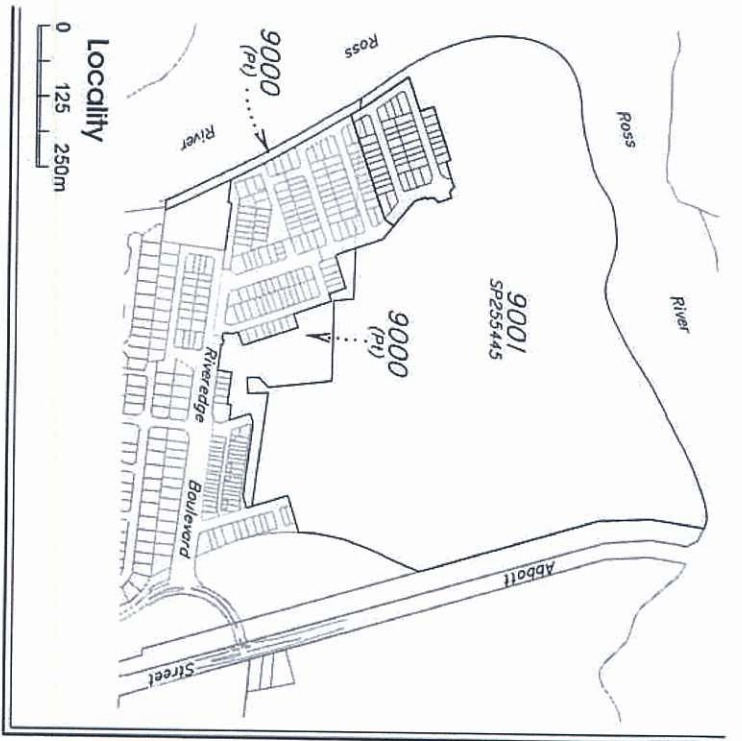


PROPOSED RECONFIGURATION

Lots 1200 to 1245
Cancelling Lot 9000 & 9001 on SP255445

Panish of Stuart
County of Elphinstone
City of Townsville

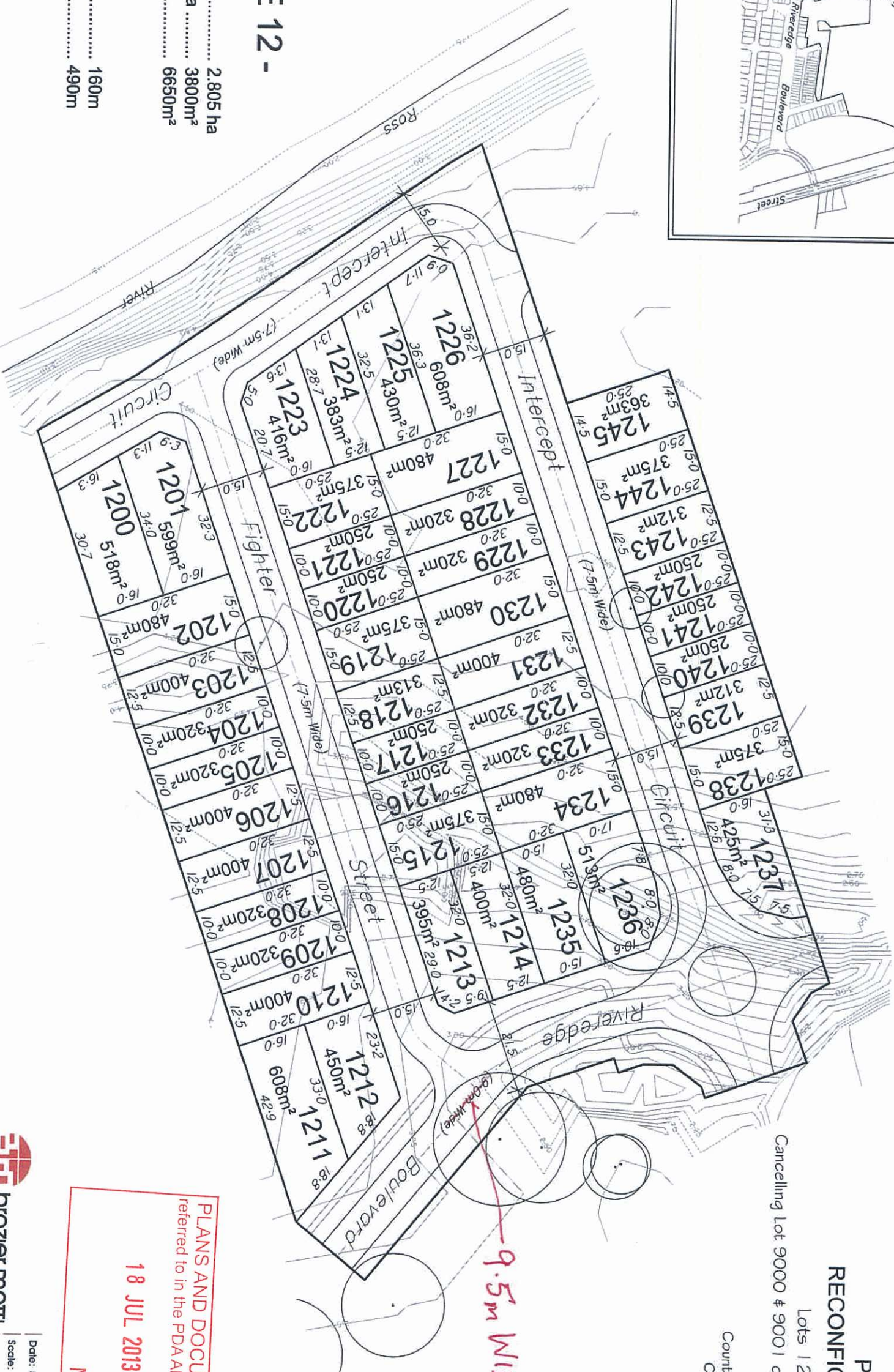
- STAGE 12 -

Areas

Stage Area 2,805 ha
21.5m Road Reserve Area 3800m²
15m Road Reserve Area 6650m²

Lengths

21.5m Road Reserve 160m
15m Road Reserve 490m



PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

18 JUL 2013

MEDQ



brazier mott

1300 267 878
www.braziermott.com.au
Job No: 29060/12-01
Plan No: 29060/073 D

Date: 5th February 2013

Scale: 1:1000 @ A3

Drawn: SEM

surveying | town planning | project management | mapping and GIS

This plan is conceptual and for discussion purposes only. All areas, dimensions and land uses are preliminary, subject to investigation, survey, engineering, and local Authority and Agency approvals.

Notes :-

- General:
 - 1. All development is to be undertaken in accordance with the Development Approval.

- Orientation:
 - 2. Entries - Front doors and letterboxes of dwellings are to address the Primary Street Frontage.
 - 3. Where dwellings encompass more than one frontage they are to be designed to address each street frontage.

- Setbacks:
 - 4. Setbacks are as per the Site Development Table unless otherwise specified.
 - 5. Built to boundary walls are preferred where shown.
 - 6. Built to boundary walls are to have a maximum length of 15m and a maximum height of 3.5m. Except where dwellings are adjoining allotments are constructed simultaneously, a 9 degree setback.
 - 7. Boundary setbacks are measured to the wall of the thick face. Eaves should not encroach (other than where building is built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2.4m.

- Parking:
 - 9. Minimum off-street parking requirements:
 - Studio, 1 and 2 bed dwellings - 1 space per dwelling
 - Other - 2 spaces per dwelling, which may be in tandem.
 - 10. Double garages will not be permitted on a single story dwelling on a lot less than 12.5m wide.
 - 11. Double garages will not be permitted on any lot less than 10.0m wide.
 - 12. Double garages may be permitted on a lot 7.10m wide and 12.5m wide where the dwelling is more than one storey in height and where the garage is setback at least 1m behind the main face, excluding balconies, of the dwelling, and
 - the garage doors are articulated, comprise a mix of materials and colours, or are staggered.
19. Parking spaces on driveways do not have to comply with AS2890.

- Site Cover and Amenities:
 - 20. Site cover for each lot is not to exceed 40% of the lot.
 - 21. Minimum private open space requirements:
 - must be accessed from a living area
 - one room or one bedroom house/unit 5m² with a minimum dimension of 1.2m
 - two room house/unit 7m² with a minimum dimension of 2.4m
 - three or more bedroom house/unit 12m² with a minimum dimension of 2.4m.

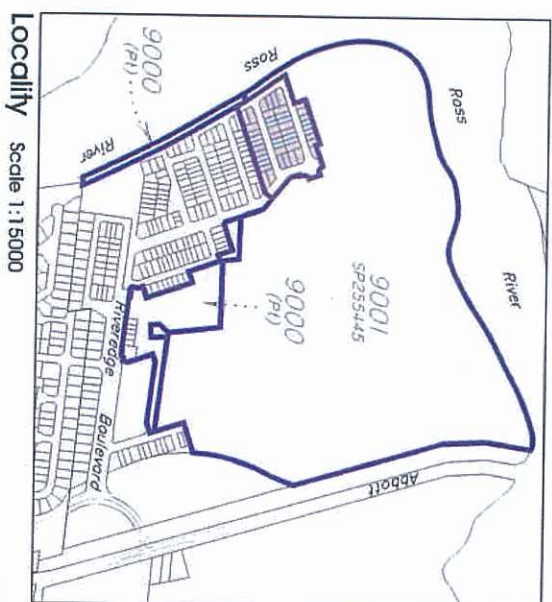
- Buildings:
 - 22. Buildings that are visible from a street or a park should be articulated to reduce the mass of the building by:
 - windows recessed into the facade
 - balconies, porches or verandahs provided
 - window hoods provided
 - shadow lines created on the building through minor changes in the facade (100mm minimum)
 - use more than one building material on the facade.

- Fencing:
 - 25. Fencing on all Primary Street Frontages to be either 50% transparent up to 1.5m high or not to exceed 1.2m in height.
 - 26. Fences on corner lots should be designed as front fences addressing both streets (rather than a front and a side fence).
 - 27. Fences on Secondary Street Frontages to be 50% transparent and not exceed 1.5m in height.

- Driveways:
 - 28. For conventional driveways (not laneway entrances) the following applies:
 - 29. The maximum width of a driveway:
 - serving a single garage shall be 4.8m at the lot boundary
 - serving a double garage shall be 3.0m at the lot boundary
 - 30. A maximum of one driveway per dwelling is permitted.
 - 31. Driveways should avoid on-street works such as dedicated on-street parking bays, damage pits and service pillars.
 - The minimum distance of a driveway from an intersection of one street with another street shall be 6.0m.

- Climate Responsive Design:
 - 32. The required minimum private open space must be covered to at least 50% of the minimum area.
 - 33. All habitable rooms must incorporate at least two (2) openings to facilitate cross ventilation. The openings shall have a minimum area of not less than 10% of the total floor area of each room. Openings can include, or combine, of:
 - External opening windows
 - Internal openings
 - Louvered windows, or
 - Ceiling or roof ventilation
 - For clearly the two (2) openings can not be located on the same wall or ceiling.
 - 35. All habitable rooms must incorporate at least one opening to facilitate access to natural light. All external openings / windows must include, or combine, of:
 - Louvered windows, or
 - Ceiling or roof ventilation
 - 36. All habitable rooms shall be provided with:
 - Ceiling fan, and/or
 - Ceiling / roof ventilation
 - 37. All dwellings require ventilated roof space. This can be achieved by installing ridding roof vents, solar powered roof ventilators, roof lifts, gabled vents and unsealed eaves or other approved ventilators.
 - 38. A landscape area of at least 5m² is provided to both the front and rear of the dwelling and must incorporate at least one (1) specimen tree capable of reaching at least 4 metres at maturity.

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Locality Scale 1:15000

- ### LEGEND
- Stage Boundary
 - Built to Boundary (preferred)
 - Primary Street Frontage
 - No vehicle access
 - Preferred Driveway location
 - Existing Trees to be retained

- ### Lot Type
- Villa Allotment Type 1 (10m frontage)
 - Villa Allotment Type 2 (11.5 & 12.5m frontage)
 - Courtyard Allotment Type 1 (15m frontage)
 - Terrace Allotment (7.5m - 11m frontage)
 - Multi Family Dwelling



Site Development Table					
Villa Allotments (1)	Ground Floor		First Floor		Ground Floor
	10m Frontage	11.5m Frontage	12.5m Frontage	15m Frontage	
Front Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m
Side - General lots	0.0m	0.0m	0.0m	0.0m	0.0m
Build to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m
Non Build to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

18 JUL 2013

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P 1300 267 878
W www.braziermoti.com.au

Date: 1st February 2013
Scale: 1:1000 @ A3
Drawn: SEM

Job No: 29060122-01
Plan No: 29060078 D

