

Street species



Brachychiton



Eucalyptus viminalis



Eucalyptus citriodora



Eucalyptus viminalis



Eucalyptus tereticornis



Lophostemon confertus



Lophostemon confertus



Tristaniopsis laurina



Tristaniopsis laurina

Colour and Deciduous species



Jacaranda



Elaeocarpus reticulatus



Hymenosporum flavum



Hymenosporum flavum



Tabebuia impetiginosa



Brachychiton acerifolius



Brachychiton acerifolius



Brachychiton acerifolius



Elaeocarpus reticulatus



Elaeocarpus reticulatus



Xanthostemon chrysanthus



Xanthostemon chrysanthus

Private Front Yard Design

The following front yard designs are provided by the developer when as a guide to the appropriate minimum acceptable standard for the front yard of any proposed dwelling within the development.

The developer will provide this general arrangement for works between the back of kerb to 1.5m behind the front extent of the home as shown on the following diagrams. Works between the property boundary and the back of kerb will be provided by the developer as part of the civil works.

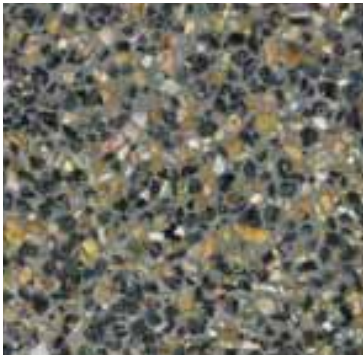
The developer references the layouts and finishes herein as the ‘New Start Package’. Each standard frontage width will have a varying design response however will generally include the following items;

- + 1 x Concrete Driveway cross over (max 4.5m wide for double garage and max 3.5m wide for single garage)
- + 1 x Concrete Driveway between cross over and garage door (max 4.5m wide for double garage and max 3.5m wide for single garage)
- + 1 x Pathway connection between the driveway and the front door 1.2m wide
- + A minimum of 2 (100 litre size) trees exclusive of any street trees for frontages wider than 15m
- + A minimum of 1 (100 litre size) tree exclusive of any street trees for frontages wider than 15m
- + Ground cover and screen planting with organic mulch for a maximum of 15m2
- + 1.8m high boundary fencing between the fronts corner of the house to the side boundary
- + 1 x swing gate with height and finish to match the above fence type for side access to the property
- + Stepping slabs in gravel (5max) to provide access between the driveway and the side gate
- + Extruded concrete (plain grey) to all planting areas
- + 1 x brick pier for letter box (letter box to be provided by the property owner)

Indicative samples of recommended concrete types



‘Summer Gold’



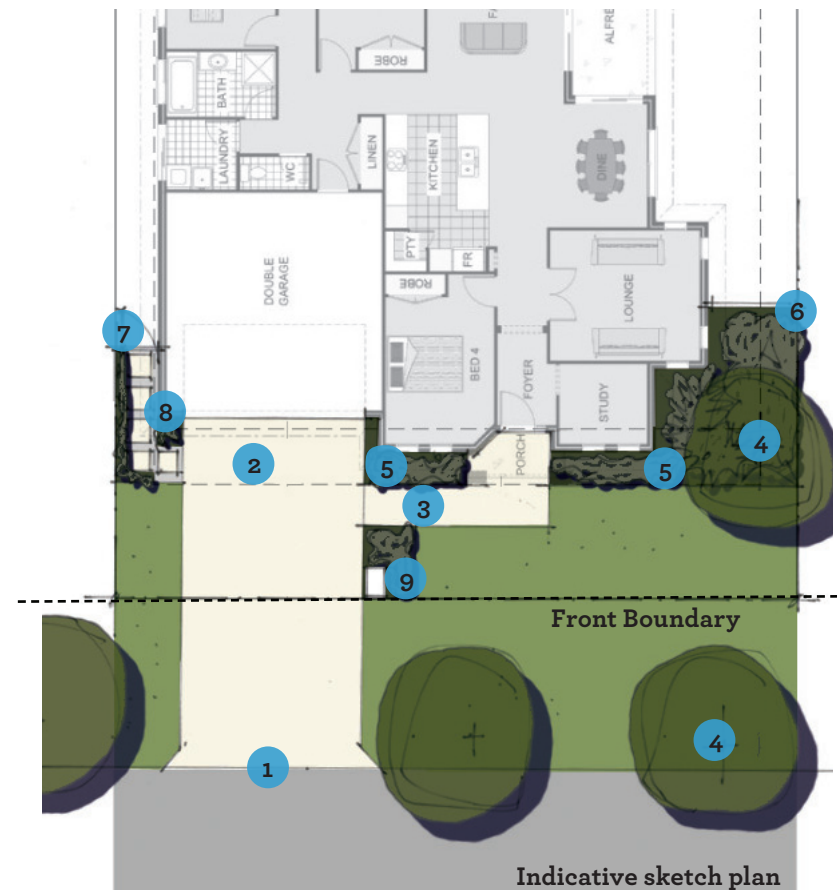
‘Bush Fire’

Premium Traditional Lot 20m wide frontage



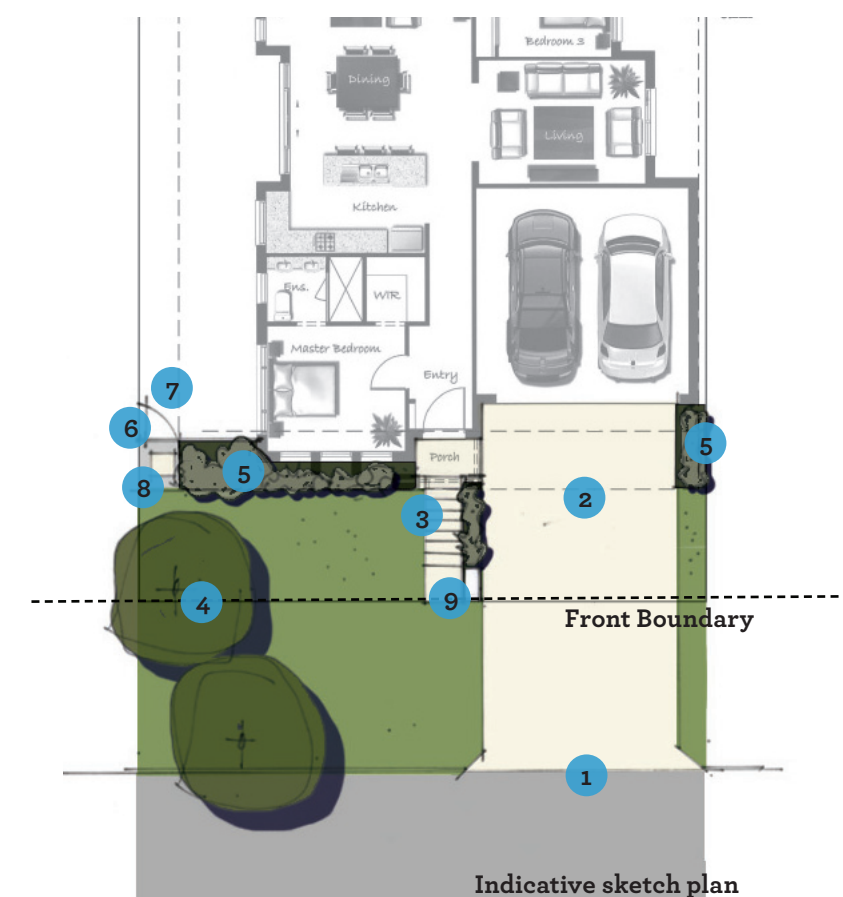
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|---|--|
| 1 Concrete Driveway cross over | 5 Ground cover and screen planting with organic mulch for a maximum of 15m2 with Extruded concrete edging to planting areas |
| 2 Concrete Driveway exposed aggregate to match Boral ‘Summer Gold’ in grey concrete or Boral ‘Bushfire’ in grey concrete | 6 Boundary fence between the fronts corner of the house to the side boundary |
| 3 Pathway connection between the driveway and the front door to match the driveway selection | 7 1 x swing gate |
| 4 100 litre size trees | 8 Stepping (natural grey) slabs in gravel |
| | 9 1 x brick pier for letter box |

Traditional Lot 18 m wide frontage



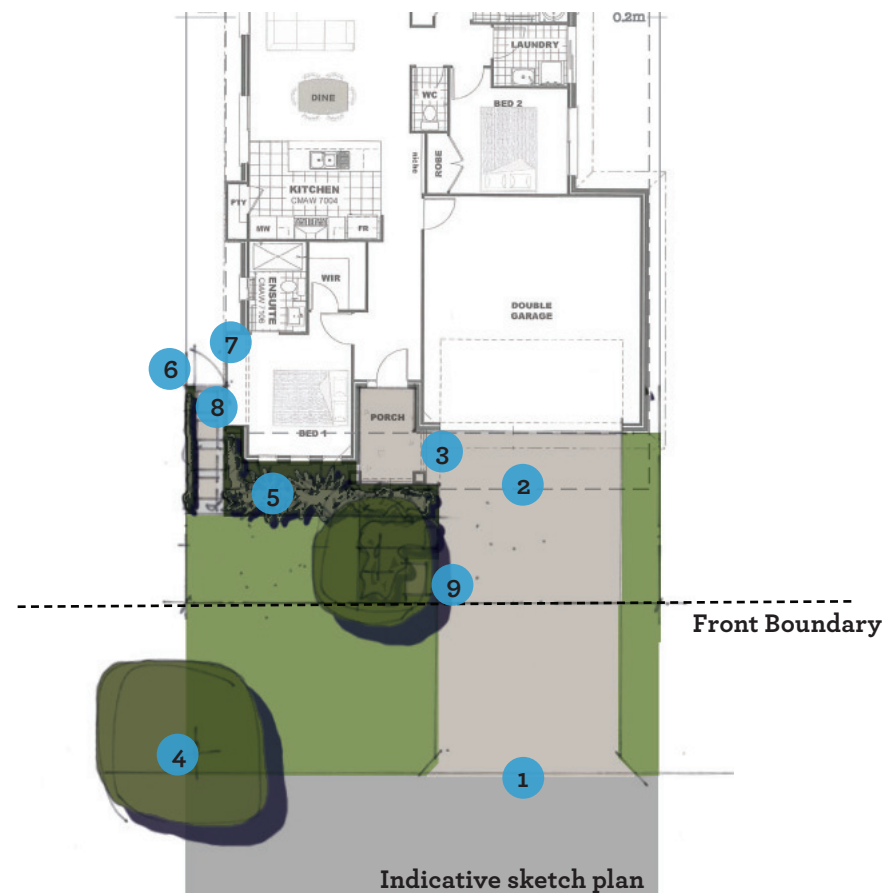
- | | |
|--|---|
| 1 Concrete Driveway cross over | 5 Ground cover and screen planting with organic mulch for a maximum of 15m2 with Extruded concrete edging to planting areas |
| 2 Concrete Driveway exposed aggregate to match Boral 'Summer Gold' in grey concrete or Boral 'Bushfire' in grey concrete | 6 Boundary fence between the fronts corner of the house to the side boundary |
| 3 Pathway connection between the driveway and the front door to match the driveway selection | 7 1 x swing gate |
| 4 100 litre size trees | 8 Stepping (natural grey) slabs in gravel |
| | 9 1 x brick pier for letter box |

Courtyard Lot 14m to 16.5m wide frontage



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|--|---|
| 1 Concrete Driveway cross over | 5 Ground cover and screen planting with organic mulch for a maximum of 15m2 with Extruded concrete edging to planting areas |
| 2 Concrete Driveway exposed aggregate to match Boral 'Summer Gold' in grey concrete or Boral 'Bushfire' in grey concrete | 6 Boundary fence between the fronts corner of the house to the side boundary |
| 3 Pathway connection between the driveway and the front door to match the driveway selection | 7 1 x swing gate |
| 4 100 litre size trees | 8 Stepping (natural grey) slabs in gravel |
| | 9 1 x brick pier for letter box |

Villa 1 Lot 12.5m wide frontage



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| 1 Concrete Driveway cross over | 5 Ground cover and screen planting with organic mulch for a maximum of 15m ² with Extruded concrete edging to planting areas |
| 2 Concrete Driveway exposed aggregate to match Boral 'Summer Gold' in grey concrete or Boral 'Bushfire' in grey concrete | 6 Boundary fence between the fronts corner of the house to the side boundary |
| 3 Pathway connection between the driveway and the front door to match the driveway selection | 7 1 x swing gate |
| 4 100 litre size trees | 8 Stepping (natural grey) slabs in gravel |
| | 9 1 x brick pier for letter box |

Villa 2 Lot 10.5m frontage



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|--|---|
| 1 Concrete Driveway cross over | 5 Ground cover and screen planting with organic mulch for a maximum of 15m ² with Extruded concrete edging to planting areas |
| 2 Concrete Driveway exposed aggregate to match Boral 'Summer Gold' in grey concrete or Boral 'Bushfire' in grey concrete | 6 Boundary fence between the fronts corner of the house to the side boundary |
| 3 Pathway connection between the driveway and the front door to match the driveway selection | 7 1 x swing gate |
| 4 100 litre size trees | 8 Stepping (natural grey) slabs in gravel |
| | 9 1 x brick pier for letter box |

Fencing

Fencing has a strong influence of the look and feel of a neighbourhood. The view from the street should be generally free from barriers and fencing with precedence given to the architecture of the dwelling over the appearance of a fence.

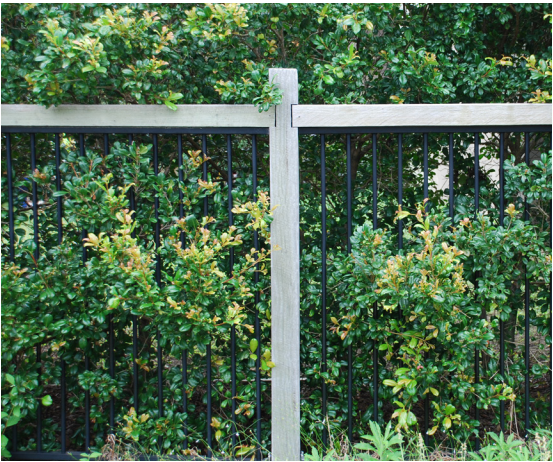
Front fencing is outlawed. All other seide and rear fencing is outlined as per below.

General requirements;

- + Side and rear fencing is permitted and is to be a minimum of ‘good neighbour’ treated hardwood offset paling fence type to a height of 1.8m. Any other type of fencing is to be approved by the developer prior to installation.
- + All fencing is to be installed within 3months of occupancy of the dwelling Rear fencing facing a parkland or open space is to be 1.2m high tubular steel powder coated black. Fencing to include 90 x 75mm treated hardwood top rails and 90 x 75mm timber posts and are to be provided by the developer.
- + Side fencing for corner lots facing a street is to be a ‘good neighbour’ treated hardwood offset paling fence type to a height of 1.8m. Side fencing on corner lots is to be provided by the developer and will include a landscape treatment to the road side frontage.



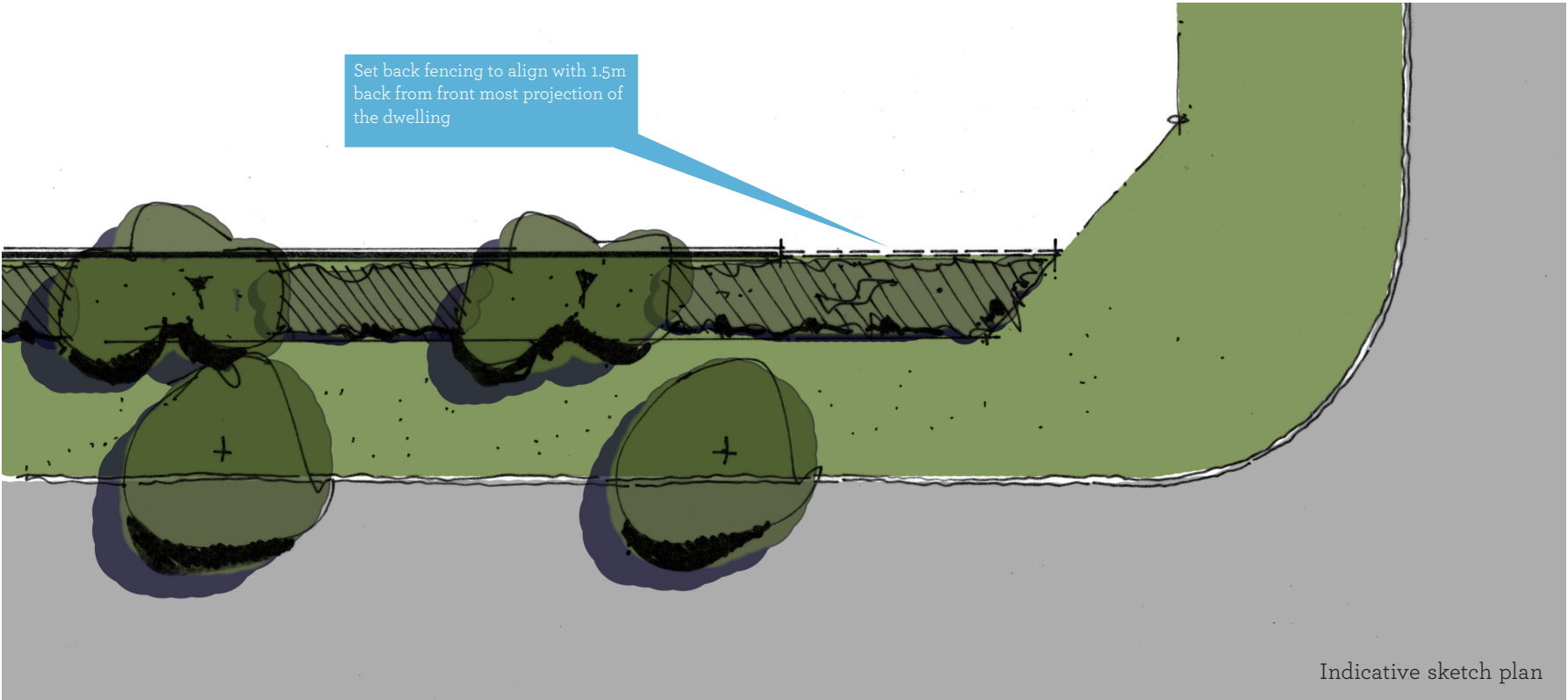
‘good neighbour’ treated hardwood offset paling fence type to a height of 1.8m



Rear fencing facing a parkland or open space is to be 1.2m high tubular steel powder coated black. Fencing to include 90 x 75mm treated hardwood top rails and 90 x 75mm timber posts and are to be provided by the developer.



Side fencing for corner lots facing a street is to be a ‘good neighbour’ treated hardwood offset paling fence type to a height of 1.8m. Side fencing on corner lots is to be provided by the developer and will include a landscape treatment to the road side frontage.



Indicative sketch plan

Fence treatment and 1.5m to 2.0m wide planting area as per acceptable solution type

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