



12 October 2010

ULDA Ref No: DEV2010/059

Penny Cooper
Citimark Properties Pty Ltd
c/- RPS
PO Box 1559
FORTITUDE VALLEY QLD 4006

Dear Penny

Re: Decision Notice - UDA development application for a Material Change of Use for Multiple Residential (208 units) and Food Premises, Medical Centre, Office, Service Industry and Shop (541 m2) at 35A Hercules Street, Hamilton described as Lot 901 on SP169072 and part of 907 on SP169072.

I am pleased to inform you that on the 12 October 2010, the above mentioned UDA development application was approved in accordance with the attached UDA Development Approval Package.

This application and its decision can also be viewed in the ULDA Development Application Register via our website www.ulda.qld.gov.au.

If you have any further questions with regard to the matter, please contact me on 3024 4165.

Yours sincerely

A handwritten signature in black ink that reads "A. Fenwick".

Adele Fenwick
PLANNER

Address of Site	35A HerculesSt Hamilton Qld 4007
Real Property Description	Lot(s) 901 and 907 on SP169072,
Aspects of Development and Type of Approval	Material Change of Use - Mixed Use (Multiple residential [208 units] Food Premises, Medical Centre, Office, Service Industry, and Shop)
ULDA Reference Number	DEV2010/059
Package Approved	12 October 2010
Decision	APPROVED

Approved Drawings or Documents	Number	Plan or Document Date
Site Plan	SD 1002 Rev DA Issue	16/08/2010
Floor Plan – Basement 01	SD 2001 Rev DA Issue	16/08/2010
Floor Plan – Ground Floor	SD 2002 Rev DA Issue	16/08/2010
Floor Plan – Level 01	SD 2003 Rev DA Issue	16/08/2010
Floor Plan – Level 02	SD 2004 Rev DA Issue	16/08/2010
Floor Plan – Level 03	SD 2005 Rev DA Issue	16/08/2010
Floor Plan – Level 04	SD 2006 Rev DA Issue	16/08/2010
Roof Plan - Lower	SD 2101 Rev DA Issue	16/08/2010
Roof Plan - Upper	SD 2102 Rev DA Issue	16/08/2010
North Elevation	SD 3001 Rev DA Issue	16/08/2010
East Elevation	SD 3002 Rev DA Issue	16/08/2010
South Elevation	SD 3003 Rev DA Issue	16/08/2010
West Elevation	SD 3004 Rev DA Issue	16/08/2010
Section A	SD 3101 Rev DA Issue	16/08/2010
Section B	SD 3102 Rev DA Issue	16/08/2010
Street Sections	SD 3110 Rev DA Issue	16/08/2010
Building 6 Portside Schematic Design	BR005719000-SD 01 Issue B	17/08/2010
Building 6 Portside Schematic Design	BR005719000-SD 02 Issue B	17/08/2010
Unit Plan: B3 Universal Access	SD 10004 Issue C	09/10/2010
Unit Plan: B4 Universal Access	SD 10005 Issue C	09/10/2010
Affordable Component		10/09/2010
Cundall - ULDA Development Application : Sustainability 10002360 Building 6, Hercules St, Hamilton	Rev C	09/09/2010
MWA - Environmental Amenity Impact Assessment Building 6 Development Application Portside Wharf Development Hamilton	Building 6 DA report	16/08/2010
Bornhorst & Ward – Engineering Report for the Proposed Portside Wharf – Building 6	Rev c	08/2010

Adele Fenwick Planner Development Assessment Urban Land Development Authority	Phillip Kohn Environmental Planner Planning section Urban Land Development Authority
Con de Groot Principal Engineer Development Assessment Urban Land Development Authority	Emma Greenhalgh Principal Planner Affordable Housing Urban Land Development Authority

CONDITION		TIMING
1	Carry out the approved development Carry out the approved development generally in accordance with the approved plans and documents.	Prior to the commencement of use.
2	Complete all Operational and Building Works Complete all operational work associated with this development approval, including work required by any of the following conditions. Such operational work is to be carried out generally in accordance with the approved plans.	Prior to commencement of use
3	Construction Management Plan a) Prepare and submit to the ULDA a site based construction management plan that includes but is not limited to: • provision for the management of traffic around and through the site during and outside of construction work hours • provision for parking and materials delivery during and outside of construction hours of work • management of dust generated from the site during and outside construction work hours; • management of sedimentation and erosion which complies with Brisbane City Council's Erosion and Sediment Control Standard (Version 9 or later). • management of groundwater and surface water collection, treatment and disposal; The construction management plan shall be prepared in consultation with the professionals responsible for individual site related management plans to ensure that all aspects of the construction and environmental management are included. The construction management plan shall be reviewed and approved by the principal consultant overseeing and certifying the construction works. b) All work shall be undertaken in accordance with the construction management plan which must be current and available on site at all times during the construction period.	a) Prior to commencement of site works b) During site works and prior to the commencement of use.

CONDITION	TIMING
4 Sewer & Water Connection a) Seek and obtain approval from Brisbane City Council to connect into the existing water and sewerage infrastructure. Submit for approval to the Brisbane City Council Engineering plans showing the design of any sewer property connections to serve the development. A Registered Professional Engineer of QLD (RPEQ) is to verify the plan and ensure the design is in accordance with Brisbane City Council's current Sewerage Standards. b) Construct the sewer and water connection in accordance with the approved plans required in part (a) of this condition. Submit to the Brisbane City Council and the ULDA as-constructed plans verified by a Registered Professional Engineer of QLD (RPEQ) confirming all works have been completed in accordance with the approved plans c) Provide to the ULDA all approval correspondence from BCC relating to part (a) of this condition.	a) Prior to the commencement of site works b) Prior to commencement of use c) Prior to commencement of use
5 Service, meter assembly & meter box Provide a water service, approved meter assembly and meter box to the boundary of proposed development in accordance with the <i>WSA 03-2002 Water Supply Code of Australia V2.3</i> and Brisbane City Council's <i>Supplementary Manual</i>.	Prior to the commencement of use.
6 Stormwater system Connect the internal stormwater lines to the existing gully pit in Hercules Street as per Bornhurst & Ward <i>'Engineering Report For the Proposed Portside Wharf – Building No 6 dated August 2010'</i>	Prior to the commencement of use
7 Easements over infrastructure – water supply, sewerage, drainage Where public utilities are located on private land, public utility easements must be provided in favour and at no cost to Brisbane City Council. The terms of the easements must be to the satisfaction of the Chief Executive Officer.	Prior to the commencement of use.
8 Soil Erosion and Sediment Control Prior to plans being endorsed the applicant shall submit an Erosion and Sediment Control Plan (ESCP) which complies with Brisbane City Council's Erosion and Sediment Control Standard (Version 9 or later).	Prior to commencement of works on site
9 Filling and Excavation. a) Submit to the ULDA an earthworks plan and cross sections, checked and certified by a Registered Professional Engineer of Queensland (RPEQ-Civil). This is to be in accordance with Brisbane City Council's <i>Filling and Excavation Code</i> and <i>Subdivision and Development Guidelines</i>. The plan is to demonstrate that the finished level of all allotments is at least the ARI 100 flood level plus 300mm. b) Submit certification from a RPEQ specialising in geotechnical engineering stating that all constructed cut/fill batters and/or retaining structures have achieved adequate stability with a factor of safety greater than 1.5 and that all cut and fill operations have been carried out in accordance with <i>AS3798</i> and any unsuitable material encountered has been treated or replaced with suitable replacement material.	a) Prior to the commencement of works b) Prior to the commencement of use.

CONDITION	TIMING
10 Acid Sulphate a) Submit to the ULDA an Acid Sulphate Management Plan (ASMP), prepared and certified by a suitable qualified and experienced professional. The ASMP shall be reviewed and approved by the principal consultant overseeing and certifying the construction works. b) All work shall be undertaken in accordance with the construction management plan which must be current and available on site at all times during the construction period.	a) Prior to the commencement of works b) During the site works.
11 Electricity (Underground Supply Area) Provide underground electricity services in accordance with an approved electricity reticulation plan and the Brisbane City Council's <i>Subdivision and Development Guidelines</i>.	Prior to the commencement of use.
12 Telecommunications a) Enter into an agreement with a telecommunication carrier to provide underground telecommunication services within and adjacent to the proposed development in accordance with Brisbane City Council's <i>Subdivision and Development Guidelines</i>. b) Construct services in accordance with the agreement.	Prior to the commencement of use.
13 Service Conduits & Mains Supply and install all service conduits and meet the cost of any alterations to public utility mains, existing mains, services or installations required in association with the approved development in accordance with Brisbane City Council's <i>Subdivision and Development Guidelines</i>.	Prior to the commencement of use.
14 Repair damage to Kerb, Footpath or Road Repair any damage to existing kerb and channel, footpath or roadway (including removal of concrete slurry from footpaths, roads, kerb and channel and stormwater gullies and drainlines) that may occur during any works carried out in association with the approved development	Prior to the commencement of use
15 Community Management Statement Any Community Management Statement prepared under the Body Corporate and Community Management Act 1997 is to contain a copy of all conditions in the approval package which are applicable to the ongoing use.	Prior to the commencement of use and to be maintained
16 Public Lighting Enter into an agreement with an electricity supplier to provide a lighting system. Install and maintain a suitable system of lighting to operate from dusk to dawn within all areas where the public will be given access.	Prior to commencement of use and to be maintained
17 Public Access – 24 hours through site Provide and maintain unimpeded and safe 24-hour public access through the public plaza area linking Hercules Street with the Portside Wharf Retail Mall, and ensure that access ways are designed to cater for disabled persons in accordance with "Australian Standard AS1428.1".	At all times

CONDITION	TIMING
18 Acoustic treatment a) Submit to the ULDA written confirmation from a Registered Professional Engineer of Queensland (RPEQ) who is suitably qualified in acoustic engineering, that the development has been constructed to meet the objectives for controlling noise intrusion into both the residential and commercial buildings specified within the approved document entitled <i>Environmental Amenity Impact Assessment Building 6 Development Application Portside Wharf Development Hamilton</i>- prepared by MWA for Citimark Properties, dated 16 August 2010. b) All recommendations to mitigate potential noise impacts made in the <i>Environmental Amenity Impact Assessment</i> report will be incorporated into the project design and during the construction and operational stages.	a) Prior to commencement of use b) Prior to commencement of use and to be maintained
19 Sustainability The design and delivery of the development will incorporate all elements of sustainability (P1 to P15) as per recommendations in the approved sustainability report prepared by Cundall for Citimark, titled <i>ULDA Development Application: Sustainability 10002360 Building 6, Hercules St, Hamilton</i>, Rev C dated 9 September 2010.	Prior to the commencement of use and then to be maintained

CONDITION	TIMING
20 Streetscape Works a) Prepare and submit to the ULDA for approval Streetscape Works Plan detailing proposed works to be undertaken within the Hercules Street Portside Wharf Retail Mall footpath reserves. The plans are to detail: • appropriate pavement treatments including finished surface levels, cross-falls and longitudinal grades • street tree location and species, the ground preparation works and we month maintenance plan • location of lighting within the development demonstrating how it will supplement the existing external street lighting and contribute to a safe environment] • location of driveways and pedestrian access. Tactile pavers should be used in all driveways and kerb ramps in accordance with AS1428.4 • road uses adjacent to the kerbing (e.g. public transport stops, parking bays, No Standing zones etc). • awning location and treatment The plan is to be prepared by an Australian Institute of Landscape Architects registered landscape architect. b) Undertake the works in accordance with the approved streetscape works required under part A of this condition. Works are to be carried out in accordance with the following standards: • AS1428.1 Design of Access and Mobility • AS1428.4 Tactile Ground Surface Indicators • Best Trade Practice (Part B of the Compliance Certificate – Landscape Works) • AS/NZA 1158.3.1, 1999 pedestrian Area Lighting This work is to be certified by a suitably qualified urban design/landscape architect or registered Practicing Engineer – Queensland RPEQ professional in accordance with the ULDA Certification Procedures Manual and to the satisfaction of the ULDA. On completion of this work submit written certification and “as constructed” plans to the ULDA demonstrating compliance with this condition.	a) Prior to commencement of use b) Prior to commencement of use
21 Detailed Landscape Plan a) Submit to the ULDA for approval a detailed landscape plan generally in accordance with approved Landscape Plans BR005719000-SD 01 Issue B and BR005719000-SD 02 Issue B. The plan is to be prepared by an Australian Institute of Landscape Architects registered landscape architect. b) Undertake the works in accordance with the approved detailed landscape plan specified in part (a) of this condition and provide written confirmation from an Australian Institute of Landscape Architects registered landscape architect or a BSA, QLD licensed and experienced landscape contractor that the works comply with the submitted landscape plan.	Prior to commencement of use

CONDITION		TIMING															
22	Affordable Housing Contribution a) Deliver 5% of product as affordable housing in accordance with approved document titled Affordable Component dated 10/09/2010. b) Provide written evidence that part (a) of this condition has been complied with.	a) Prior to commencement of use b) Prior to commencement of use															
23	Accessible Housing Deliver 10% of dwelling units as accessible housing. This equates to 1,494.39m²GFA. The dwelling units are to be constructed in accordance with the following approved plans: - Unit Plan: B3 Universal Access , SD 10004 Issue C, dated 09/10/2010 - Unit Plan: B4 Universal Access, SD 10005 Issue C, dated 09/10/2010	Prior to the commencement of use.															
24	Infrastructure Contributions Pay to the Urban Land Development Authority a monetary contribution towards the cost of the provision of essential infrastructure. The contribution has been calculated in accordance with the ULDA's <i>Interim Infrastructure Framework</i> (The Framework) which will apply for all development approvals issued prior to 30 June 2011. The Framework specifies that the charge will be adjusted each July in accordance with the 5 year rolling average of the Road and Bridge Construction Queensland Index. The current applicable charge is: <table border="1"> <thead> <tr> <th>GFA type</th><th>Cost</th><th>Total</th></tr> </thead> <tbody> <tr> <td>112 Small units @ <60m²GFA</td><td>\$11,235 per unit</td><td>\$1,258,320.00</td></tr> <tr> <td>96 medium units @60m² to 100m²GFA</td><td>\$15,685 per unit</td><td>\$1,505,760.00</td></tr> <tr> <td>541m² retail</td><td>\$13,460 per 100m² GFA</td><td>\$72,818.60</td></tr> <tr> <td>TOTAL</td><td></td><td>\$2,836,898.60*</td></tr> </tbody> </table> <i>*Charge will be adjusted each July in accordance with the 5 year rolling average of the Road and Bridge Construction Queensland Index</i>	GFA type	Cost	Total	112 Small units @ <60m ² GFA	\$11,235 per unit	\$1,258,320.00	96 medium units @60m ² to 100m ² GFA	\$15,685 per unit	\$1,505,760.00	541m ² retail	\$13,460 per 100m ² GFA	\$72,818.60	TOTAL		\$2,836,898.60*	Prior to the commencement of use.
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541m ² retail	\$13,460 per 100m ² GFA	\$72,818.60															
TOTAL		\$2,836,898.60*															

STANDARD ADVICE

Brisbane City Council (BCC) or Queensland Urban Utilities (QUU) Endorsement

For any conditions in this package that require the consideration of BCC or QUU, you will need to submit the relevant forms, plans and/or reports and fee to the entity nominated in the condition/s. When satisfied that the condition has been met, the applicable entity will issue a response in the manner required by the condition/s (e.g. a letter of endorsement or authorisation, an approval or a permit).

Noise and Dust Emissions

All development involving the emission of noise and dust from building/construction activities requires that the emission be in accordance with the requirements of the *Environmental Protection Act 1994*.

Pursuant to Division 3 Section 440R of the Environmental Protection Act 1994, a builder or building contractor must not carry out building work on a building site in a way that makes or causes audible noise to be made from the building work-

- (a) on a Sunday or public holiday, at any time; or
- (b) on a Saturday or business day, before 6:30am or after 6:30pm.

Advertising Signs

Brisbane City Council is responsible for administering the Local Law that regulates how, where and what kind of advertising signs can be displayed outdoors in Brisbane. For further information please contact BCC Licence & Compliance on 3403 8888.

Food Hygiene

All development involving the preparation, packing, storing, handling, serving, selling or carrying of food requires that its design, installation and operation be approved pursuant to the *Food Hygiene Regulations of 1989*. The premises are required to be registered and the operator is to hold a licence with Brisbane City Council to operate the business under the above regulations.

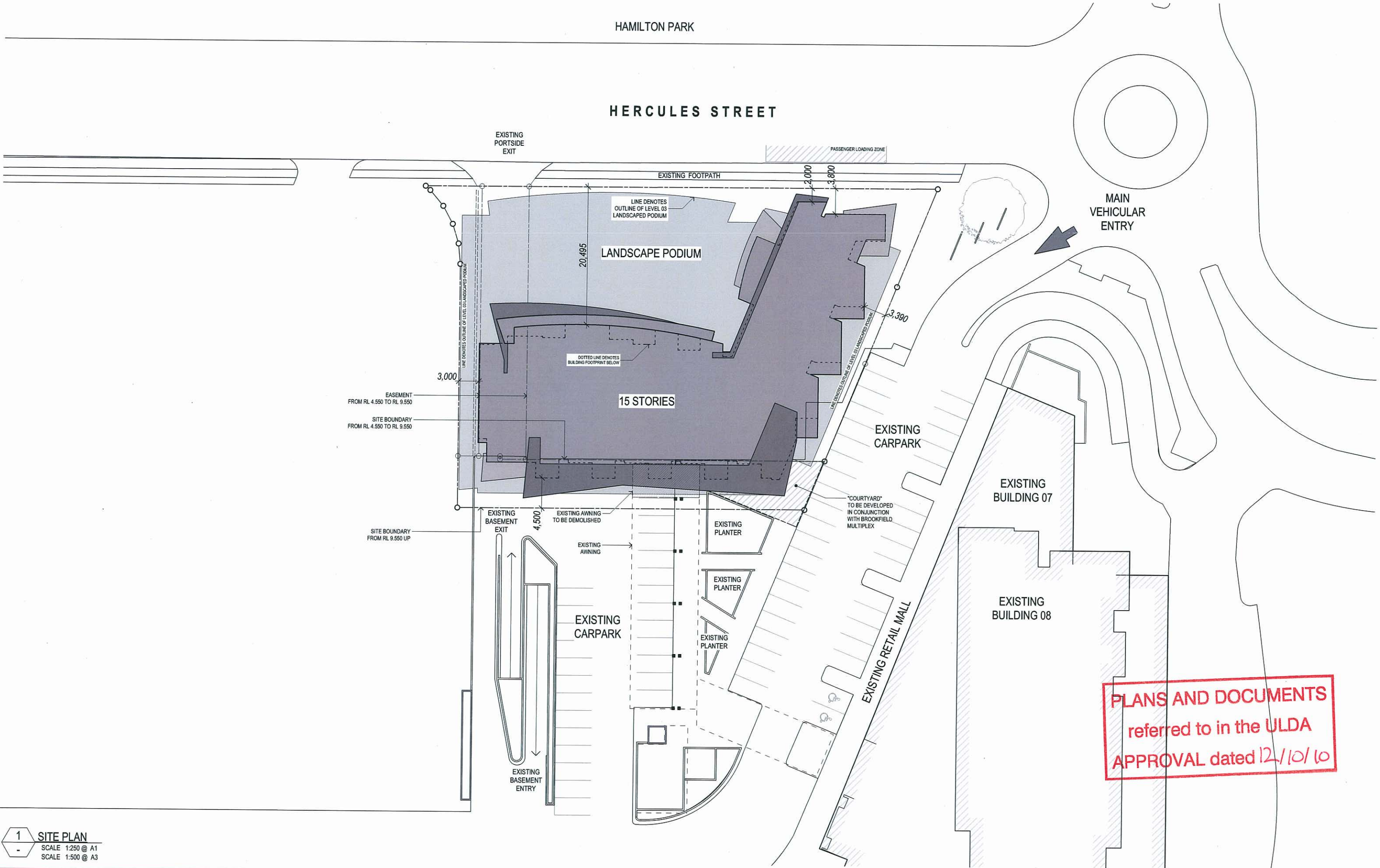
Prior to building works plans and specifications are to be lodged for approval to Brisbane City Council-Licensing & Compliance.

Equitable Access

Ensure that there is equitable access for disabled persons to and within the site in accordance with the Queensland Anti-Discrimination Act 1991, the Federal Disability Discrimination Act 1982 and Australian Standard AS1428 Parts 1-4 Australian Standard for Access and Mobility.

You are notified of your responsibility to ensure that access is appropriately designed and constructed for all users as required by relevant legislation and standards. This development of compliance with these requirements is the sole responsibility of the owner/builder/developer of the proposal.

Please note: The above information has been provided to the applicant as an advice only, and does not form part of the development approval conditions. This advice has been provided to the applicant to inform them of other obligations they may have to comply with (under state legislation or local laws) prior to their activity commencing.



1 SITE PLAN
SCALE 1:250 @ A1
SCALE 1:500 @ A3

Schematic

BUILDING 6 PORTSIDE HAMILTON

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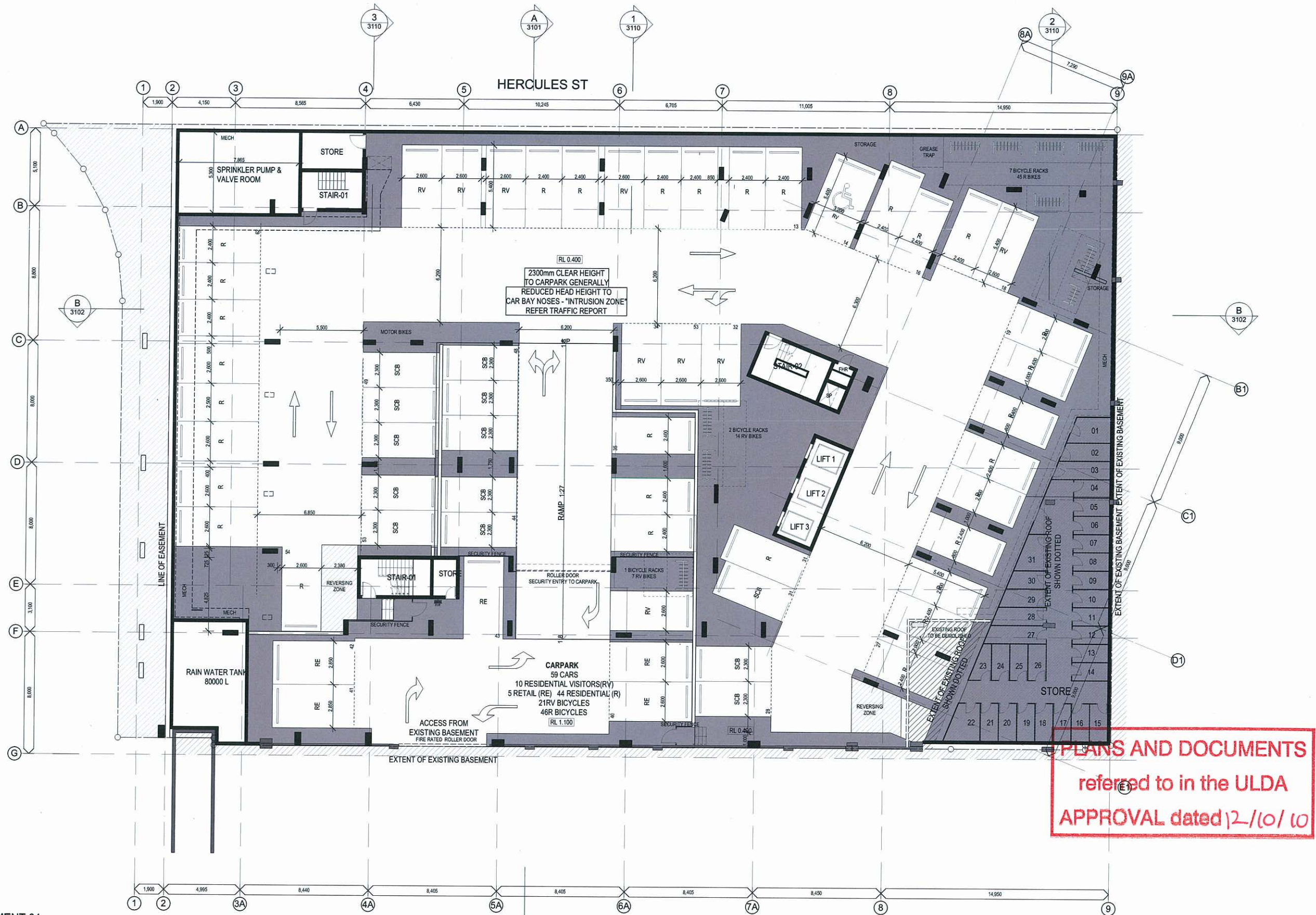
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Issue	Revision	Date	In.		
Amendments					

Client
CITIMARK
Project Name and Location
BUILDING 6 PORTSIDE HAMILTON, HERCULES ST, HAMILTON
Drawing Title
SITE PLAN

Scale
As Shown
Date
MAY 2010
Job no.
09004025
Drawn
LM
Checked
ND
Approved
ND
Drawing no.
SD 1002
Issue
00

Cottee Parker Architects Pty Ltd
ABN 77 010 924 106
Brisbane Office
201 Montague Road
West End QLD 4101
T 617 3846 7422
F 617 3846 7433
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1 FLOOR PLAN - BASEMENT 01
SCALE 1:125 @ A1
SCALE 1:250 @ A3

Schematic

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Issue	Revision	Date	In.
Amendments			

Client
CITIMARK

Project Name and Location
BUILDING 6 PORTSIDE HAMILTON, HERCULES ST, HAMILTON

Drawing Title
FLOOR PLAN - BASEMENT 01

Scale
As Shown

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Drawing no.
SD 2001

Date
MAY 2010

Checked
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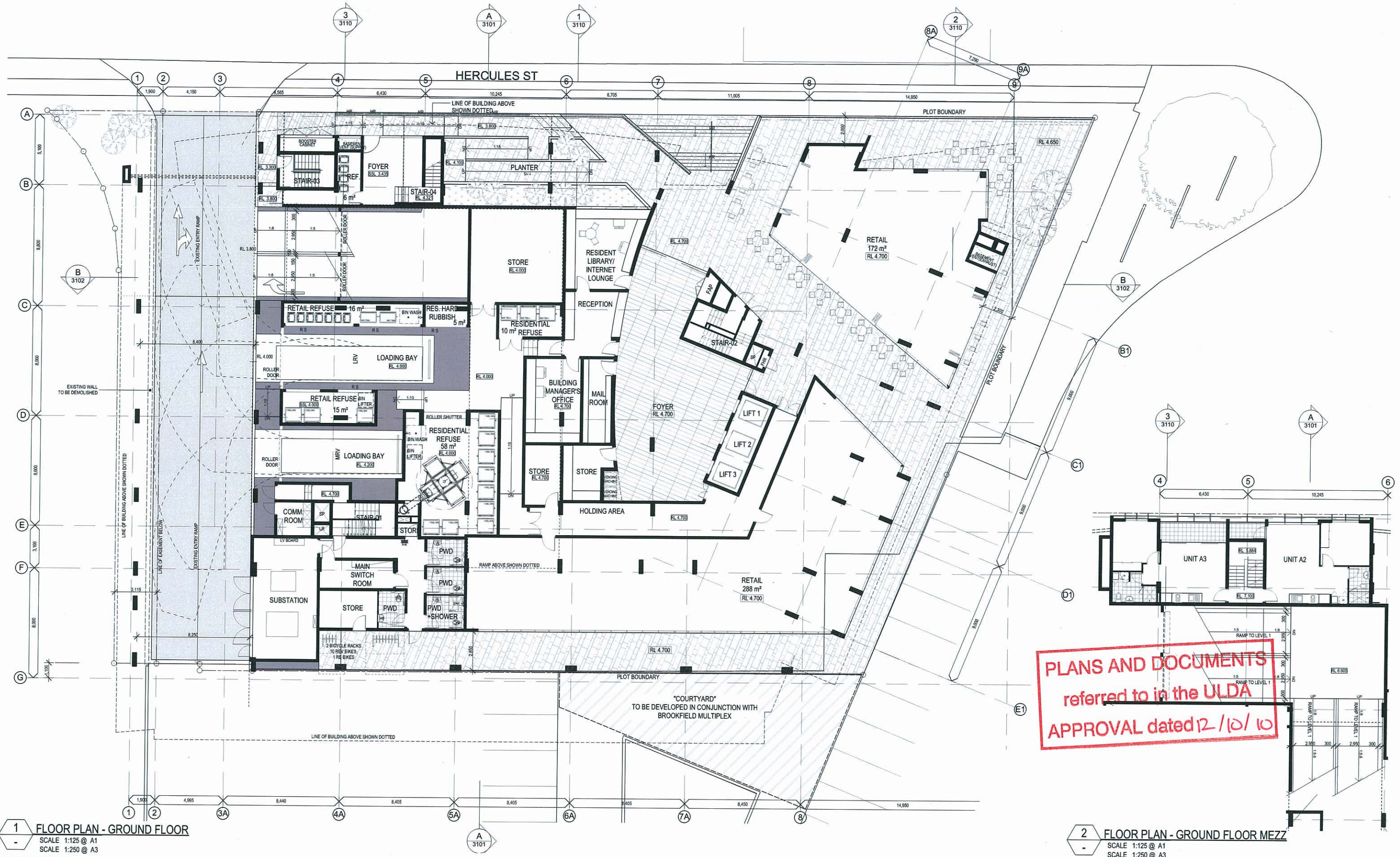
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Issue
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T 617 3846 7422
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Schematic

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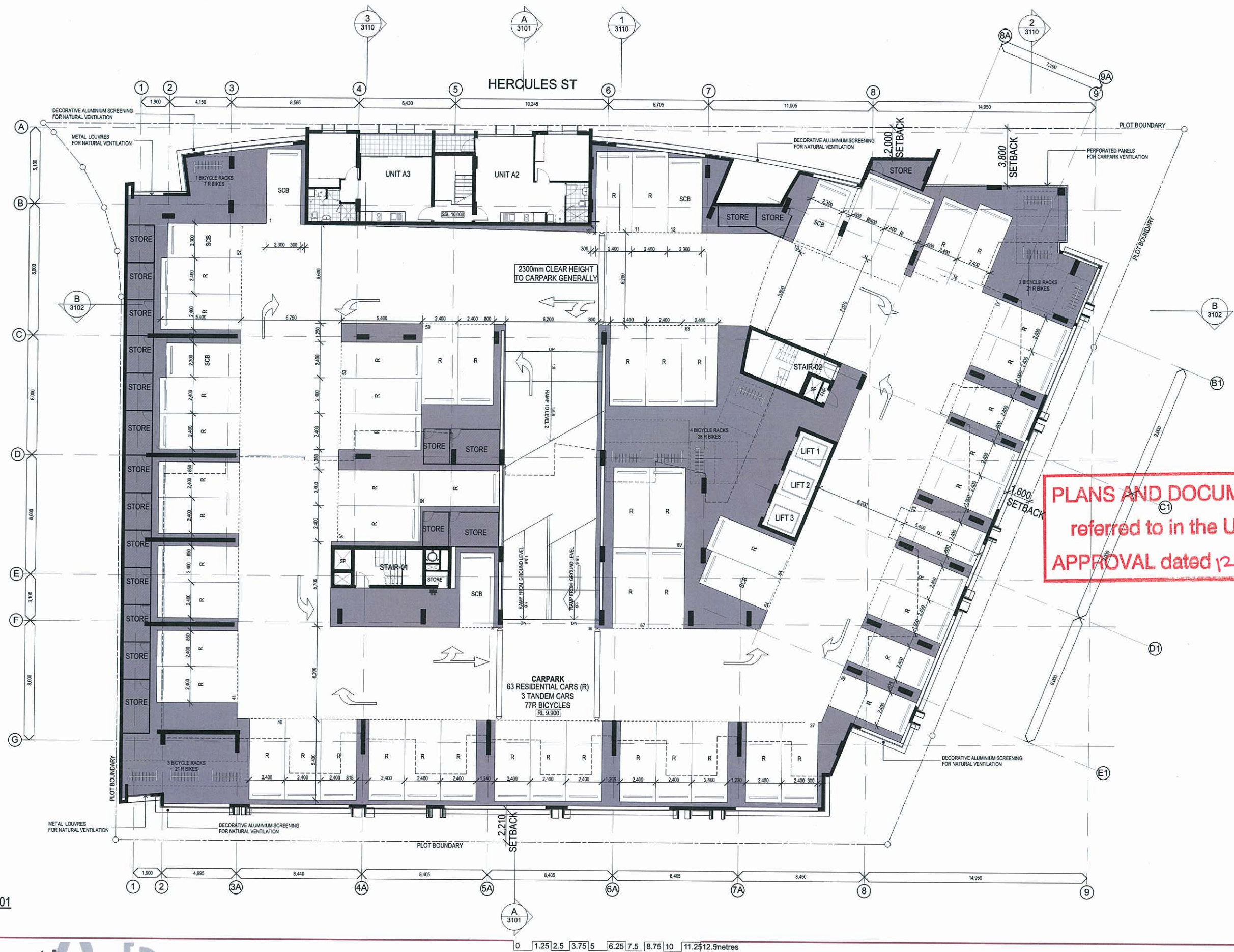
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Issue	Revision	Date	In.
Amendments			

Client
CITIMARK
Project Name and Location
BUILDING 6 PORTSIDE HAMILTON, HERCULES ST, HAMILTON
Drawing Title
FLOOR PLAN - GROUND FLOOR

Scale
As Shown
Date
MAY 2010
Job no.
09004025
Drawn
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Checked
ND
Approved
ND
Drawing no.
SD 2002
Issue
00

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ABN 77 010 924 106
Brisbane Office
201 Montague Road
West End QLD 4101
T 617 3846 7422
F 617 3846 7433
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1 FLOOR PLAN - LEVEL 01
SCALE 1:125 @ A1
SCALE 1:250 @ A3

Schematic

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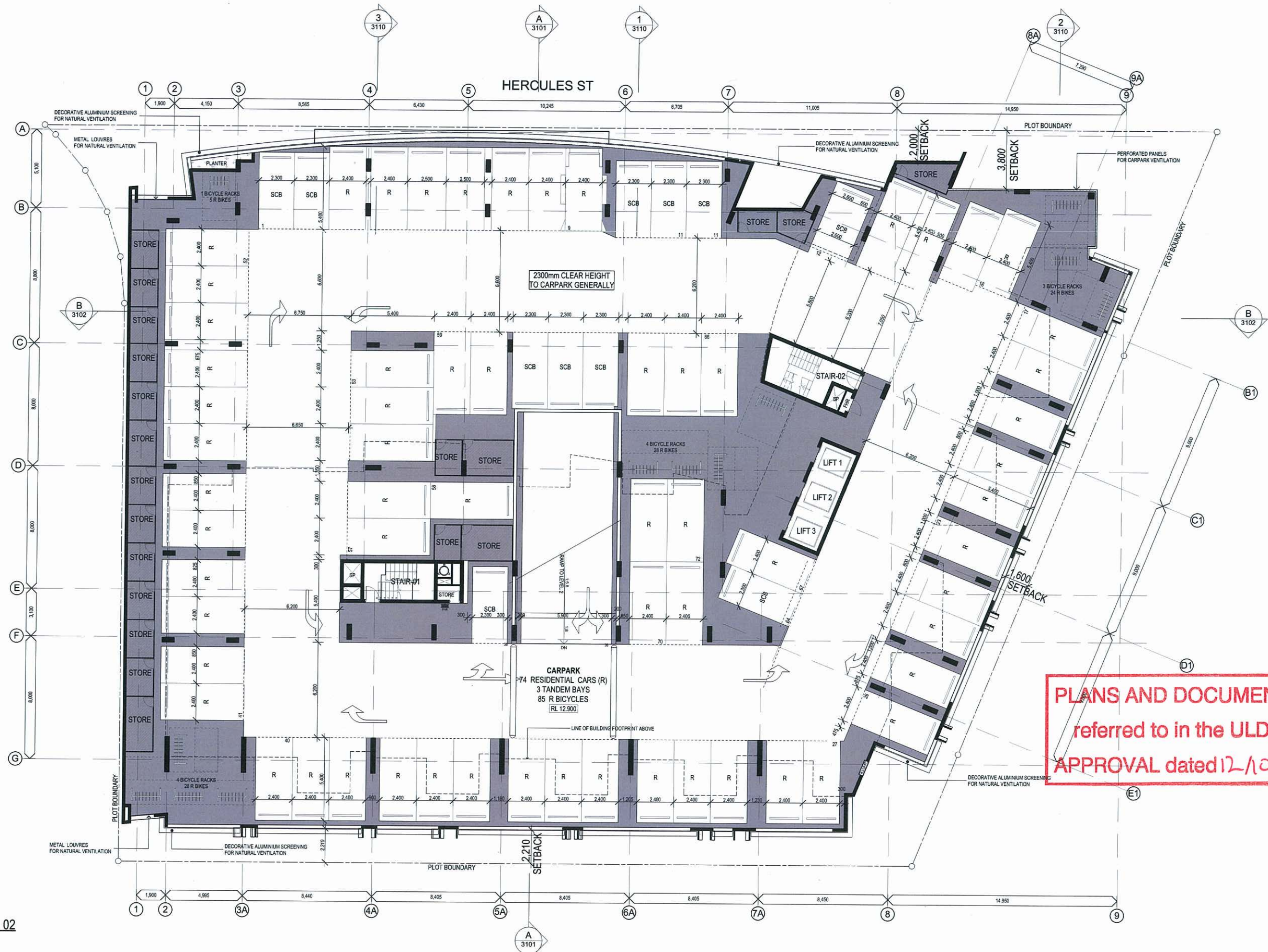
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Amendments			

Client
CITIMARK
Project Name and Location
BUILDING 6 PORTSIDE HAMILTON, HERCULES ST, HAMILTON
Drawing Title
FLOOR PLAN - LEVEL 01

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1 FLOOR PLAN - LEVEL 02
SCALE 1:125 @ A1
SCALE 1:250 @ A3

Schematic

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Issue	Revision	Date	In.
Amendments			

Client
CITIMARK

Project Name and Location
BUILDING 6 PORTSIDE HAMILTON, HERCULES ST, HAMILTON

Drawing Title
FLOOR PLAN - LEVEL 02

Scale
As Shown

Date
MAY 2010

Job no.
09004025

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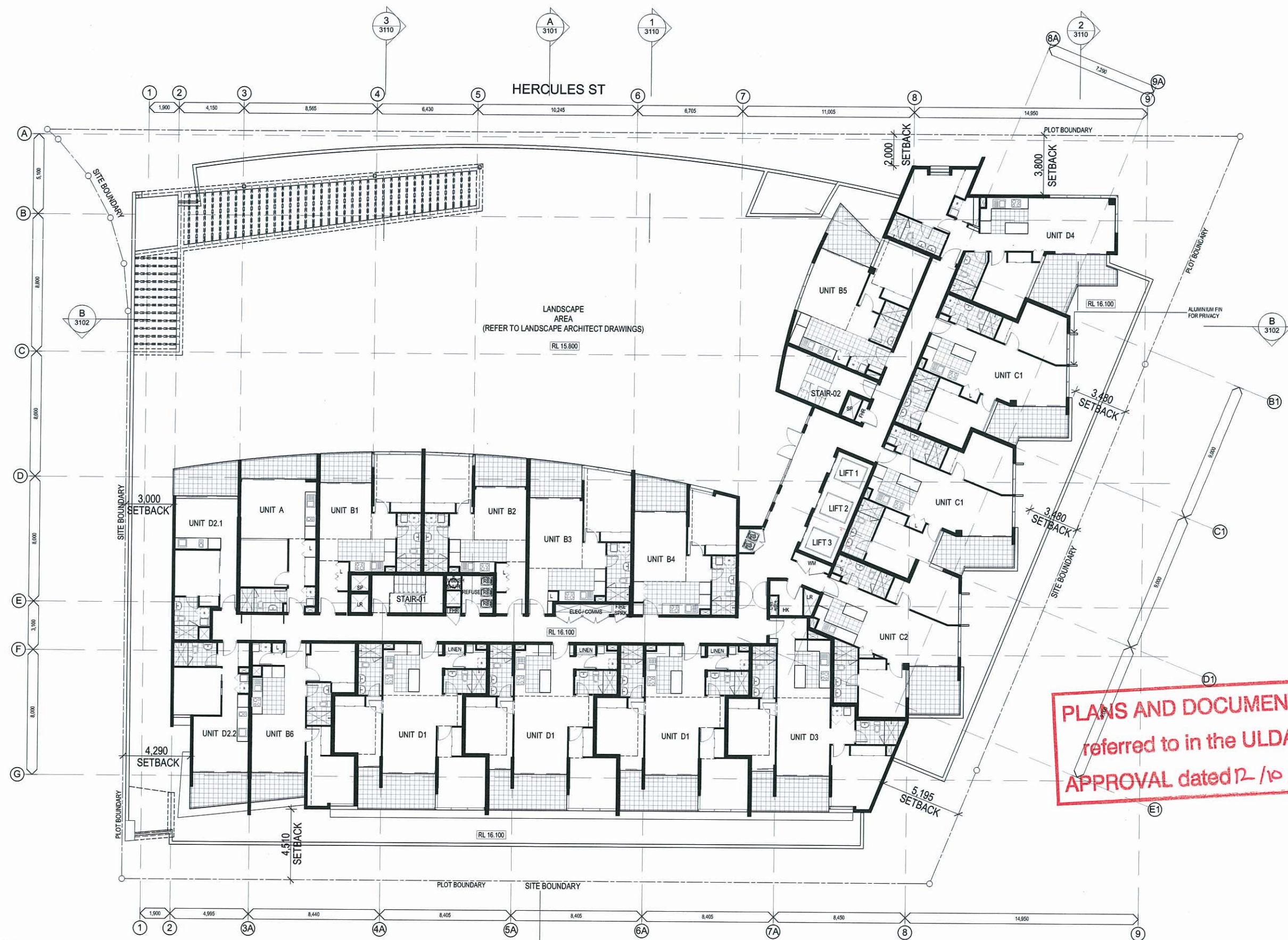
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Issue
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1 FLOOR PLAN - LEVEL 03
SCALE 1:125 @ A1
SCALE 1:250 @ A3

Schematic

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Issue	Revision	Date	In.
00	DA ISSUE	16/08/2010	LM
	Issue		
	Revisions		
	Amendments		

Client
CITIMARK

Project Name and Location
BUILDING 6 PORTSIDE HAMILTON, HERCULES ST, HAMILTON

Drawing Title
FLOOR PLAN - LEVEL 03

Scale
As Shown

Date
MAY 2010

Job no.
09004025

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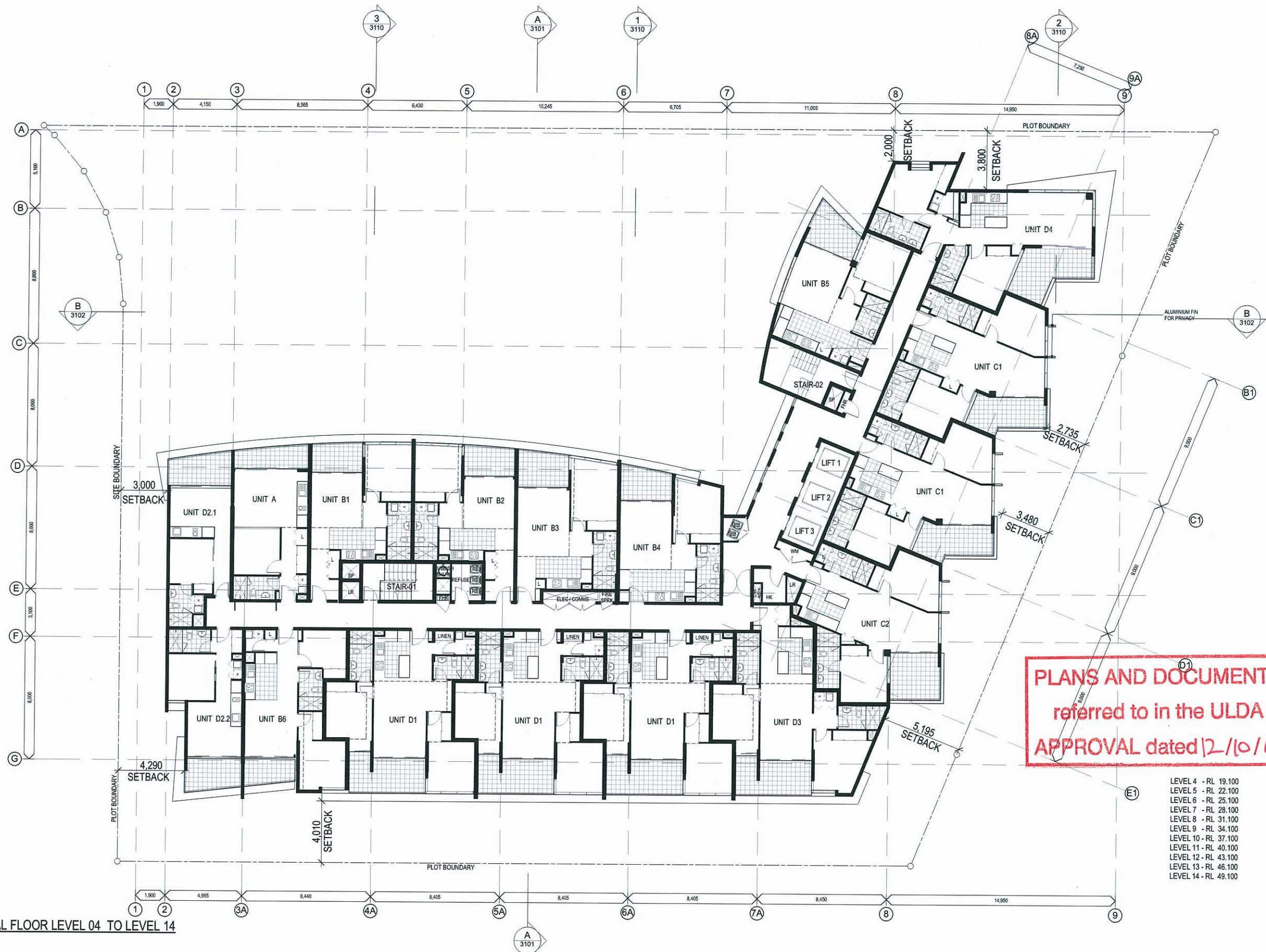
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Drawing no.
SD 2005

Issue
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ABN 77 010 924 106
Brisbane Office
201 Montague Road
West End QLD 4101
T 617 3846 7422
F 617 3846 7433
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1 TYPICAL RESIDENTIAL FLOOR LEVEL 04 TO LEVEL 14
SCALE 1:125 @ A1
SCALE 1:250 @ A3

Schematic

BUILDING 6 PORTSIDE HAMILTON

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0 1.25 2.5 3.75 5 6.25 7.5 8.75 10 11.25 12.5metres

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Issue	Revision	Date	In.
Amendments			

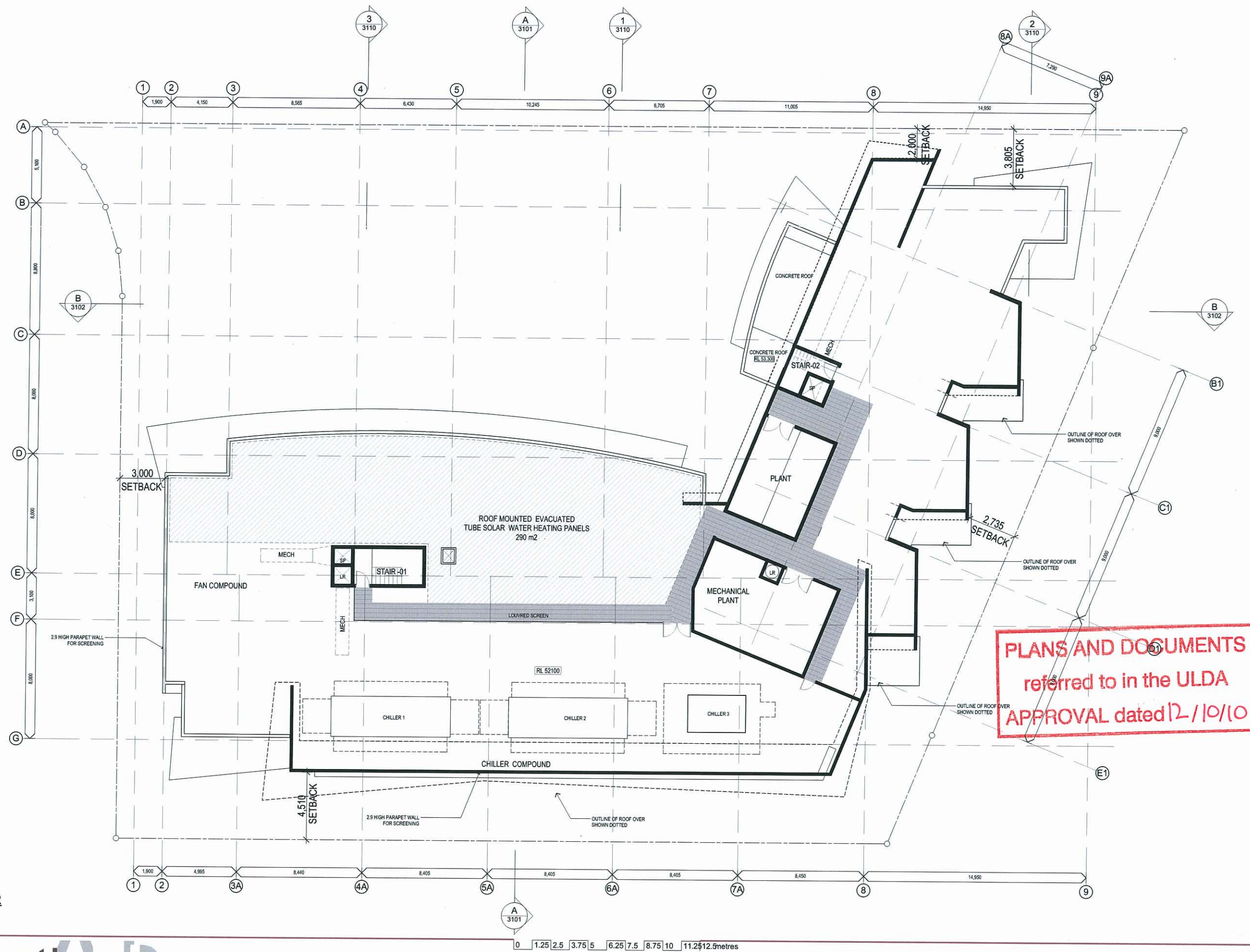
Client
CITIMARK
Project Name and Location
BUILDING 6 PORTSIDE HAMILTON, HERCULES ST, HAMILTON
Drawing Title
FLOOR PLAN - LEVEL 04

Scale As Shown	Date MAY 2010	Job no. 09004025
Drawn LM	Checked ND	Approved ND
Drawing no. SD 2006	Issue 00	

LEVEL 4 - RL 19.100
LEVEL 5 - RL 22.100
LEVEL 6 - RL 25.100
LEVEL 7 - RL 28.100
LEVEL 8 - RL 31.100
LEVEL 9 - RL 34.100
LEVEL 10 - RL 37.100
LEVEL 11 - RL 40.100
LEVEL 12 - RL 43.100
LEVEL 13 - RL 46.100
LEVEL 14 - RL 49.100

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1 ROOF PLAN - LOWER
SCALE 1:125 @ A1
SCALE 1:250 @ A3

Schematic

BUILDING 6 PORTSIDE HAMILTON

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HAMPTON/PORTSIDE/001/0025 Portside Building 6 Master: 15/05/2010 3:28 PM



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Issue	DA ISSUE	Revision	Date	In.
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Amendments				

Client
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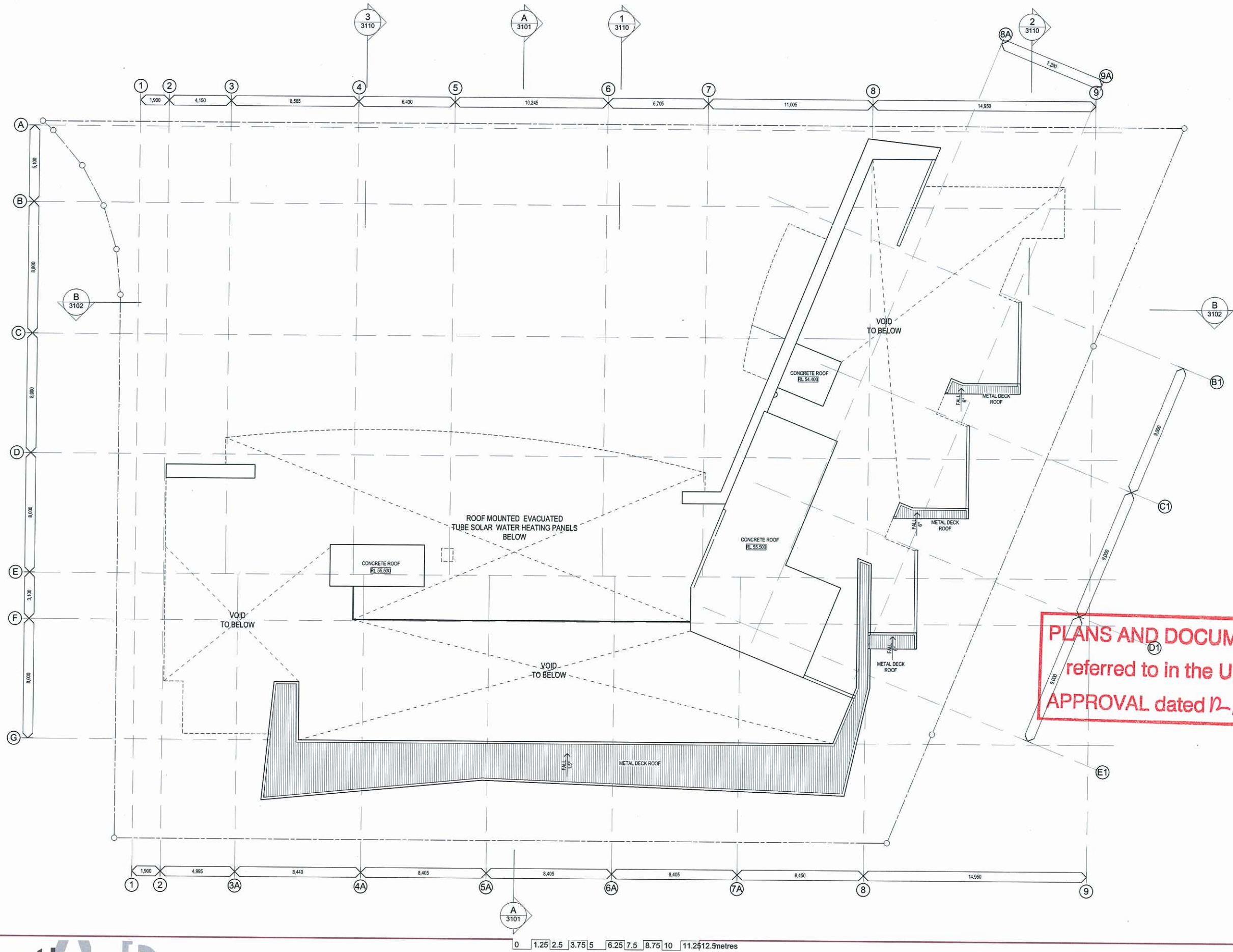
Project Name and Location
BUILDING 6 PORTSIDE HAMILTON, HERCULES ST, HAMILTON

Drawing Title
ROOF PLAN - LOWER

Scale	Date	Job no.
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Drawn	Checked	Approved
LM	ND	ND
Drawing no.	Issue	
SD 2101	00	

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ABN 77 010 924 106
Brisbane Office
201 Montague Road
West End QLD 4101
T 617 3846 7422
F 617 3846 7433
W www.cottee-parker.com.au





1 ROOF PLAN - UPPER
SCALE 1:125 @ A1
SCALE 1:250 @ A3

Schematic

BUILDING 6 PORTSIDE HAMILTON

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Work: 14025 Portside Building 6 Master: 16/08/2010: 3:29 PM



0 1.25 2.5 3.75 5 6.25 7.5 8.75 10 11.25 12.5metres

Issue	Revision	Date	In.
00	DA ISSUE	16/08/2010	SO
	Issue	Revision	Date
	Amendments		

Client
CITIMARK

Project Name and Location
BUILDING 6 PORTSIDE HAMILTON, HERCULES ST, HAMILTON

Drawing Title
ROOF PLAN - UPPER

Scale
As Shown

Date
MAY 2010

Job no.
09004025

Drawn
LM

Checked
ND

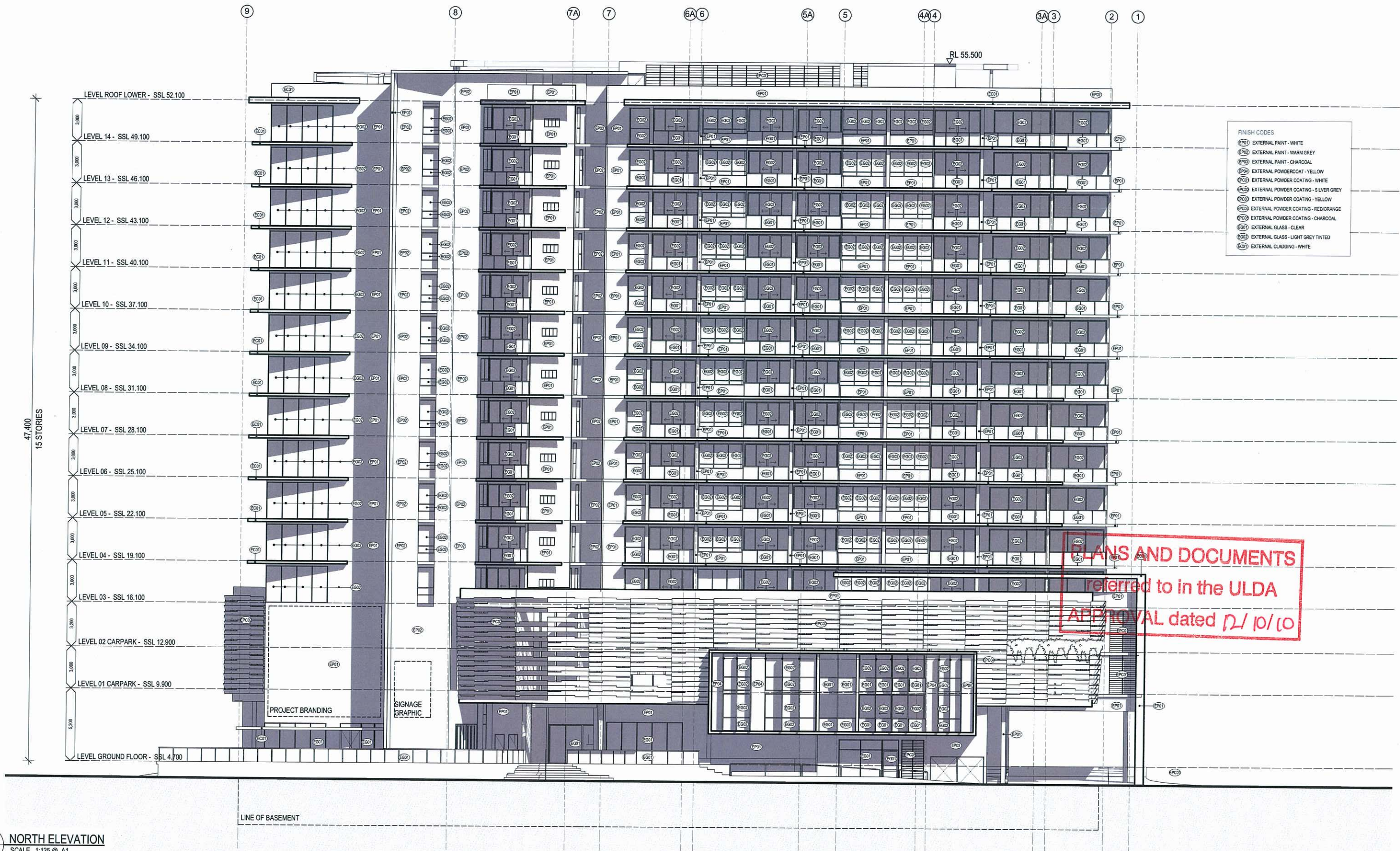
Approved
ND

Drawing no.
SD 2102

Issue
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ABN 77 010 924 106
Brisbane Office
201 Montague Road
West End QLD 4101
T 617 3846 7422
F 617 3846 7433
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1 NORTH ELEVATION
SCALE 1:125 @ A1
SCALE 1:250 @ A3

Schematic

BUILDING 6 PORTSIDE HAMILTON

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BANKING/CPABHS/BS/01/10/25 Portside Building 6 Master, 16/08/2010 4:39 PM



0 1.25 2.5 3.75 5 6.25 7.5 8.75 10 11.25 12.5metres

00	DA ISSUE	16/08/2010	SO
Issue	Revision	Date	In.
Amendments			

Client
CITIMARK

Project Name and Location
BUILDING 6 PORTSIDE HAMILTON, HERCULES ST, HAMILTON

Drawing Title
NORTH ELEVATION

Scale
As Shown

Date
MAY 2010

Job no.
09004025

Drawn
LM

Checked
ND

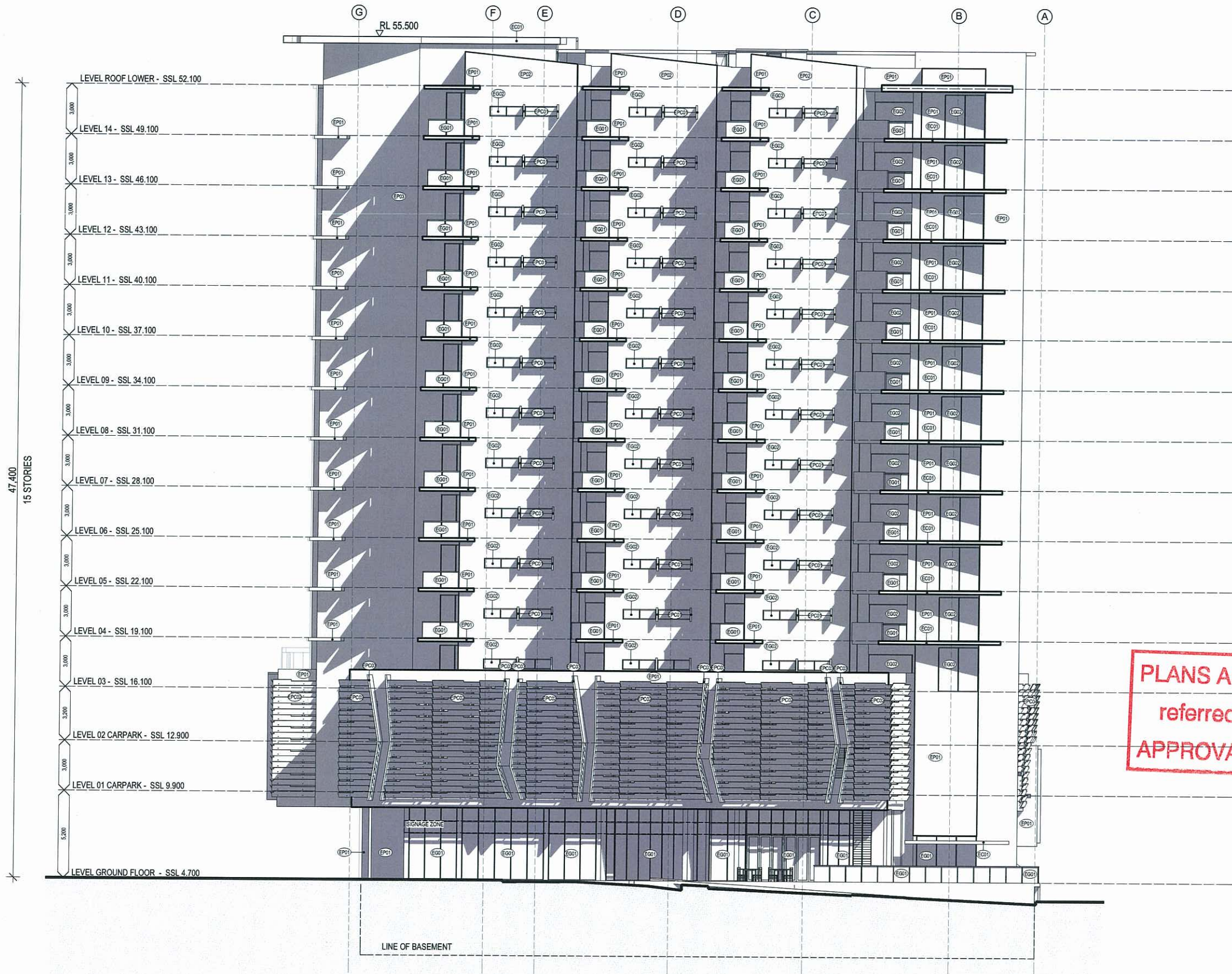
Approved
ND

Drawing no.
SD 3001

Issue
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Cottee Parker Architects Pty Ltd
ABN 77 010 924 106
Brisbane Office
201 Montague Road
West End QLD 4101
T 617 3846 7422
F 617 3846 7433
W www.cottee-parker.com.au

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PARKER



- FINISH CODES
- EP01 EXTERNAL PAINT - WHITE
 - EP02 EXTERNAL PAINT - WARM GREY
 - EP03 EXTERNAL PAINT - CHARCOAL
 - EP04 EXTERNAL POWDERCOAT - YELLOW
 - EP05 EXTERNAL POWDER COATING - WHITE
 - EP06 EXTERNAL POWDER COATING - SILVER GREY
 - EP07 EXTERNAL POWDER COATING - YELLOW
 - EP08 EXTERNAL POWDER COATING - RED/ORANGE
 - EP09 EXTERNAL POWDER COATING - CHARCOAL
 - EG01 EXTERNAL GLASS - CLEAR
 - EG02 EXTERNAL GLASS - LIGHT GREY TINTED
 - EC01 EXTERNAL CLADDING - WHITE

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 12/10/10

1 EAST ELEVATION
SCALE 1:125 @ A1
SCALE 1:250 @ A3

Schematic
BUILDING 6 PORTSIDE HAMILTON

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Work: 10/01/2010 10:23 Portside Building 6 Master: 16/08/2010 3:29 PM



0 1.25 2.5 3.75 5 6.25 7.5 8.75 10 11.25 12.5 metres

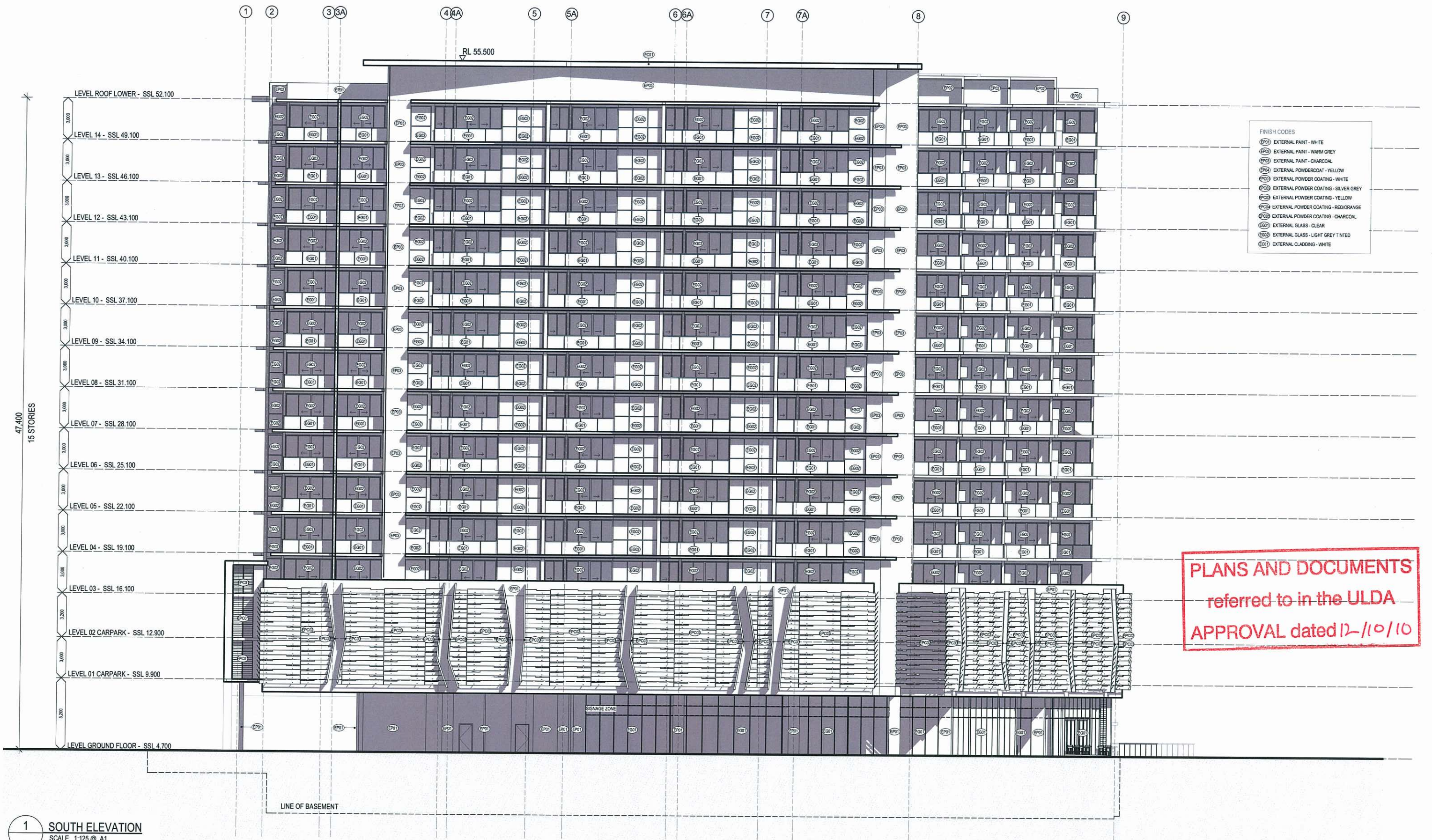
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Issue	Revision	Date	In.
Amendments			

Client
CITIMARK
Project Name and Location
BUILDING 6 PORTSIDE HAMILTON, HERCULES ST, HAMILTON
Drawing Title
EAST ELEVATION

Scale
As Shown
Date
MAY 2010
Job no.
09004025
Drawn
LM
Checked
ND
Approved
ND
Drawing no.
SD 3002
Issue
00

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ABN 77 010 924 106
Brisbane Office
201 Montague Road
West End QLD 4101
T 617 3846 7422
F 617 3846 7433
W www.cottee-parker.com.au





1 SOUTH ELEVATION
SCALE 1:125 @ A1
SCALE 1:250 @ A3

Schematic

BUILDING 6 PORTSIDE HAMILTON

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HAMMERSLEY/CPABRIG-65601/4025 Portside Building 6 Master: 16/08/2010: 4:39 PM



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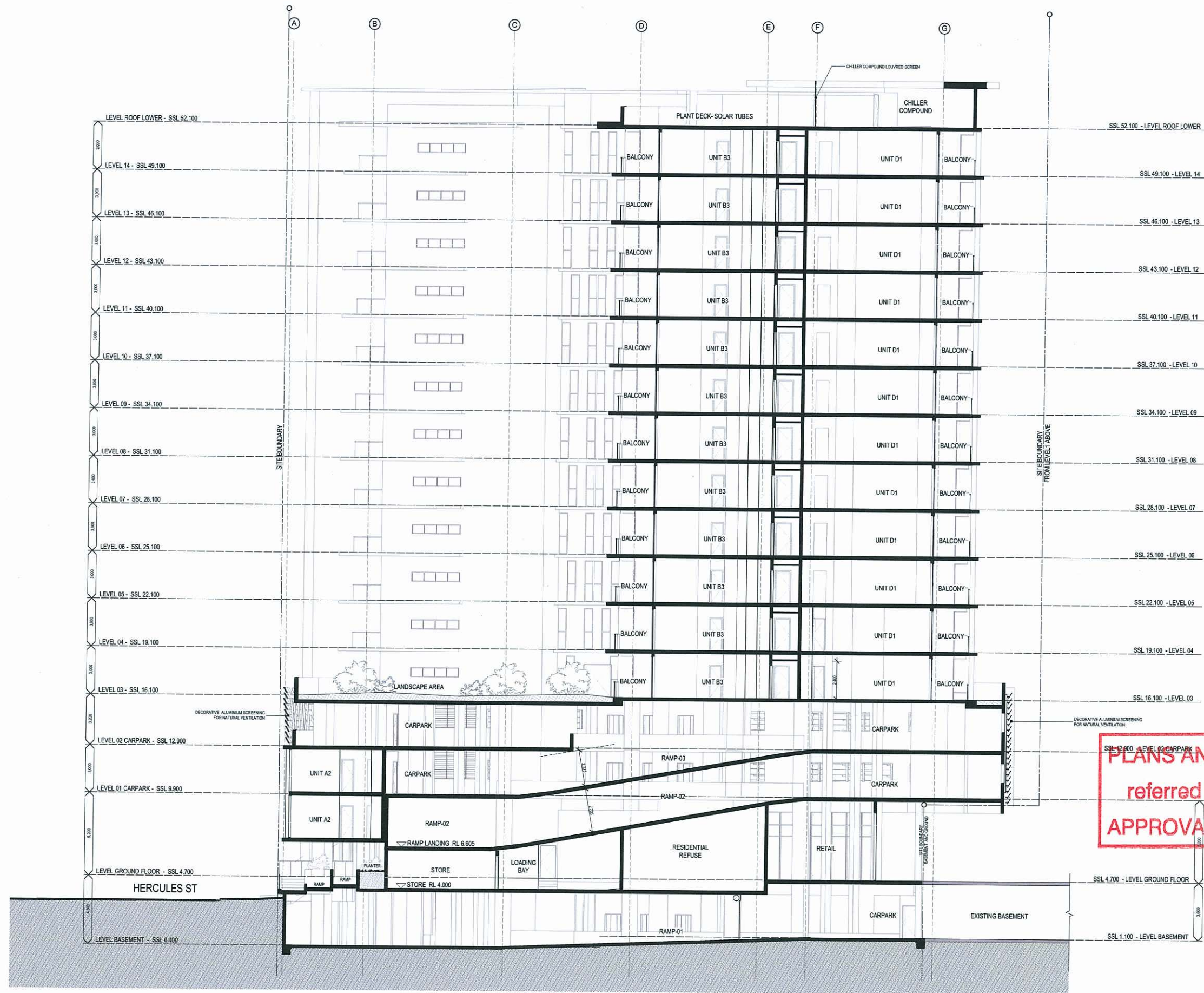
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Issue	Revision	Date	In.
Amendments			

Client
CITIMARK
Project Name and Location
BUILDING 6 PORTSIDE HAMILTON, HERCULES ST, HAMILTON
Drawing Title
SOUTH ELEVATION

Scale As Shown	Date MAY 2010	Job no. 09004025
Drawn LM	Checked ND	Approved ND
Drawing no. SD 3003	Issue 00	

Cottee Parker Architects Pty Ltd
ABN 77 010 924 106
Brisbane Office
201 Montague Road
West End QLD 4101
T 617 3846 7422
F 617 3846 7433
W www.cotteeparker.com.au





1 SECTION A
SCALE 1:125 @ A1
SCALE 1:250 @ A3

Schematic

BUILDING 6 PORTSIDE HAMILTON

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Teamwork: 10/01/2010 Portside Building 6 Master: 16/08/2010 3:29 PM



0 1.25 2.5 3.75 5 6.25 7.5 8.75 10 11.25 12.5 metres

00	DA ISSUE	16/08/2010	SO
Issue	Revision	Date	In.
Amendments			

Client
CITIMARK

Project Name and Location
BUILDING 6 PORTSIDE HAMILTON, HERCULES ST, HAMILTON

Drawing Title
SECTION A

Scale
As Shown

Drawn
LM

Drawing no.
SD 3101

Date
MAY 2010

Checked
ND

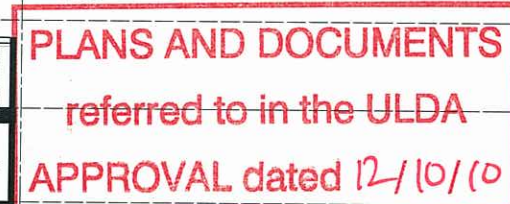
Issue
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Job no.
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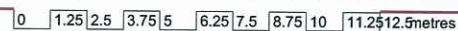
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ND

Cottee Parker Architects Pty Ltd
ABN 77 010 924 106
Brisbane Office
201 Montague Road
West End QLD 4101
T 617 3846 7422
F 617 3846 7433
W www.cotteeparker.com.au





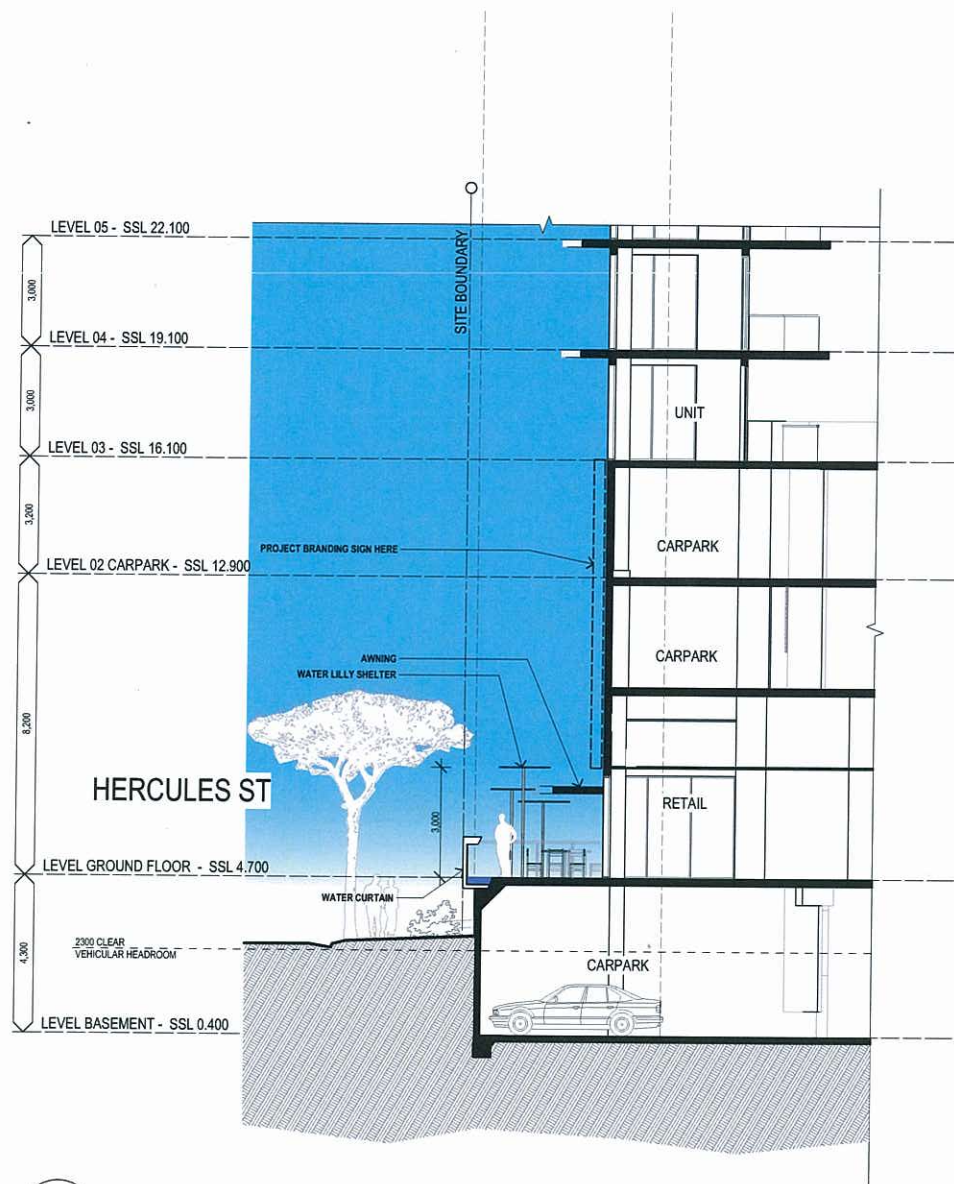
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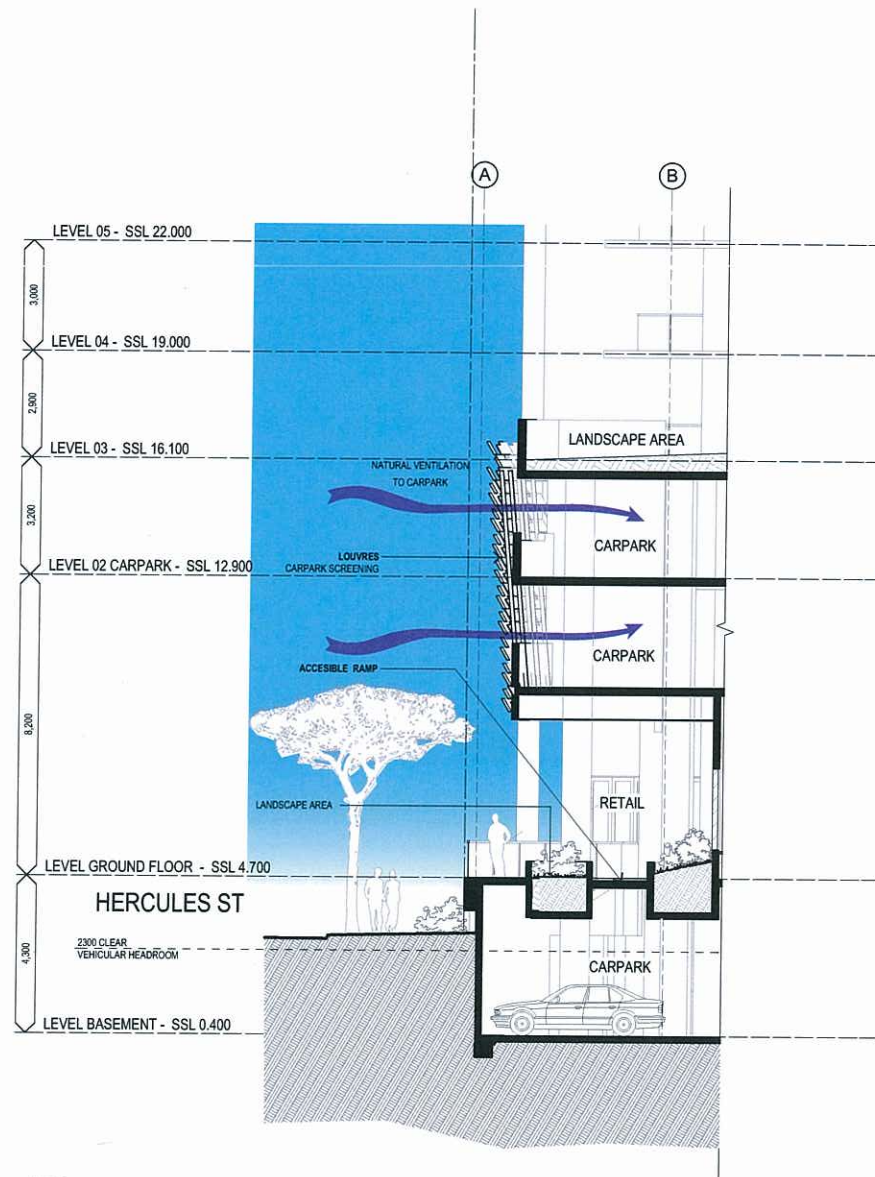
Client CITIMARK
Project Name and Location BUILDING 6 PORTSIDE HAMILTON, HERCULES ST, HAMILTON
Drawing Title SECTION B

Cottee Parker Architects Pty Ltd
ABN 77 010 924 106
Brisbane Office
201 Montague Road
West End QLD 4101
T. 617 3846 7422
F 617 3846 7433
W www.cotteeparker.com.au

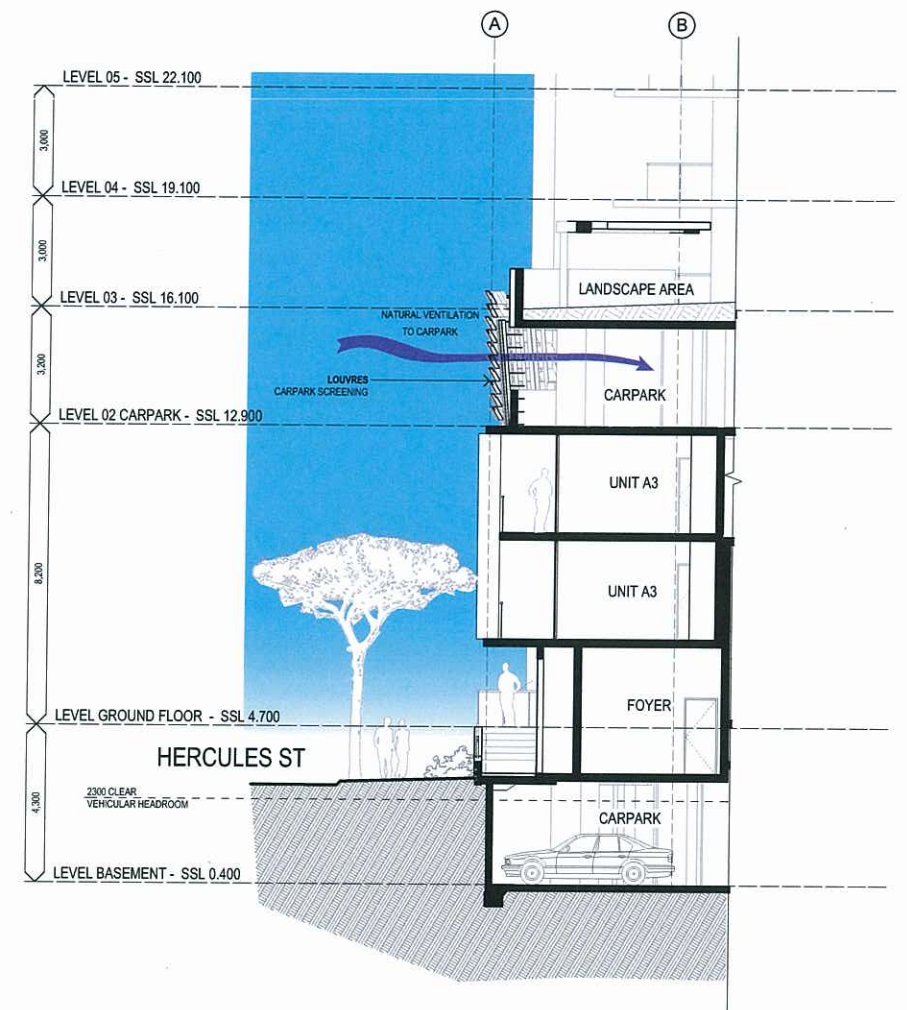




2 STREET SECTION 01 SS01
SCALE 1:100 @ A1
SCALE 1:200 @ A3



1 STREET SECTION 02 SS02
SCALE 1:100 @ A1
SCALE 1:200 @ A3



3 STREET SECTION 03 SS03
SCALE 1:100 @ A1
SCALE 1:200 @ A3

PLANS AND DOCUMENTS
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Schematic

BUILDING 6 PORTSIDE HAMILTON

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Teamwork: c:\pabris-090114025 Portside Building 6 Master: 16/08/2010 3:29 PM



0 1 2 3 4 5 6 7 8 9 10 metres

00	DA ISSUE	16/08/2010	SO
Issue	Revision	Date	In.
Amendments			

Client
CITIMARK

Project Name and Location
BUILDING 6 PORTSIDE HAMILTON, HERCULES ST, HAMILTON

Drawing Title
STREET SECTIONS

Scale
As Shown

Date
MAY 2010

Job no.
09004025

Drawn
LM

Checked
ND

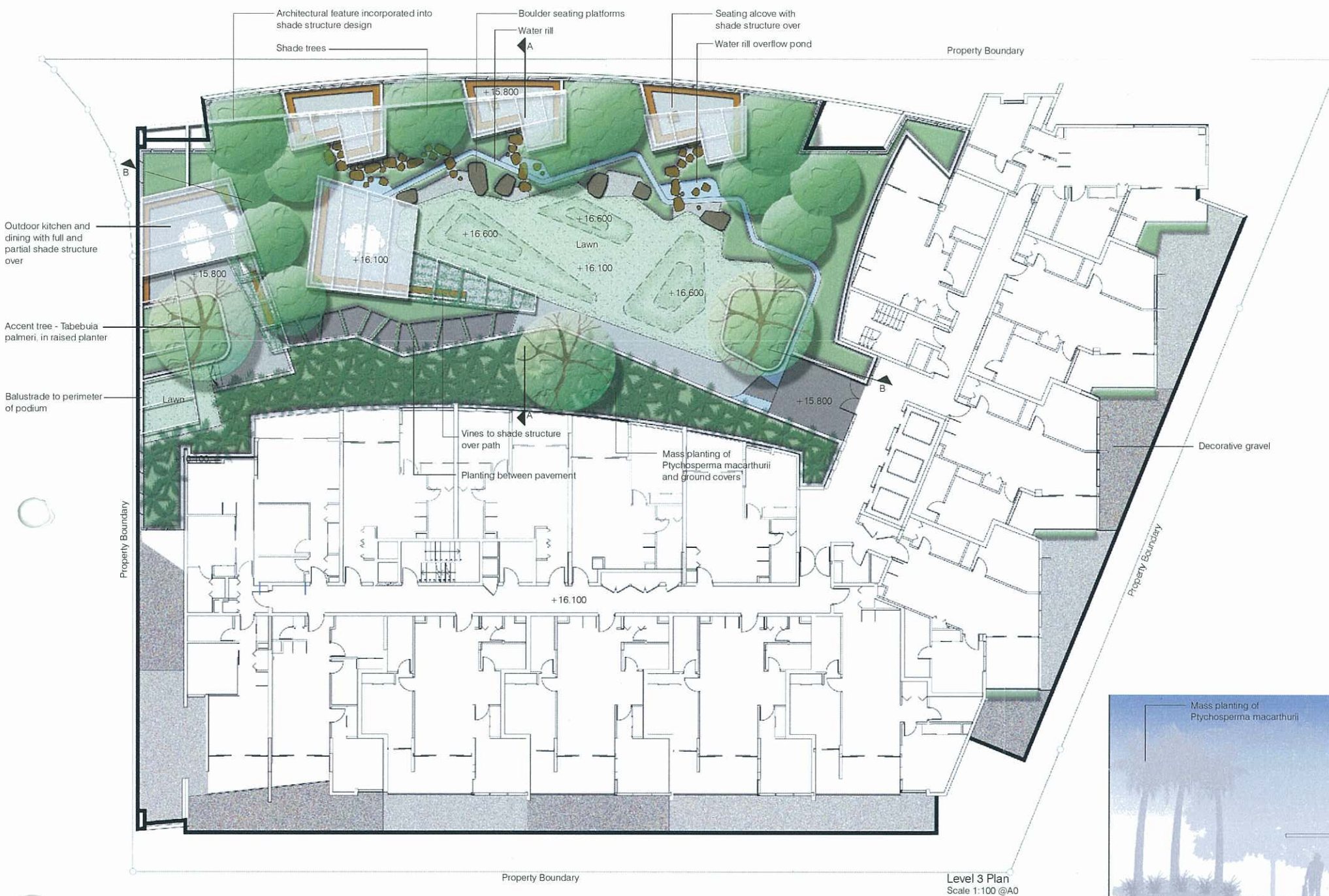
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Drawing no.
SD 3110

Issue
00

Cottee Parker Architects Pty Ltd
ABN 77 010 924 106
Brisbane Office
201 Montague Road
West End QLD 4101
T 617 3846 7422
F 617 3846 7433
W www.cotteeparker.com.au

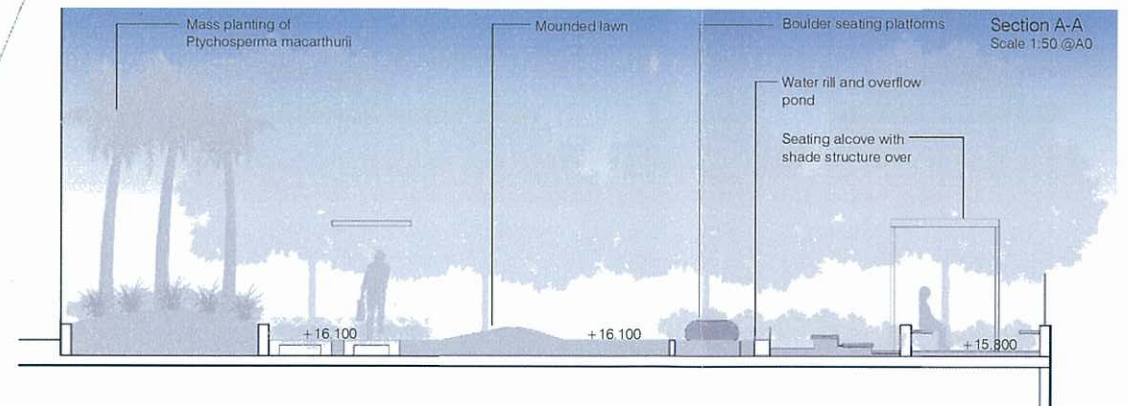




Planting Selection



PLANS AND DOCUMENTS
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Character

