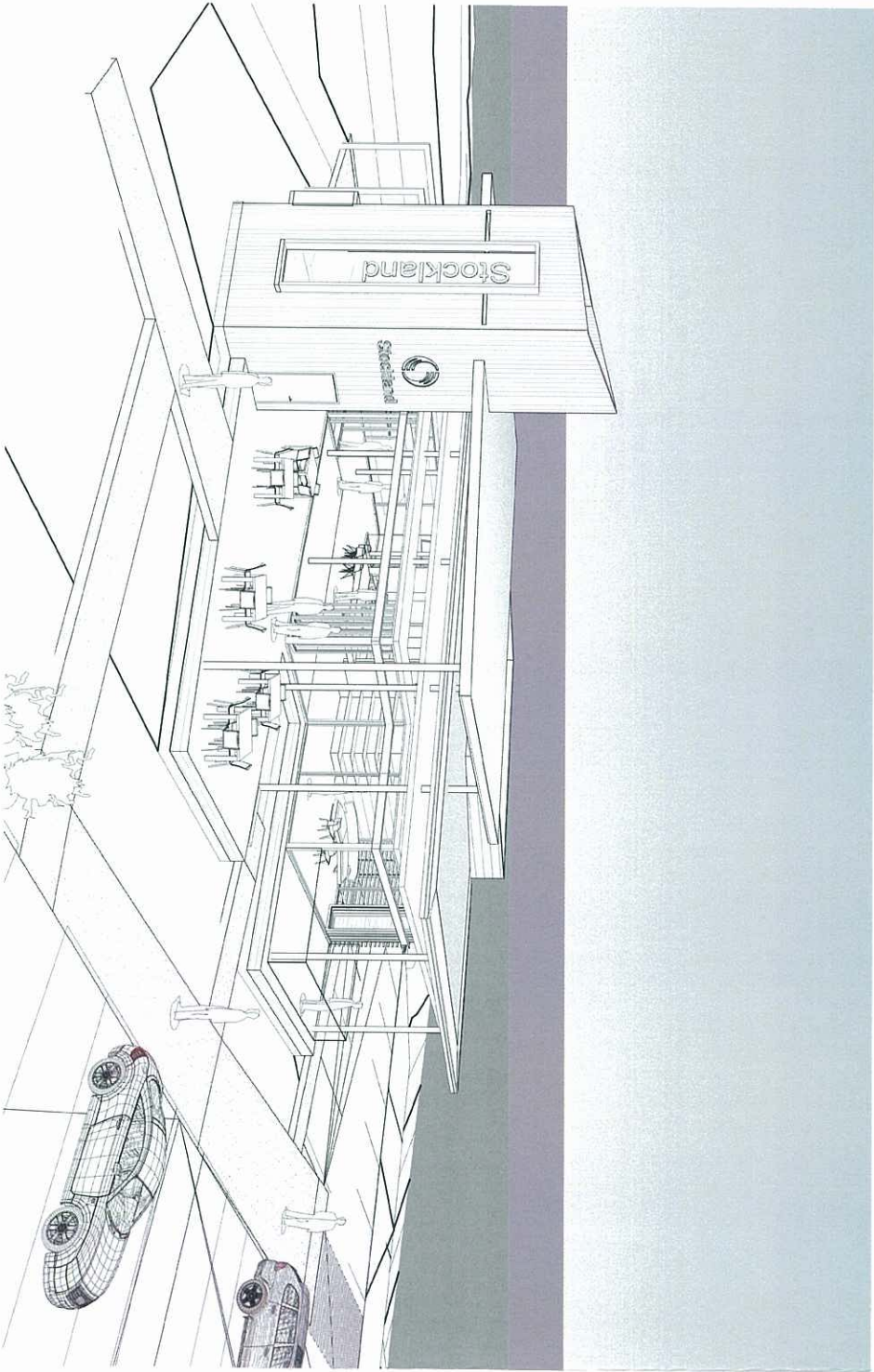


PARADISE WATERS SALES OFFICE AND CAFE, RIPLEY VALLEY.



NOTE: INFORMATION SHOWN OUTSIDE THE IMMEDIATE PROJECT SITE
BOUNDARY HAS BEEN PUT TOGETHER FROM AVAILABLE RESOURCES,
AND IS SHOWN ONLY AS INDICATIVE.

DRAWING LIST		
SHEET NUMBER	SHEET NAME	REVISION
A1-001	SITE PLAN	C
A1-002	CONCEPT PLAN	B
A1-003	GROUND FLOOR	C
A1-004	FIRST FLOOR	B
A1-005	ROOF PLAN	B
A1-006	BUILDING	C
A1-007	ELEVATIONS	C
A1-008	EXTERNAL JOINTS	C
A1-009	SECTION 1	C



SALES CENTRE & CAFE

= 336.5 sqm Approx.
= 16 cars (@ 1 space per 21sqm)

= 24 overflow cars (if required)

TOTAL CARS

= 40

INDICATIVE STAGE SITE AREA = 2154m²

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 26/10/2012



64/108 Wicks Road, Ripley Valley, QLD 4008
PO BOX 484 Spring Hill, QLD 4004
Tel: 07 3881 5055 F: 07 3881 5056
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PARADISE WATERS SALES OFFICE AND CAFE
revision: C | DA ISSUED
19/07/12

DISCLAIMER: All dimensions and areas to be verified prior to commencement, and any discrepancies referred to the architects. These drawings are protected by the laws of copyright and may not be copied or reproduced without the written permission of Ellivo Architects.

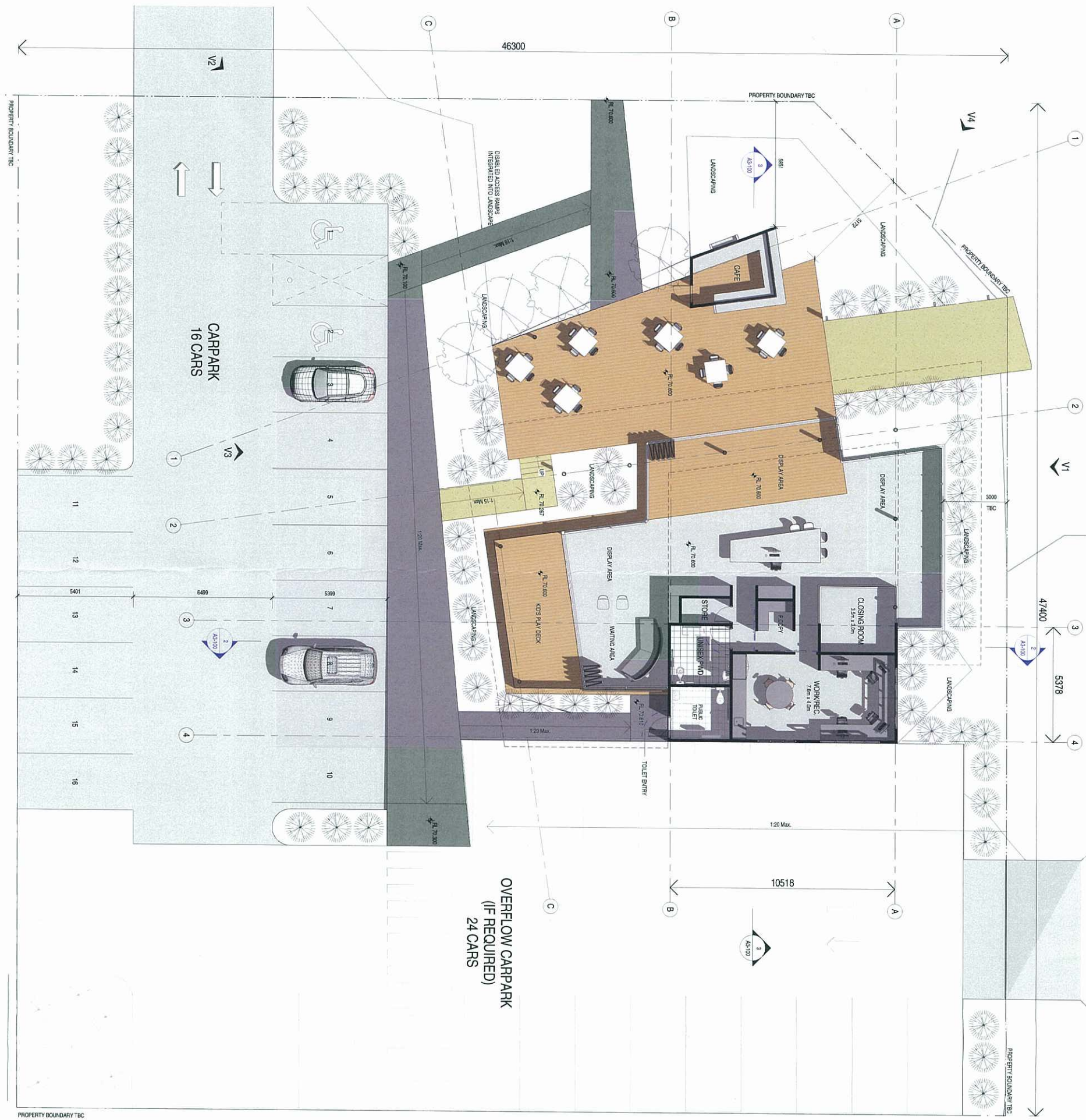
DEVELOPMENT APPLICATION

SITE PLAN

drawing no.: A1-001
job no.: 110081
drawn by: SF
scale: 1:200 @ A1



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 26/10/2022



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PARADISE WATERS SALES OFFICE AND CAFE

revision B DA ISSUE 07/03/12



DEVELOPMENT APPLICATION

GROUND FLOOR PLAN

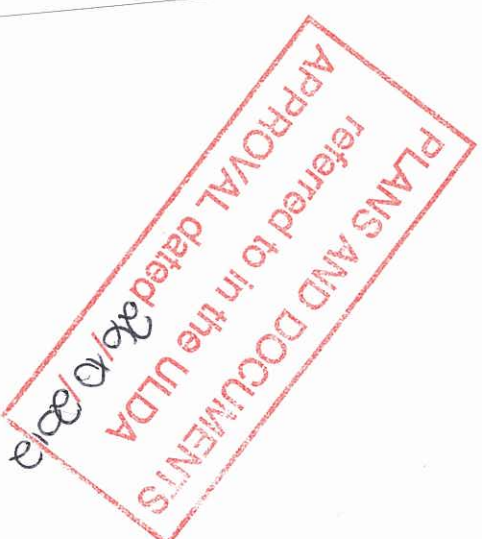
drawing no: A1-200
job no.: 110081
drawn by: SF
scale: 1:100 @ A1

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revision: **A** | DA ISSUE
07.03.12

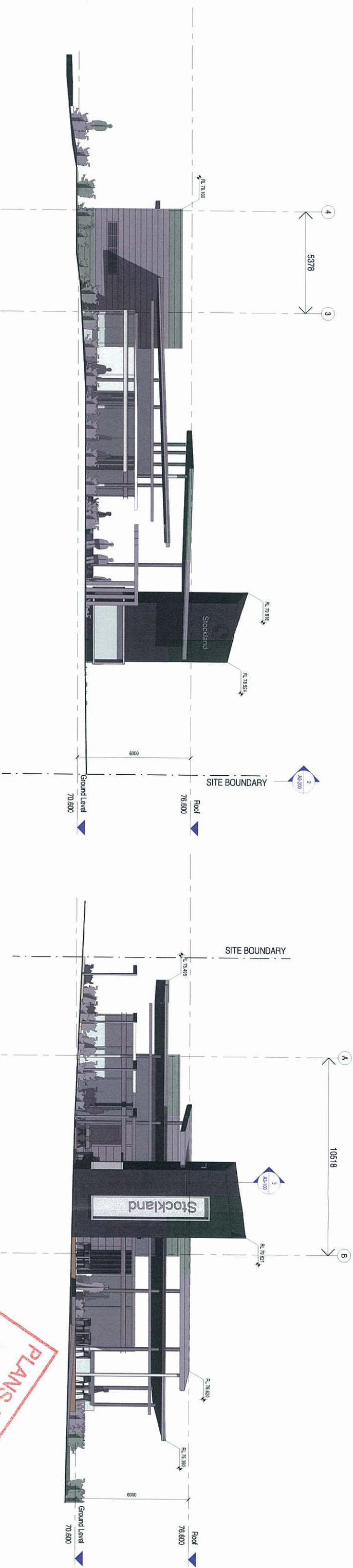
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job no.: 110031
drawn by: Author
scale: 1 : 100 @ A1



ROOF PLAN

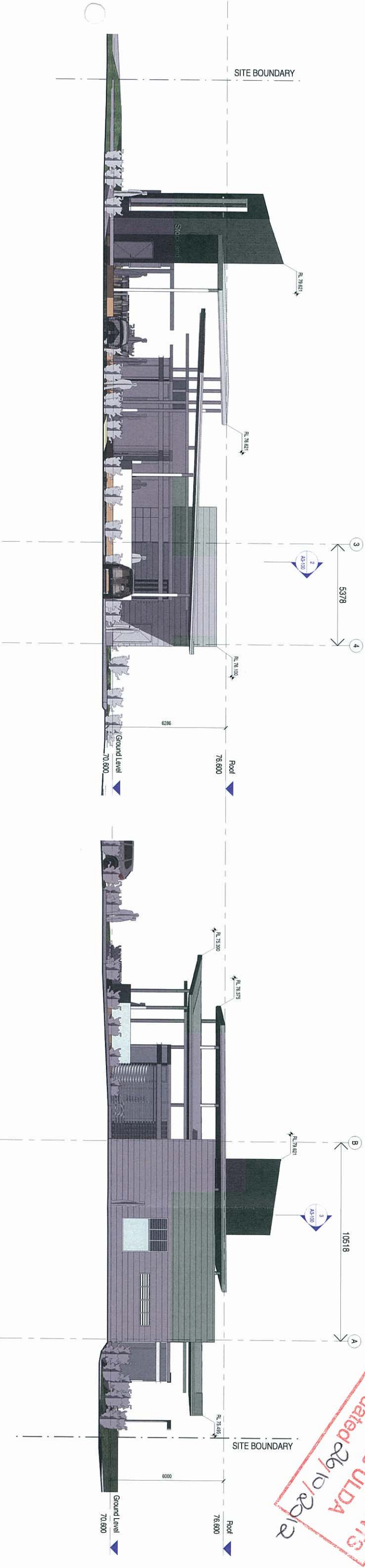


Stockland



1 North East Elevation
1 : 100

2 North West Elevation
1 : 100



4 South West Elevation
1 : 100

3 South East Elevation
1 : 100



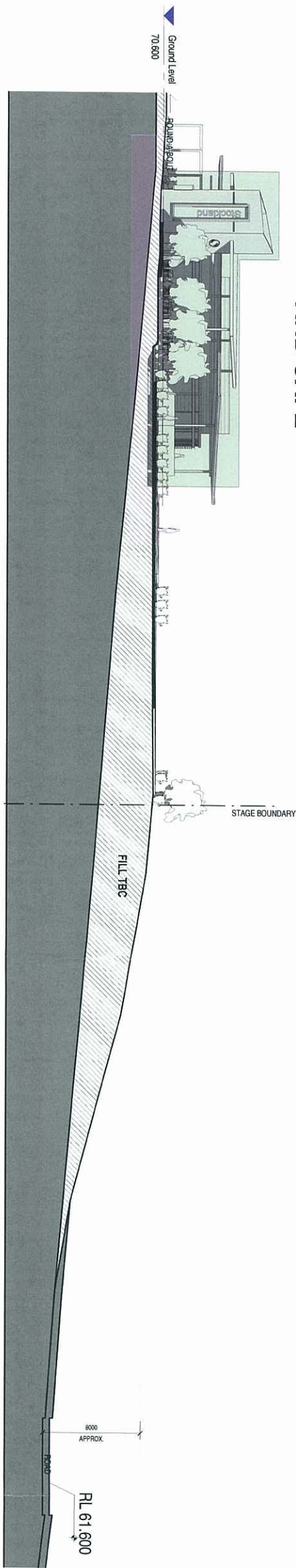
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PARADISE WATERS SALES OFFICE AND CAFE

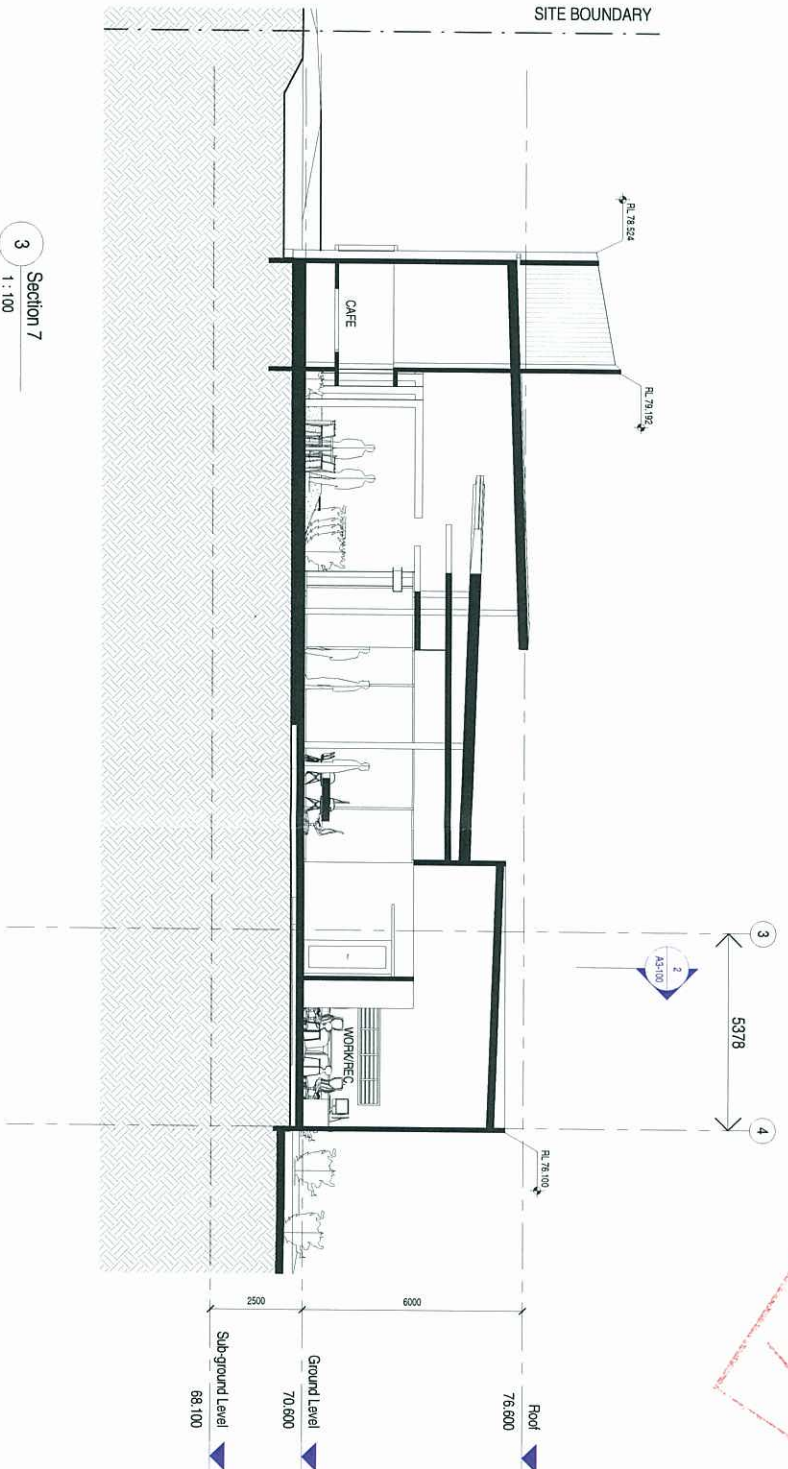
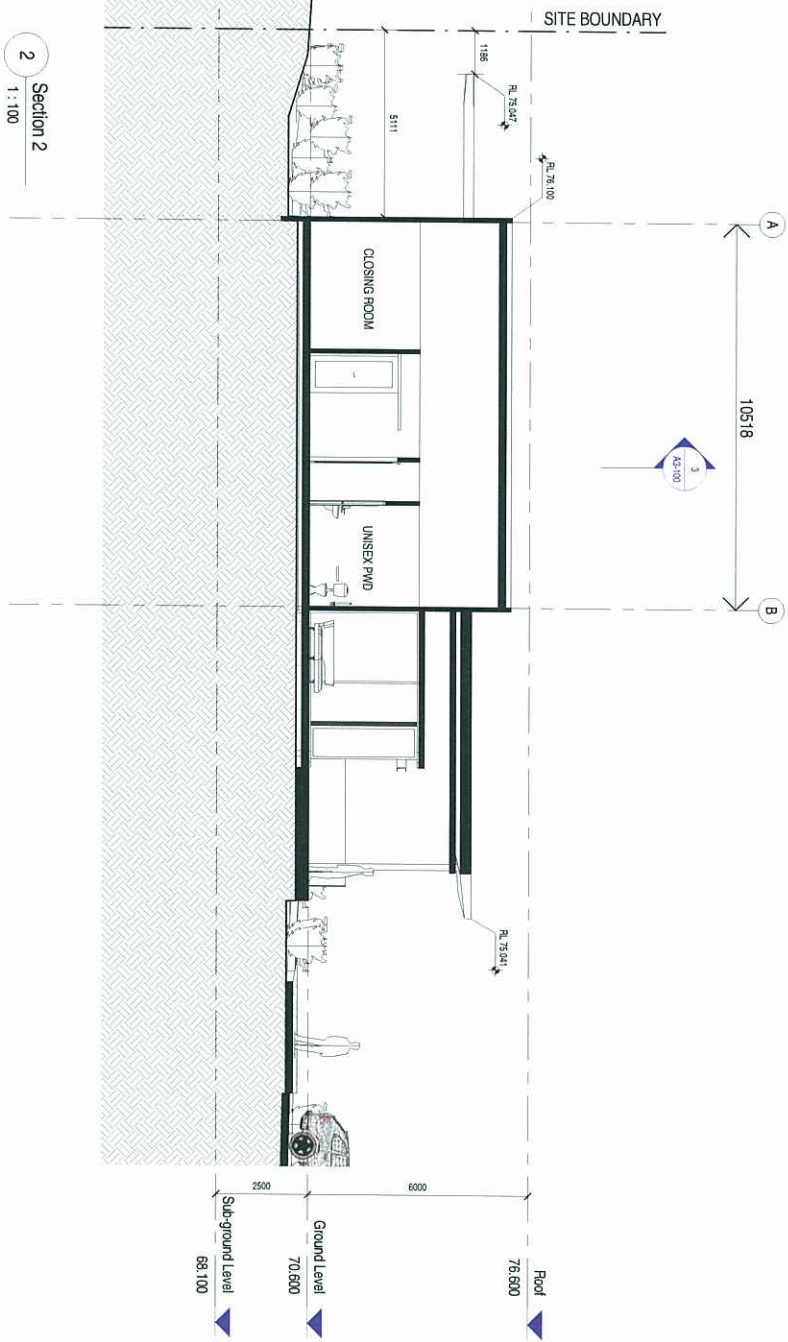
revision B | PA SSSE
07/01/12



SALES CENTRE
AND CAFE



1 Site Section 1
1 : 200



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated / /



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PARADISE WATERS SALES OFFICE AND CAFE

revision B 07/24/12

DA ISSUE

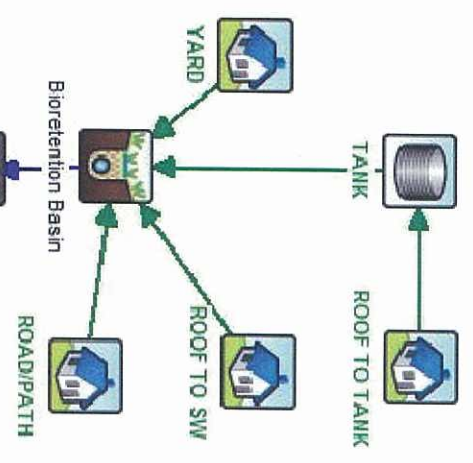
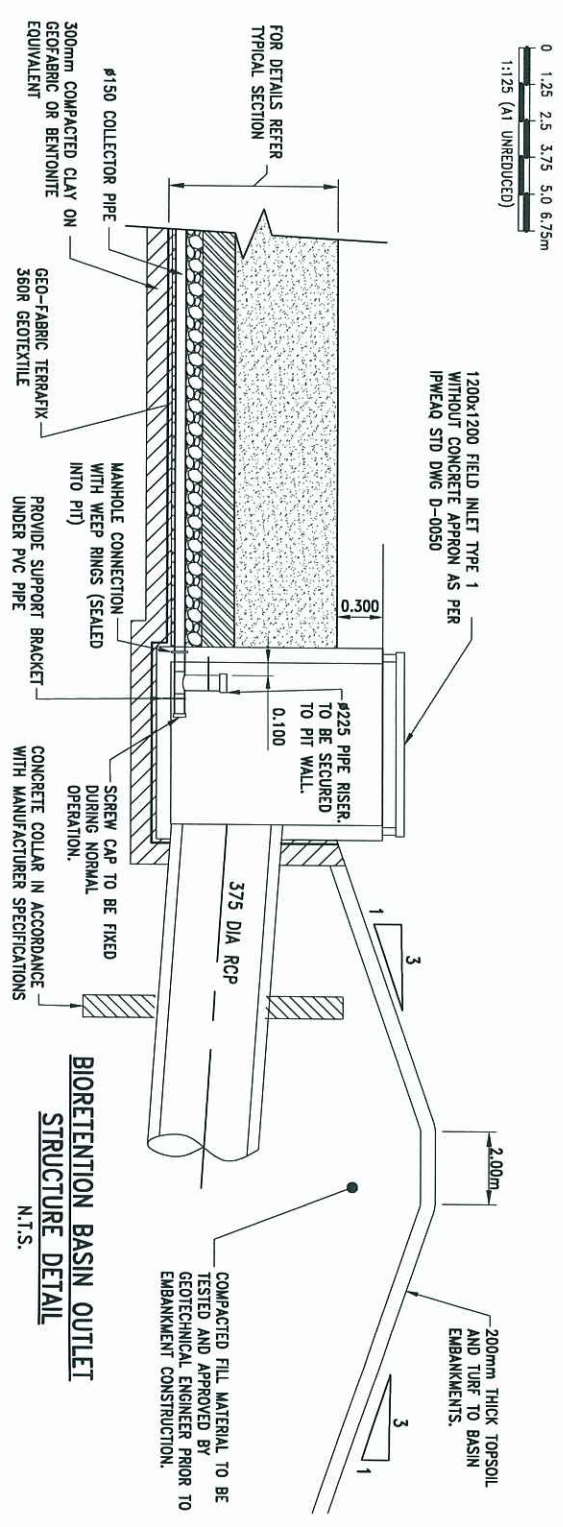
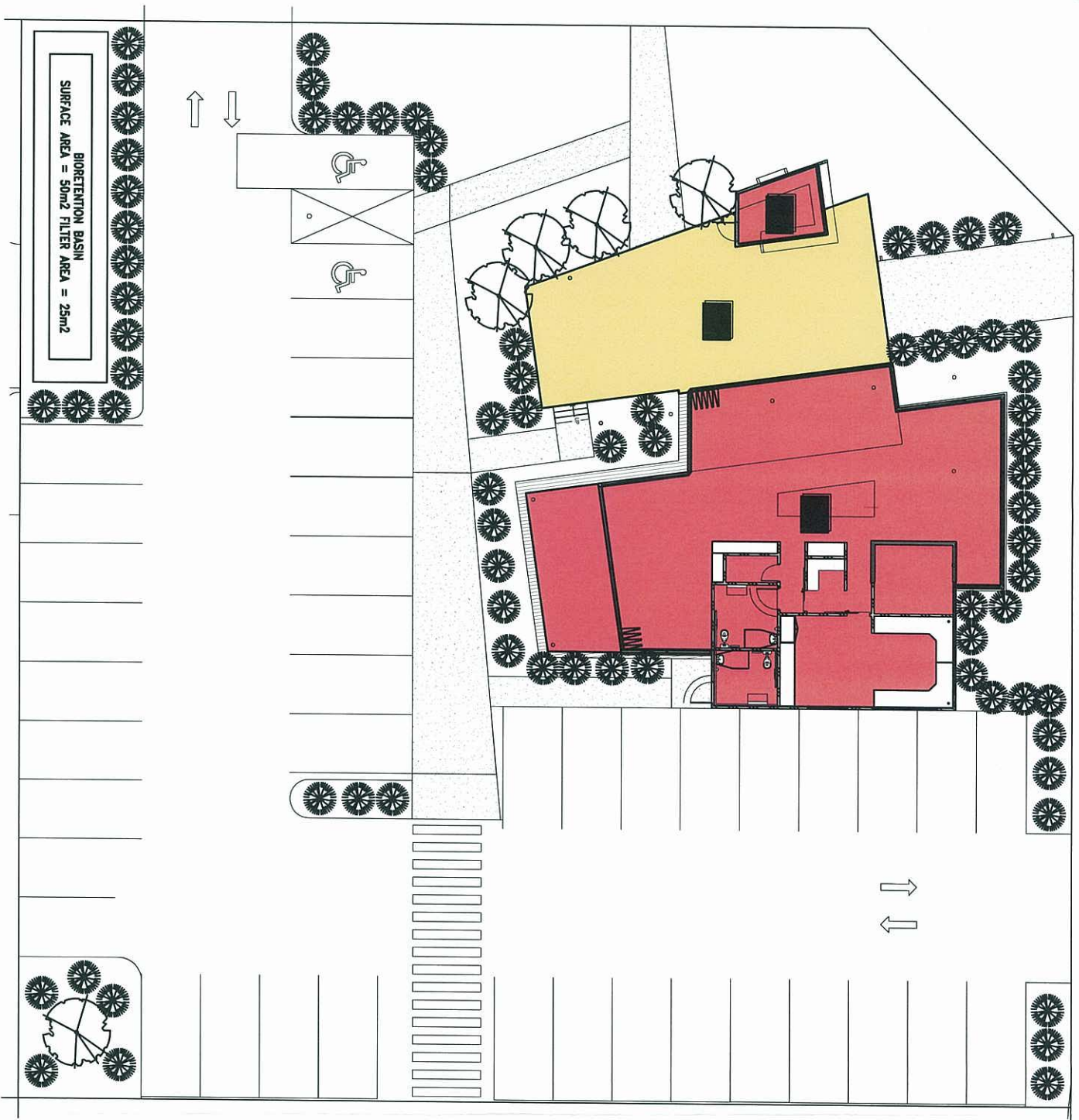
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DEVELOPMENT APPLICATION

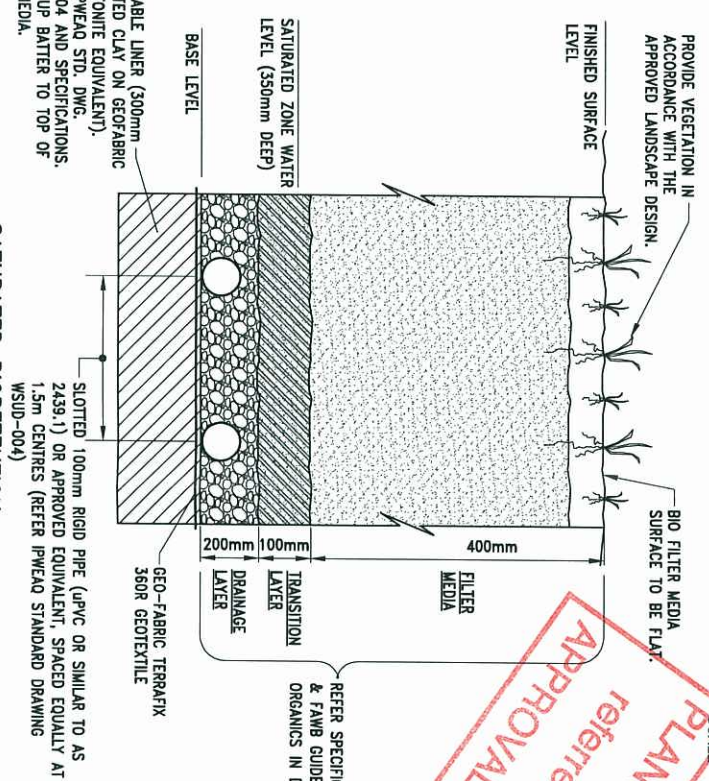
SITE SECTION 1

drawing no.: AS-100
job no.: 110081
drawn by: As Issued
scale: @ A1

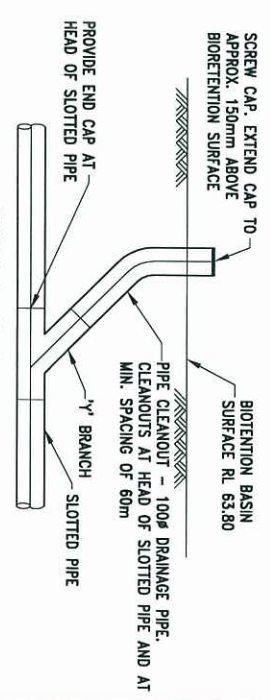




MUSIC NODAL LAYOUT
N.T.S.



SATURATED BIORETENTION MEDIA CROSS SECTION
N.T.S.



TYPICAL SECTION
SLOTTED PIPE CLEANOUT
SCALE 1: 20

- NOTES:**
1. ALL BIORETENTION MEDIA (FILTER MEDIA, TRANSITION LAYER AND DRAINAGE LAYER) MUST COMPLY WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE CONSTRUCTION AND ESTABLISHMENT GUIDELINES: SWALES, BIORETENTION SYSTEMS AND WETLANDS (WATER BY DESIGN) AND THE FAMB GUIDELINE UNLESS AN ALTERNATIVE SPECIFICATION IS PROVIDED FOR THIS PROJECT. THE CONTRACTOR AND SUPPLIER ARE RESPONSIBLE FOR CERTIFYING THAT THE MATERIALS INSTALLED IN THE BIORETENTION SYSTEM MEET THESE SPECIFICATIONS AND PROVIDE THE SOIL TESTING AS PER CONSTRUCTION AND ESTABLISHMENT GUIDELINES: SWALES, BIORETENTION SYSTEMS AND WETLANDS AND FAMB GUIDELINES. ANY VARIATION FROM THE SPECIFICATION MUST BE APPROVED IN WRITING BY THE SUPERINTENDENT AND LOCAL AUTHORITY.
 2. THE CONSTRUCTION OF THE BIORETENTION BASINS MUST BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE CONSTRUCTION AND ESTABLISHMENT GUIDELINES: SWALES, BIORETENTION SYSTEMS AND WETLANDS (WATER BY DESIGN). THE SIGN-OFF FORMS PROVIDED IN THE GUIDELINE WILL FORM THE BASIS OF THE CONSTRUCTION SUPERVISION AND SIGN-OFF AND MUST BE SUCCESSFULLY COMPLETED.
 3. ALL IN-SITU DISPERSIVE SOILS TO BE COVERED BY MIN. 200mm NON-DISPERSIVE FILL AND TREATED (WHERE REQUIRED) TO SOIL SCIENTIST SPECIFICATIONS BEFORE BIORETENTION BASINS ARE CONSTRUCTED ON THESE SOILS.
 4. PROVIDE STABILISED FLOW PATH (SCOUR PROTECTION) FOR ALL PIPE/CULVERT OUTLETS DISCHARGING TO EXISTING GULLIES/ FLOW PATHS. REFER TO ICC STD DWG SP-19. (TOPSOIL 200mm; SUBGRADE (IMPERMEABLE CLAY LINER) 300mm; RIVER ROCK 100mm DIA(MM); CHANNEL WIDTH 2.5-4.0m).

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated / /

STOCKLAND DEVELOPMENTS PTY LTD
PARADISE WATERS - STAGE 5
SALES OFFICE BIORETENTION DETAILS
CONCEPT PLAN
10-482
19-07-2012
SK3825
REVISION A

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Bradlees
Civil Consulting

TO BE CONFIRMED
AT TIME OF
BUILDING APPROVAL