

PRELIMINARY ONLY

SP 230470

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SP 230470

AMENDED IN RED
23 JUL 2013
By: BRIANNA FIFE MEDQ (name)

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Notes:

General

- All development is to be undertaken in accordance with the Development Approval.
- The maximum height of buildings shall not exceed two (2) storeys.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified.
- Built to boundary walls are optional. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Built to boundary walls are to have a maximum length of 1.4 metres and a maximum height of 3.5 metres.
- Boundary setbacks are measured to the outermost projection.
- Garages or carports must not project forward of the front building setback, except where a tandem carport is proposed.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.

Site Cover and Amenity

- Site cover for each lot is not to exceed 60%.
- Dwellings with their main living areas located at ground level should have a minimum area of private open space consisting of at least 12m² with a minimum width of 2.4 metres, preferably accessible from a living room.

Parking

- Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling.
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one which must be capable of being covered (may be provided in tandem).
- Where a garage is proposed it must be built to meet the minimum 5.5m setback.
- Where a carport is proposed, it may be built to 0.0m from the front boundary:

- Where a single carport - has a minimum dimension of 2.5m x 5m and a maximum dimension of 3m x 6m (excluding eaves) or
- Where a double carport - has a maximum dimension of 6m x 6m (excluding eaves); and
- The carport is not fully enclosed but may have up to two walls on the side or rear; and
- The side setback of the carport roofline must be in accordance with the non built to boundary setbacks in the Plan of Development Table, other than where it is aligned with the built to boundary line; and
- The roofline and materials must be consistent with the roofline and materials of the dwelling.

Building Articulation

- All detached dwellings should have a porch, alcove or verandah providing an entry to the building which is visible from the street.
- Carports and garages should be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All buildings should incorporate two or more of the following design elements which provide diversity in building form as well as respond to the climate:
 - Verandahs
 - Roof overhangs
 - Window hoods/screens
 - Awnings and shade structures

Fencing

- Fencing on all Primary Street Frontages has a maximum height of 1.2 metres where solid and have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.

Street Address

- Letterbox clearly visible and identifiable from the street

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

24 JUL 2013

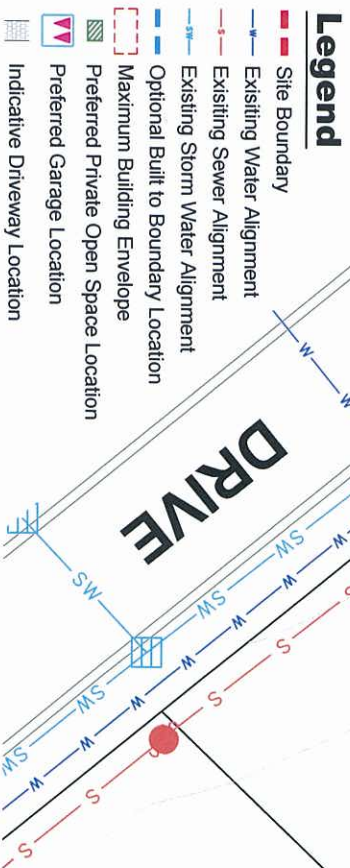
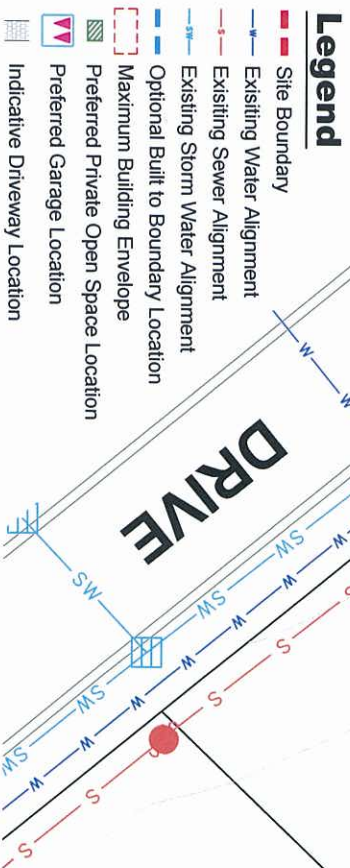
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Definitions:

Carport - An unenclosed roofed structure which is designed to provide for the weather protection of a motor vehicle. A carport does not include a garage door on the front and may be located up against the house.

Plan of Development Table

	County/ard Allotments 15m Frontage	
	Ground Floor	First Floor
Front/Primary Frontage	3.0	3.0
Garage / Double Carport	4.5	n/a
Tandem Carport	0.0	0.0
Rear	3.0	3.0
Side - General Lots		
Built to Boundary	0.0	1.0
Non Built to Boundary	1.0	1.5
On-site parking requirements (minimum)	4 spaces to be covered	
Car Accommodation	Single, tandem or double carport or garage configuration acceptable.	
Garage location	Garages are to be located along the built to boundary wall.	
Site Cover (maximum)	60%	



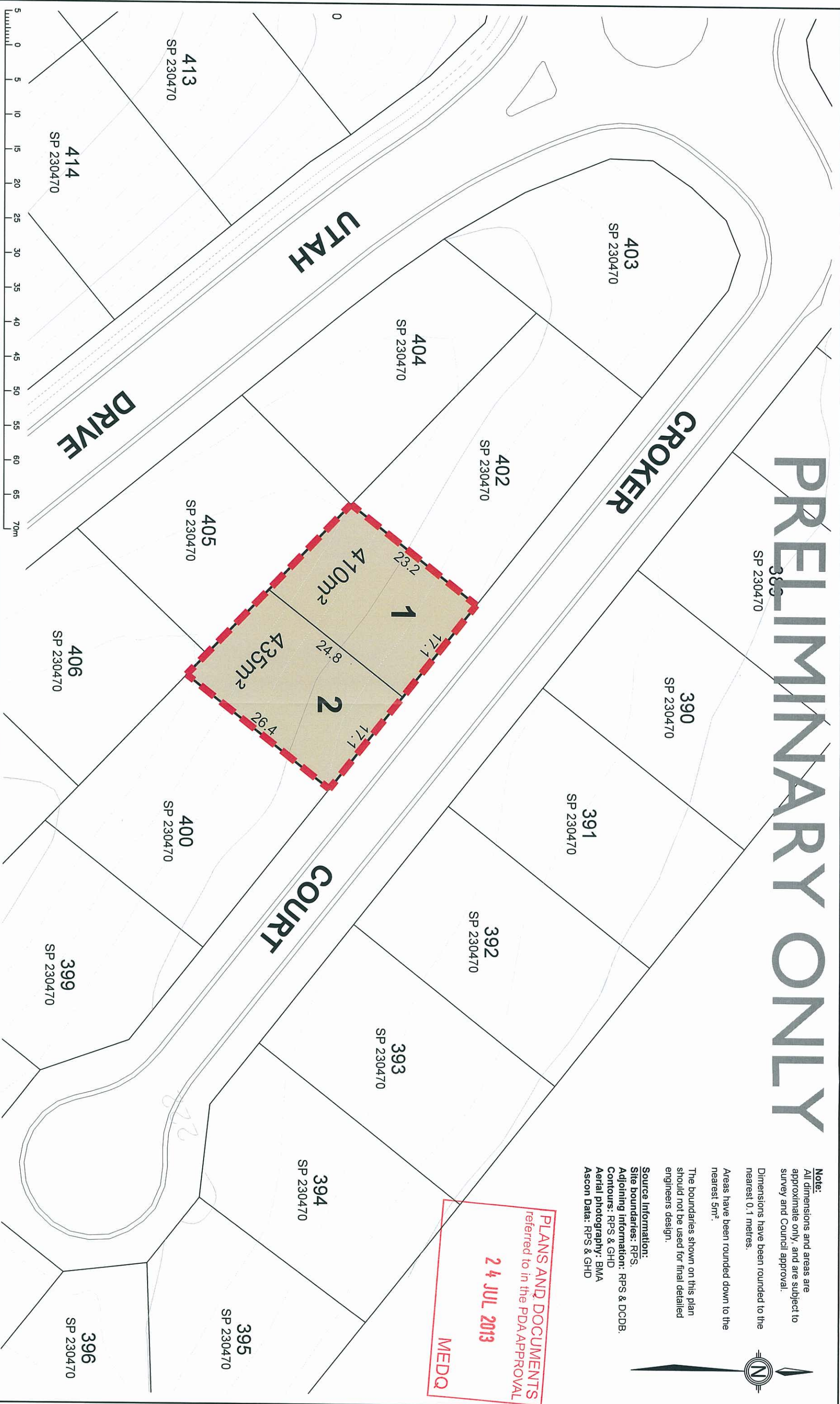
PRELIMINARY ONLY

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.



Source Information:
Site boundaries: RPS.
Adjoining Information: RPS & DCDB.
Contours: RPS & GHD
Aerial photography: BMA
Ascon Data: RPS & GHD

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL
2 4 JUL 2013
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Level Datum		Date		2 April 2013	
Origin		Comp By.		WNW	
		DWG Name.		108757-92	
		Local Authority		Economic Development Queensland	
Scale		Sheet		Locality	
1 : 500		A3		Moranbah	
		Job Reference		108757-6	
CLIENT					
BMA ALLIANCE COAL OPERATIONS PTY LTD					
PROPOSED SUBDIVISION OF LOT 401 ON SP 230470 ALLOTMENT LAYOUT					
PROJECT					
CROKER COURT					
Plan Ref				Rev	
108757 - 92					
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RPS Australia East Pty Ltd ACN 140 292 762 ABN 44 140 292 762					

DO NOT SCALE OFF DRAWING
DIMENSIONS METERS UNO



RPS

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SURVEY DATUM:
AZIMUTH DATUM GDA94, PM RL
LEVEL DATUM AHD
CONTOURS 0.25m EXIST SURFACE

PROPERTY DESCRIPTION:
LOT 4/01 ON SP2304/70

FOR EDQ DEVELOPMENT APPROVAL

AMENDMENTS	
ISSUE DATE	SUBJECT
1 09/04/13	FIRST ISSUE
2 02/05/13	EDQ APPROVAL NAME

XREF FILES	TITLE

DRAWN	KL	DATE	04/13
DESIGN	NG	DATE	04/13



N. G. GARDNER & ASSOCIATES
CONSULTING ENGINEERS
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PH: 4921 3220
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ROCKHAMPTON

APPROVED FOR ISSUE
09/04/13

BM ALLIANCE COAL OPERATIONS
LOT 4/01 ON SP2304/70
OPERATIONAL WORKS
APPLICATION
1 LOT INTO 2 LOTS
PROPOSED SERVICES LAYOUT

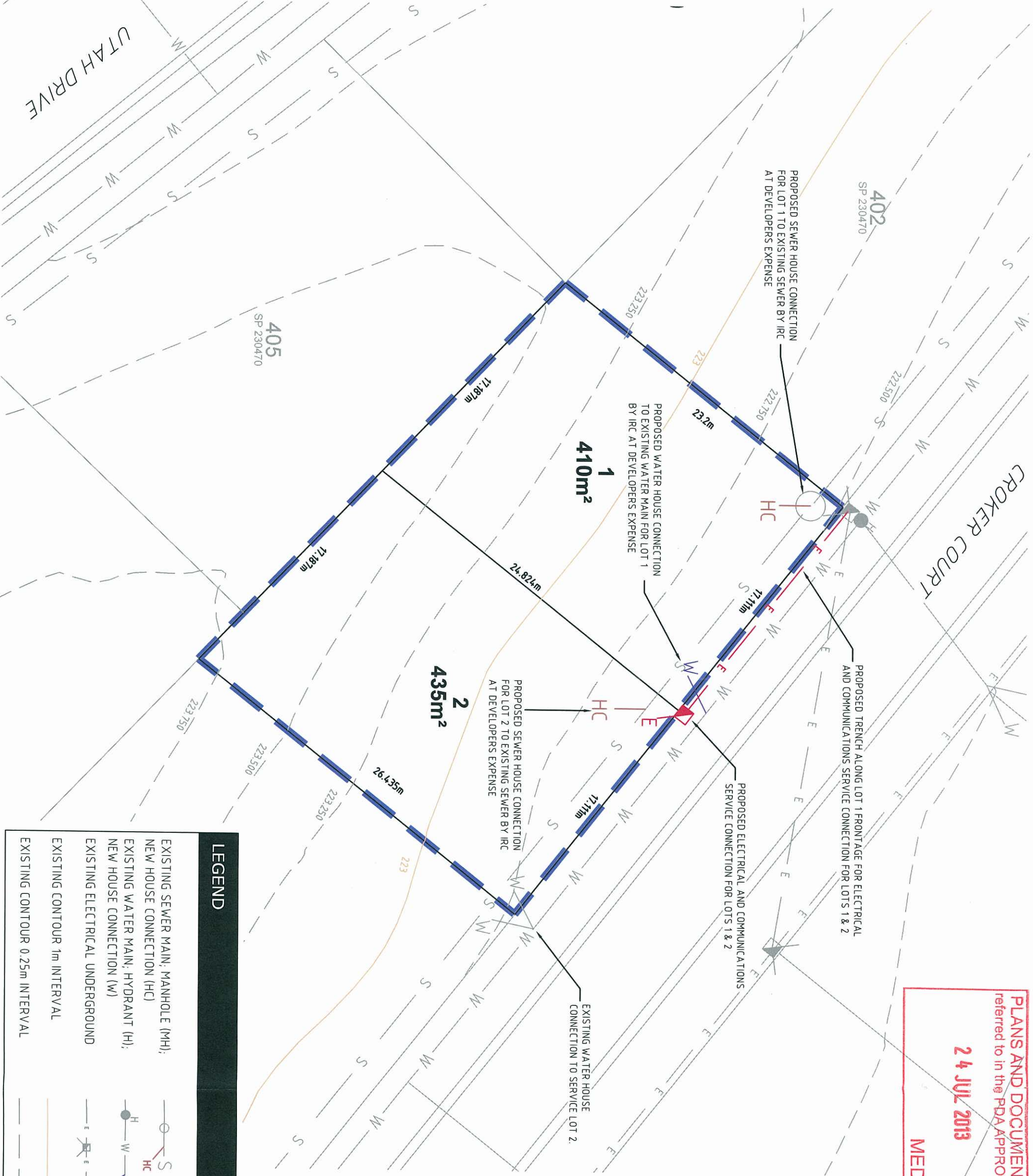
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JOB NO
930-4
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A3 SIZE
DRAWING NUMBER
930-4-01
ISSUE SHEET NO
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PRINT IN COLOUR

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LEGEND

- EXISTING SEWER MAIN; MANHOLE (MH);
- NEW HOUSE CONNECTION (HC)
- EXISTING WATER MAIN; HYDRANT (H);
- NEW HOUSE CONNECTION (W)
- EXISTING ELECTRICAL UNDERGROUND
- EXISTING CONTOUR 1m INTERVAL
- EXISTING CONTOUR 0.25m INTERVAL