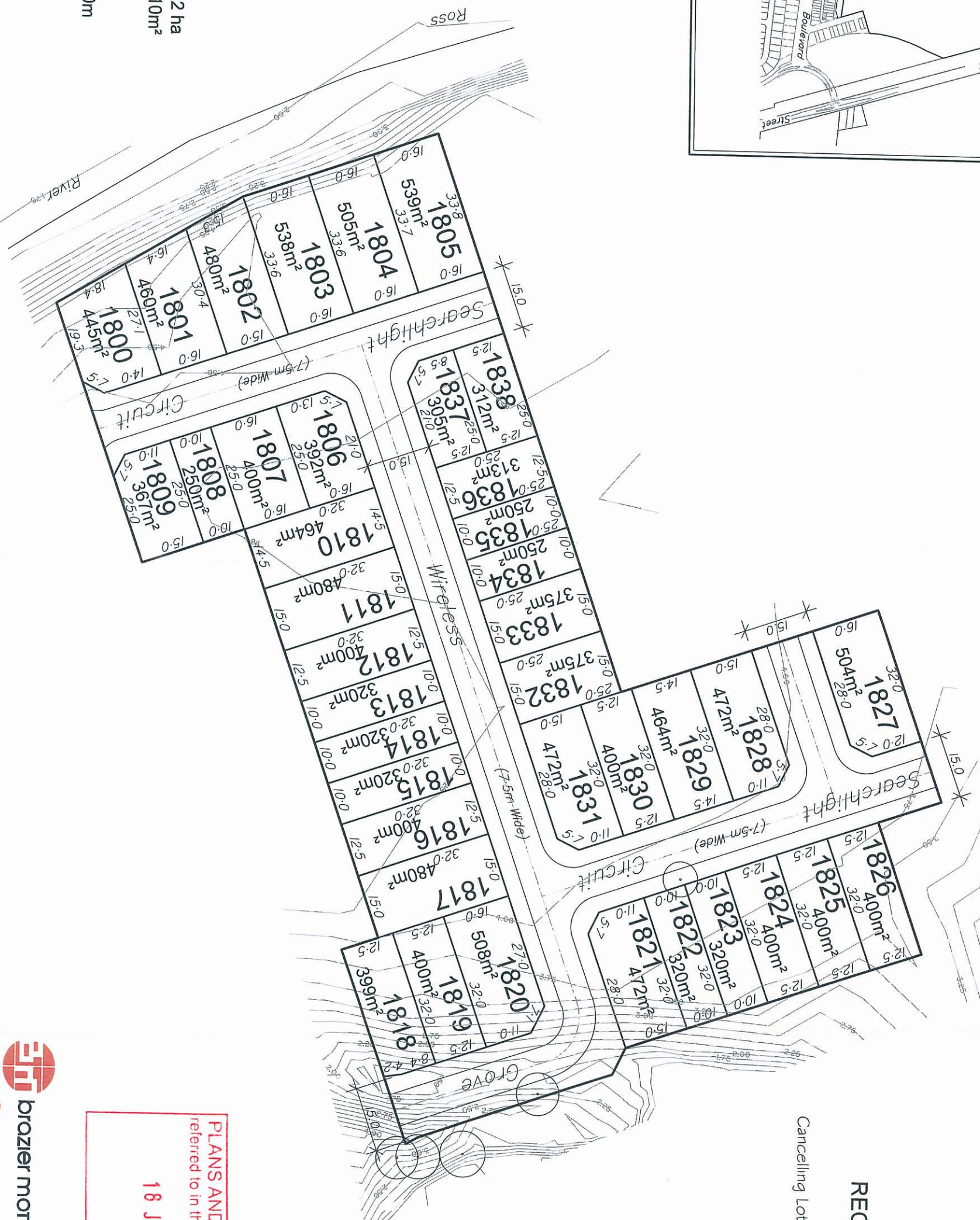
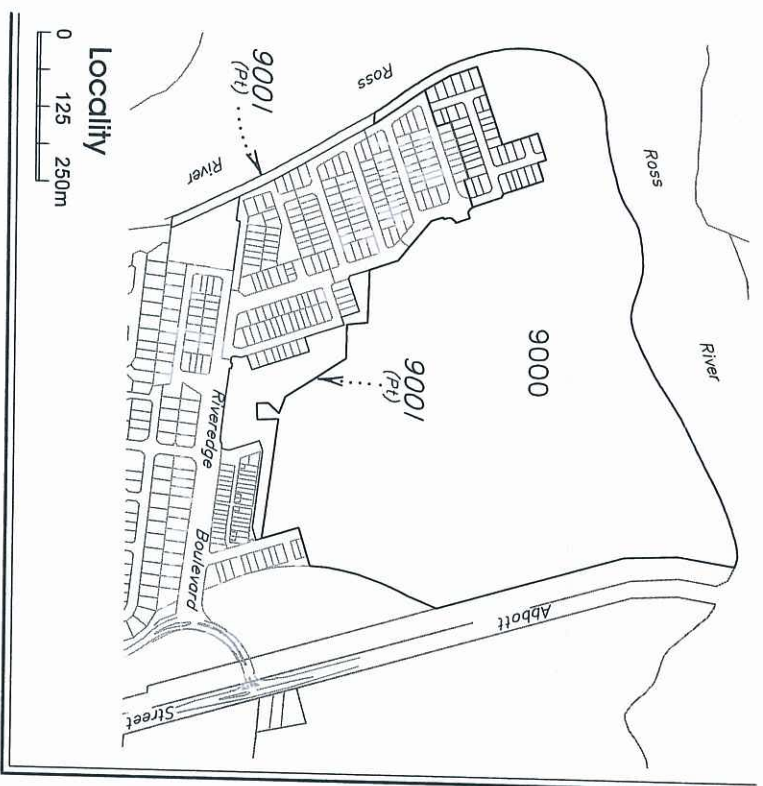




- STAGE 18 -

Areas	
Stage Area	2.22 ha
15m Road Reserve Area	6510m ²
Lengths	
15m Road Reserve	450m

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

18 JUL 2013

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This plan is conceptual and for discussion purposes only. All areas, dimensions and land uses are preliminary, subject to investigation, survey, engineering, and Local Authority and Agency approvals.

Notes :-

- General:
1. All development is to be undertaken in accordance with the Development Approval.

Orientation:

2. Entries - Front doors and letterboxes of dwellings are to address the Primary Street Frontage.
3. Where dwellings encompass more than one frontage they are to be designed to address each street frontage.

Setbacks:

4. Setbacks are as per the Site Development Table unless otherwise specified.
5. Built to boundary walls are preferred where shown.
6. Built to boundary walls are to have a maximum length of 15m and a minimum height of 3.5m. Except where dwellings on adjoining allotments are constructed simultaneously, e.g. duplex or terraces.
7. Boundary setbacks are measured to the wall of the structure.
8. Eaves should not encroach (other than where building is built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2.4m.

Parking:

9. Minimum off-street parking requirements -
 - Studio, 1 and 2 bed dwellings - 1 space per dwelling
 - Other - 2 spaces per dwelling, which may be in tandem.
10. Double garages will not be permitted on a single storey dwelling on a lot less than 12.5m wide.
11. Double garages will not be permitted on any lot less than 10.0m wide.
12. Double garages may be permitted on a lot $\geq$ 10.0m wide and $\leq$ 12.5m wide where the dwelling is more than one storey in height, and where:
 - the garage is setback of least 1m behind the main face, excluding balconies, of the dwelling, and
 - the garage doors are articulated, comprise a mix of materials and colours, or are staggered.
19. Parking spaces on driveways do not have to comply with AS2890.

Site Cover and Amenities:

20. Site cover for each lot is not to exceed 60% of the lot.
21. Minimum private open space requirements:
 - must be accessed from a living area.
 - one room or one bedroom house/unit 5m² with a minimum dimension of 1.2m.
 - two room house/unit 9m² with a minimum dimension of 2.4m.
 - three or more bedroom house/unit 12m² with a minimum dimension of 2.4m.

Buildings

22. Buildings that are visible from a street or a park should be articulated to reduce the mass of the building by:
 - windows recessed into the facade
 - balconies, porches or verandahs provided
 - window hoods provided
 - shadow lines created on the building through minor changes in the facade (100mm minimum)
 - use more than one building material on the facade.

Fencing:

25. Fencing on all Primary Street Frontages to be either 50% transparent up to 1.5m high or not to exceed 1.2m in height.
26. Fences on corner lots should be designed as front fences addressing both streets (rather than a front and a side fence).
27. Fences on secondary Street Frontages to be 50% transparent and not exceed 1m in height. Alternatives may be permitted where the Village Ooroonba Design Guideline approval has been given by an officer of the UDIA The Village Development Team.

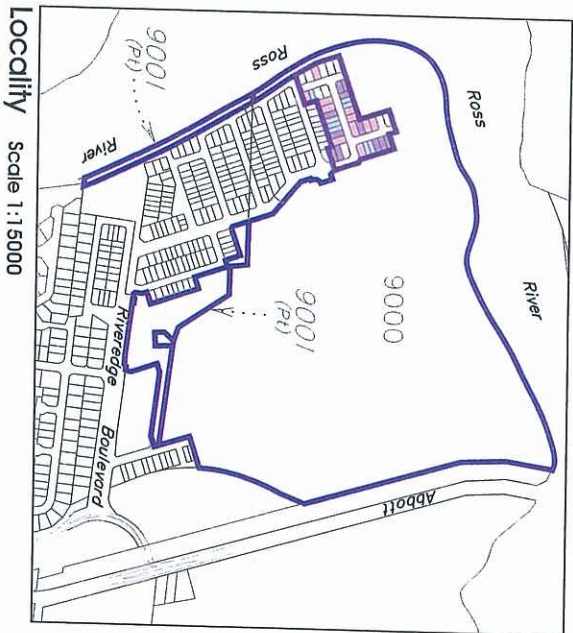
Driveways:

28. For conventional allotments (not laneway allotments) the following applies:
 29. The maximum width of a driveway:
 - serving a double garage shall be 4.8m at the lot boundary
 - serving a single garage shall be 3.0m at the lot boundary
 30. A maximum of one driveway per dwelling is permitted.
 31. Driveways should avoid on-street works such as dedicated on-street parking bays, drainage pits and service pillars.
- The minimum distance of a driveway from an intersection of one street with another street shall be 6.0m, except where the driveway is from a laneway.

Climate Responsive Design

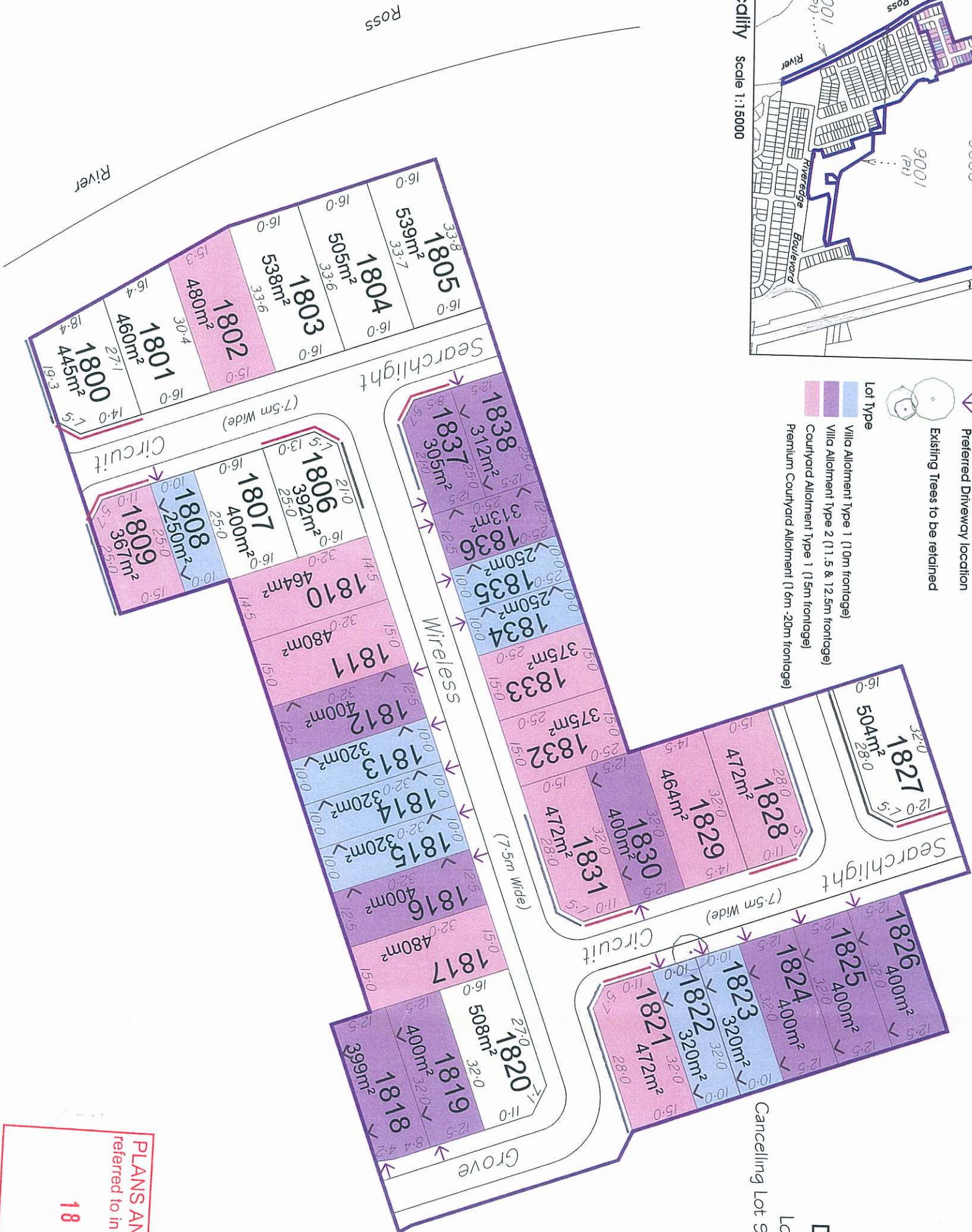
32. The required minimum private open space must be covered to at least 50% of the minimum area.
33. All habitable rooms must incorporate at least two (2) openings to facilitate cross ventilation. The openings shall have a minimum area of not less than 10% of the total floor area of each room. Openings can include, or combination of:
 - External opening windows
 - Internal openings
 - Covered windows, or
 - Ceiling and/or roof ventilation shafts / opening skylights.
34. For clearly the two (2) openings can not be located on the same wall or ceiling.
35. All habitable rooms must incorporate at least one opening to facilitate access to natural light. All external openings / windows must include, or combination of, an eave or window hood having a minimum overhang of 450mm.
36. All habitable rooms shall be provided with:
 - Ceiling fan; and/or
 - Ceiling / roof ventilation.
37. All dwellings require ventilated roof-space. This can be achieved by installing rotating roof vents, solar powered roof ventilators, roof vents, gabled vents and unsealed eaves or other approved ventilation.
38. A landscape area of at least 5m² is provided to both the front and rear of the dwelling and must incorporate at least one (1) specimen tree capable of reaching at least 4 metres at maturity.

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LEGEND

- Stage Boundary
- Built to Boundary (preferred)
- Primary Street Frontage
- No vehicle access
- Preferred Driveway location
- Existing Trees to be retained
- Lot Type
- Villa Allotment Type 1 (10m frontage)
- Villa Allotment Type 2 (11.5 & 12.5m frontage)
- Courtyard Allotment Type 1 (15m frontage)
- Premium Courtyard Allotment (16m - 20m frontage)



PLAN OF DEVELOPMENT

Lots 1800 to 1838
Cancelling Lot 9000 on SP255445

Parish of Stuart
County of Elphinstone
City of Townsville

Site Development Table						
Front Primary Frontage Rear Side – General lots Build to Boundary Non Build to Boundary Corner Lots – Secondary Frontage	Villa Allotments (1) 10m Frontage		Villa Allotments (2) 11.5–12.5m Frontage		Courtyard Allotments 15.0m Frontage	Premium Courtyard Allotments ≥ 16.0m Frontage
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m
	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m
	0.9m	0.9m	1.0m	1.0m	1.5m	1.5m
	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m

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Date: 7th March 2013
Scale: 1:1000 @ A3
Down: SEM
Job No: 29060/182-01
Plan No: 29060/080 C



- LEGEND:**
- PROPOSED SEWER MAIN AND MANHOLE
 - PROPOSED WATERMAIN & HYDRANT
 - PROPOSED STORMWATER DRAINAGE
 - EXISTING SEWER MAIN AND MANHOLE
 - EXISTING WATERMAIN, VALVE & HYDRANT
 - EXISTING STORMWATER DRAINAGE
 - PROPOSED NEW PAVEMENT

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

18 JUL 2013

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PRELIMINARY ISSUE NOT FOR CONSTRUCTION



REAL PROPERTY DESCRIPTION:
LOTS 64 TO 101 ON SP24/7154



URBAN LAND DEVELOPMENT AUTHORITY
THE VILLAGE - STAGE 18
RIVEREDGE BOULEVARD, DONDONBA
PRELIMINARY SERVICES LAYOUT

REV	DATE	REVISIONS	PROJECT MANAGER	PROJECT DIRECTOR	DRAWING SIZE	SCALE	DRAWING No.	REV
1	21/02/13	PRELIMINARY ISSUE FOR DEVELOPMENT APPLICATION	P. PETERSEN	P. BRADY RPEQ 7112	A1	1:500	ULD018-SK01	1

6/108 DATA/URBAN ENGINEERING DRAWINGS SHEETS/URBAN SERVICES



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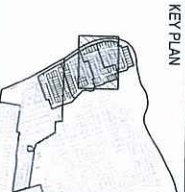
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PROJECT
OONONBA UDA
THE VILLAGE
STAGES 6, 12, 18 & 19

ECONOMIC DEVELOPMENT
QUEENSLAND

KEY PLAN



NOTES

ISSUE CODE	ISSUE DESCRIPTION	BY	CHK	DATE
01	PRE	JL	SF	29.04.20
02	DA	JL	SF	04.05.20
	ISSUE FOR DA			

NOT FOR CONSTRUCTION

DRAWING TITLE
STAGE 18
LANDSCAPE PLAN

DESIGN : SF
DOCUMENT : SF / JL



1:400 @ A1, 1:800 @ A2

SHEET NUMBER	REVISION
JULD55_LDA1003	02

PLANS AND DOCUMENTS

18 JUL 2013

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