans including an asset register certified by a Registered Professional Engineer Queensland (RPEQ), in accordance with part b) of this condition.	a) Prior to commencement of works b) Prior to survey plan endorsement c) Prior to survey plan endorsement
6.	Stormwater Management a) Submit to DSDIP – Development Assessment Division engineering plans certified by a Registered Professional Engineer Queensland (RPEQ) detailing the discharge of suitably treated stormwater to a lawful point of discharge generally in accordance with that shown on the approved Proposed Stormwater Drainage Sketch SK-C101 Rev A dated 13 March 2013 prepared by Bornhorst + Ward and the <i>Capricorn Municipal Development Guidelines and QUDM(2008)</i> b) Construct the works in accordance with the certified plans c) Upon completion of the works submit to DSDIP – Development Assessment Division "As Constructed" plans including an asset register certified by a Registered Professional Engineer Queensland (RPEQ), in accordance with part b) of this	a) Prior to commencement of site works b) Prior to survey plan endorsement c) Prior to survey plan endorsement

	condition.	
7.	Access Easements Provide access easements generally in accordance with the approved plan.	Prior to survey plan endorsement
8.	Roadworks – Internal a) Submit to the DSDIP – Development Assessment Division engineering plans certified by a Registered Professional Engineer Queensland (RPEQ) detailing the internal roadworks and footpath works with a road cross section in accordance with that shown on the approved Stage 1 Road 1 Cross Section Plan C042 Rev D dated 12/07/12 prepared by Bornhorst + Ward and the <i>Capricorn Municipal Development Guidelines</i> . b) Construct the works in accordance with the RPEQ certified plans from part a) of this condition. c) Upon completion of the works submit to DSDIP – Development Assessment Division "As Constructed" plans including an asset register certified by a Registered Professional Engineer Queensland (RPEQ), in accordance with part b) of this condition.	a) Prior to commencement of site works b) Prior to survey plan endorsement c) Prior to survey plan endorsement
9.	Roadworks – External – Bond Avenue a) Submit to DSDIP – Development Assessment Division for compliance endorsement engineering plans certified by a Registered Professional Engineer Queensland (RPEQ) detailing the roadworks in Bond Avenue generally in accordance with the approved Proposed Bond Avenue Connection Sketch SK-C102 Rev A dated 13 March 2013 prepared by Bornhorst + Ward and the <i>Capricorn Municipal Development Guidelines</i> . The detail design shall incorporate - street lighting in accordance with <i>AS/NZS 1158 Road Lighting</i>; - a pedestrian path connection to Bremner Street - verge treatments including street trees in accordance with CHRC species and planting policies. b) Construct the works in accordance with the endorsed plans from part b) of this condition. c) Upon completion of the works submit to DSDIP – Development Assessment Division "As Constructed" plans including an asset register certified by a Registered Professional Engineer Queensland (RPEQ), in accordance with part b) of this condition.	a) Prior to commencement of site works b) Prior to survey plan endorsement c) Prior to survey plan endorsement
10.	Streetscape Works a) Prepare and submit to DSDIP – Development Assessment Division for compliance endorsement Streetscape Works Plan detailing proposed works, generally in accordance with the approved Landscape Concept Plan number SD-02 [C] dated 22.07.2013, prepared by DFS Group and in accordance with the following: appropriate pavement treatments including finished surface	a) Prior to commencement of works on site

	levels, cross-falls and longitudinal grades; • appropriate footpath locations with kerb ramps; • street tree location and species, the ground preparation works and monthly maintenance plan; • road uses adjacent to the kerbing (e.g. parking bays, No Standing zones etc); • Identify all new and existing trees within the dedicated road, including those to be retained and those to be removed; • Identify the location/ proximity of services within the road reserve; and • Provide details of proposed planting including common and botanical names, height and spread at maturity. The plan is to be prepared by an Australian Institute of Landscape Architects (AILA) registered landscape architect. b) Undertake the works in accordance with the endorsed streetscape works required under part (a) of this condition. Works are to be carried out in accordance with the following standards: • AS1428.1 Design of Access and Mobility • AS1428.4 Tactile Ground Surface Indicator • AS/NZA 1158.3.1, 1999 Pedestrian Area Lighting This work is to be certified by a suitably qualified urban design/landscape architect or registered Practising Engineer – Queensland RPEQ professional in accordance with the ULDA Certification Procedures Manual and to the satisfaction of the ULDA. c) On completion of this work submit written certification and “as constructed” plans to DSDIP – Development Assessment Division demonstrating compliance with part b) of this condition.	b) Prior to survey plan endorsement c) Prior to survey plan endorsement
11.	Street Lighting Design and install a street lighting system (including connections and energising) to all roads within the subdivision and to all footpaths/bikeways within road reserves and parks associated with the subdivision at no cost to Council The design and construction of the street lighting system must: • be in accordance with <i>Capricorn Municipal Development Guidelines and AS1158</i> • meet the relevant requirements of the electricity supplier and • be acceptable to the electricity supplier as ‘Rate 2 Public Lighting’.	Prior to survey plan endorsement
12.	Erosion & Sediment Control a) Submit to DSDIP – Development Assessment Division an Erosion and Sediment Control (ESC) Plan in accordance with <i>Capricorn Municipal Development Guidelines</i>. Plan to be certified by Registered Professional Engineer Qld (RPEQ-Civil) or Certified Professional in Erosion and Sediment Control (CPESC). b) Implement the submitted Erosion and Sediment Control Plan on site	a) Prior to commencement of work b) At all times during construction works

13.	Filling and Excavation a) Submit to DSDIP – Development Assessment Division an Earthworks Management Plan checked and certified by a Registered Professional Engineer Queensland (RPEQ), specialising in geotechnical engineering in accordance with <i>ULDA Practice Note No. 10 Plans of Development</i>. b) Construct the works in accordance with the certified plans from part a) of this condition and ensure: - any fill within a building location envelope must be compacted in accordance with Section 5 (Compaction Criteria) of AS 3798 – 1996 <i>Guidelines on Earthworks for Commercial and Residential Developments</i> and - all retaining walls 1.0 m in height or greater must be designed and constructed as a cantilevered type wall that has a minimum design life of 50 years and i) gravity type retaining walls (i.e. boulder wall) may only be constructed where the height of the wall is less than 1.0m or a maximum height not exceeding quantity two (2) saw cut face A-grade boulders and ii) retaining walls greater than 1.0 metre in public places must be provided with railings or other barriers to provide pedestrian safety. c) On completion of this work submit to DSDIP – Development Assessment Division certification by a RPEQ specialising in geotechnical engineering stating that the work has been completed in accordance with part b) of this condition and that all constructed cut/fill batters and/or retaining structures have achieved adequate stability with a factor of safety greater than 1.5 and that all cut and fill operations have been carried out in accordance with AS3798 and any unsuitable material encountered has been treated or replaced with suitable replacement material.	a) Prior to commencement of site works b) Prior to survey plan endorsement c) Prior to survey plan endorsement
14.	Easements over Infrastructure Public utility easements must be provided, in favour of and at no cost to Central Highlands Regional Council (CHRC), over infrastructure located in private land that becomes contributed assets. The terms of the easements must be to the satisfaction of the CHRC Chief Executive Officer. Advice Note: All easement documents must be lodged with DSDIP for checking and endorsement as to compliance with the relevant conditions prior to lodgement with Council or the relevant authority.	Prior to survey plan endorsement
15.	Electricity Submit to DSDIP – Development Assessment Division written evidence of an agreement with an authorised electricity supplier (eg ERGON) to provide an underground electricity service to each lot.	Prior to survey plan endorsement
16.	Telecommunications Submit to DSDIP – Development Assessment Division written evidence of an agreement with an authorised telecommunications supplier to provide an underground telecommunications service to each lot.	Prior to survey plan endorsement
17.	Broadband Provide infrastructure within the development to accommodate NBN services in accordance with NBN Co Limited <i>'New Developments'</i>:	Prior to survey plan endorsement

	<i>Deployment of the NBN Co Conduit and Pit Network – Guidelines for Developers</i> , Doc. No NBN-TE-CTO-194, issue date 1 st April 2011.																	
18.	Repair damage to Kerb, Footpath or Road Repair to the satisfaction of the CHRC any damage to existing kerb and channel, road verge or roadway (including removal of concrete slurry from footpaths, roads, kerb and channel and stormwater gullies and pipes) that may occur during any works carried out in association with the endorsed development.	Prior to survey plan endorsement																
19.	Service Conduits & Mains Supply and install all service conduits and meet the cost of any alterations to public utility mains, existing mains, services or installations required in conjunction with the endorsed development.	Prior to survey plan endorsement																
20.	Pre-Construction Certification No works shall commence until DSDIP – Development Assessment Division acknowledges in writing receipt of certification package from the Project Coordinator in accordance with section 6.4 a) of the <i>ULDA Certification Procedure Manual</i> .	Prior to commencement of site works																
21.	Post-Construction Certification Submit Post-Construction (Practical Completion) Certification, forms and “as Constructed” plans including an asset register, certified by a Registered Professional Engineer Queensland (RPEQ), that the plans are a true record of the works “as constructed” in accordance with section 6.4 b) of the <i>ULDA Certification Procedure Manual</i>	Prior to survey plan endorsement																
22.	Infrastructure Contributions Pay to Economic Development Queensland (EDQ) a monetary contribution towards the cost of the provision of essential infrastructure at the rate applicable at the time of payment. The contribution will be equivalent to the charge that applies to the development under the Central Highlands Regional Council's (CHRC) <i>Adopted Infrastructure Charges Resolution (no. 1) 2011</i> . The current contribution is as follows: <table border="1"><thead><tr><th>Development type / product</th><th>No. of additional lots</th><th>Adopted Infrastructure charge</th><th>Contribution</th></tr></thead><tbody><tr><td>Reconfiguring a Lot</td><td>34 lots</td><td>\$25,898.60</td><td>\$880,552.40</td></tr><tr><td>Credit</td><td>1 lot</td><td></td><td>-\$25,898.60</td></tr><tr><td>TOTAL</td><td></td><td></td><td>\$854,653.80*</td></tr></tbody></table> <i>*Notes:</i> <i>This charge will be adjusted each financial year in accordance with the three year rolling average of the Queensland Roads and Bridges Index.</i> <i>The above Infrastructure Charges (IC) calculations may be subject to offsets where approved in writing by EDQ.</i>	Development type / product	No. of additional lots	Adopted Infrastructure charge	Contribution	Reconfiguring a Lot	34 lots	\$25,898.60	\$880,552.40	Credit	1 lot		-\$25,898.60	TOTAL			\$854,653.80*	Prior to survey plan endorsement
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ADVICE

Please note that in order to lawfully undertake development, it may be necessary to obtain approvals other than this UDA development approval, some specific advices are outlined below. Other advices may include other approvals under the Urban Land Development Authority Act 2007 as well as the Sustainable Planning Act 2009 (e.g. for building work), the Plumbing and Drainage Act 2002 and the Commonwealth Environmental Protection and Biodiversity Act 1999. Carrying out development may also be subject to 'duty of care' legislation such as the Aboriginal Cultural Heritage Act 2003. For advice on other approvals that may be necessary in relation to your proposal, please seek professional advice.

Please note: The above information has been provided to the applicant as an advice only, and does not form part of the development approval conditions. This advice has been provided to the applicant to inform them of other obligations they may have to comply with (under state legislation or local laws) prior to their activity commencing.

Plan Sealing and Uncompleted Works Bonds

EDQ procedures and required forms regarding plan sealing and uncompleted works bonds are contained within the ULDA Certification Procedures Manual downloadable on the EDQ website or contact EDQ on 3024 4150.

**** End of Package ****