

PRELIMINARY ONLY

Legend

General Details

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub-stage Boundary
- Potential Loft Location
- Possible Multi-family dwelling (Duplex Lots Only)

Road

- Indicative Footpath Location

Open Space

- District Park, Green Links & Stormwater Management

Indicative
Future
Development

Indicative
Future
Development

Indicative
Future
Development

Indicative
Future
Development

Indicative
Future
Development

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 16 / 5 / 17

Note
All dimensions and areas are
approximate only, and are subject to
survey and Council approval.
Dimensions have been rounded to the
nearest 0.1 metres.
Areas have been rounded down to the
nearest 5m².
The boundaries shown on this plan
should not be used for final
detailed engineers design.

Road Lengths

Road Type	STAGE 2	STAGE 3
	Length	Length
Total Length of New Road	1225m	2012m
6.5m wide lane - 5.5m pavement	349m	—
12.25m wide road - 7m pavement	220m	490m
14m wide road - 6.5m pavement	405m	675m
14.25m wide road - 7.0m pavement (plus parking bays)	32m	—
16.5m wide road - 7.5m pavement	140m	—
20.0m wide road - 7.5m pavement (includes existing Abrahams Rd & Barrams Rd)	79m	517m
23.5m wide road - 10m pavement (plus parking bays)	—	330m

LAND USE BUDGET

Land Use Budget	STAGE 2		STAGE 3	
	Area	Percentage	Area	Percentage
Area of Stage	4,639 ha	100.00%	10,957 ha	100.00%
Saleable Area				
Area of Residential Lots	3,081 ha	66.42%	5,977 ha	54.55%
Roads				
Trunk Collector Road	—	0.00%	0.788 ha	16.99%
Local Roads	1,558 ha	33.58%	2,814 ha	60.66%
Total Area of New Road	1,558 ha	33.58%	3,602 ha	32.87%
Open Space				
Area of District Park, Green Links & Stormwater Management	—	0.00%	1,378 ha	29.70%
Total Open Space	—	0.00%	1,378 ha	12.58%

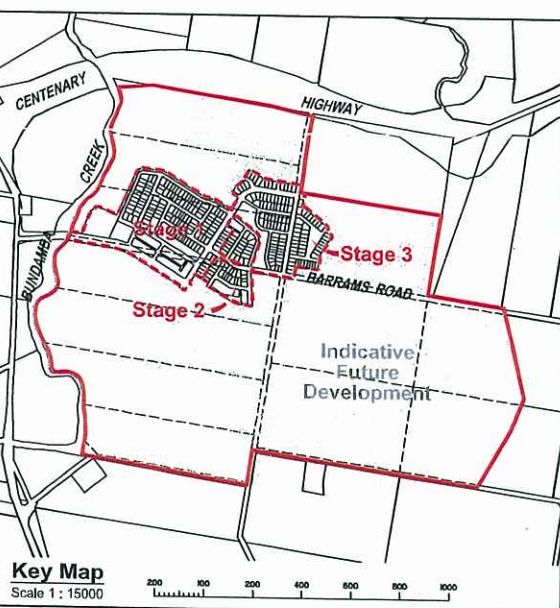
DEVELOPMENT STATISTICS

Allotment Type	Typical Lot Dimensions	STAGE 2		STAGE 3	
		No. of Lots.	Percentage	No. of Lots.	Percentage
Standard Allotment					
Villa Allotment	10.5m x 32m	4	6.25%	9	7.38%
Premium Villa Allotment	12.5m x 32m	3	4.69%	19	15.57%
Courtyard Allotment	15m x 32m	26	40.63%	68	55.74%
Premium Traditional Allotment	18m x 32m	13	20.31%	26	21.31%
Sub Total		46	71.88%	122	100.00%
Superlot					
LaneWAY Villa Allotment	10.5m x 32m	8	12.50%	0	0.00%
LaneWAY Premium Villa Allotment	12.5m x 32m	10	15.63%	0	0.00%
Sub Total		18	28.13%	0	0.00%
Total		64	100.00%	122	100.00%

Density Calculation

Net Residential Density - no. of dwellings (including
residential lots, superlots & multi family dwellings (duplex) and
lofts) / total area ha (area of local roads and residential lots)
STAGE 2 - 75 dw / 4,639 ha, STAGE 3 - 128 dw / 8,762 ha,

16.17 dw/ha 14.61 dw/ha



Key Map
Scale 1:15000

Scale 1:1000

REVISION A: 11/03/11 Amend Lot Layout B: 19/03/11 Amend Lot Layout and Stals C: 21/03/11 Amend Staging and Stals D: 30/03/11 Amend BLEs, contours, pathways E: 02/11/11 Increase road width		Level Datum		Date 02-11-11	CLIENT AMEX <i>PROPOSED LAYOUT</i> <i>STAGE 2 & 3</i> <i>ALLOTMENT LAYOUT</i>	PROJECT SECONDARY URBAN CENTRE EAST		 RPS RPS Australia East Pty Ltd ACN 140 292 762 ABN 44 140 292 762 743 Ann Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3237 8899 F +61 7 3237 8833 W rpsgroup.com.au ©COPYRIGHT PROTECTS THIS PLAN Unauthorized reproduction or alteration not permitted. Please contact the author.
Scale <i>1:1000</i>		Sheet <i>A1</i>	Origin	Comp By. JLS \ WNW		Plan Ref 6837-134	Rev E	
			DWG Name. 6837-134E Stage 2 & 3					
			Local Authority IPSWICH CITY COUNCIL					
Locality RIPLEY								
Job Reference 6837								

AMEX

PROPOSED LAYOUT
STAGE 2 & 3
PLAN OF DEVELOPMENT

PROJECT	SECONDARY URBAN CENTRE EAST	Plan Ref	6837-136	Rev	E
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Notes:

- ... is to be undertaken in accordance with the Development Approval. ... are permissible over garages where noted

16. The maximum height of buildings shall be in the order of 9 metres.
- Subsections**
 1. Subsections are as per the Plan of Development Table unless otherwise specified.
 2. Built to boundary walls are optional. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted as indicated in Table 1.
 3. Built to boundary walls are in accordance with the Plan of Development Table.
 4. Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
 5. Boundary setbacks are measured to the wall of the building or edge of balcony.
 6. Eaves (except on a wall that is built to the boundary) should not encroach within 450mm of the ground or rear boundaries.
 7. First floor setbacks on angle and multi-family allotments must not exceed the minimum of 1.2 metres.
 8. Garages must not project forward of the front building setback and must be setback a minimum of 4.5m from the front property boundary.
- Parking**
 1. One on-street car parking space is provided per dwelling.
- Site Cover and Amenity**
 12. Site cover for each lot is not to exceed 70% of the lot.
 13. Dwellings with their main living areas located at ground level should have a minimum area of private open space consisting of at least 17m² with a minimum width of 2.4 metres, preferably accessible from a living room.
 14. Dwellings with their main living areas above ground floor level should have a minimum area of private open space consisting of a balcony or roof area open to the sky, with a minimum area of 5m², and a minimum dimension of 1.2 metres, directly accessible from a living room.
- Lot Apartments**
 1. Each lot apartment must have a clearly identifiable and addressed front door.
 2. Incorporate in all walls adjoining the main dwelling and private open space areas of the lot.

17. Incorporate an area of private open space such as a balcony or verandah with a minimum depth of 1.2 metres and a minimum area of 5m², preferably overlooking the lane, and including a screened drying area.

18. Incorporate at least 1 opening to all habitable rooms, including internal windows and louvred windows at least operable to facilitate cross ventilation

19. Parking for Multiple Residential Developments

Multiple Residential Developments

- 1 space per dwelling unit on-site.

- 0.5 Visitor Space per dwelling unit on-site.

- Do not dominate the streetscape.

20. Private Open Space for Multiple Residential Developments is to be a minimum of 25% of the area of the site and must provide:

- a minimum dimension of 4.0m.

- must be subject to informal surveillance from the dwelling

- separated from any other private areas by a fence or landscaping.

21. Multiple Residential sites are not permitted to be developed with only one single dwelling.

22. Maximum number of Dwelling Units per Multiple Residential Site.

- 450m² - 599m² - Maximum 3 Dwellings.

- 600m² - 749m² - Maximum 3 Dwellings.

- 750m² - Maximum 5 Dwellings.

23. Where Multiple Residential Developments encompass more than one lot/strata they are to be designed to address each street frontage.

Fencing

24. Fencing on all Street Frontages, to be 50% transparent or not to exceed 1.2 metres in height.

Definitions:

Loft/Tomes

Landway A driveway built above a garage with its own entry door at ground level.

25. A dwelling built above a garage with its own entry door at ground level.

Notes:

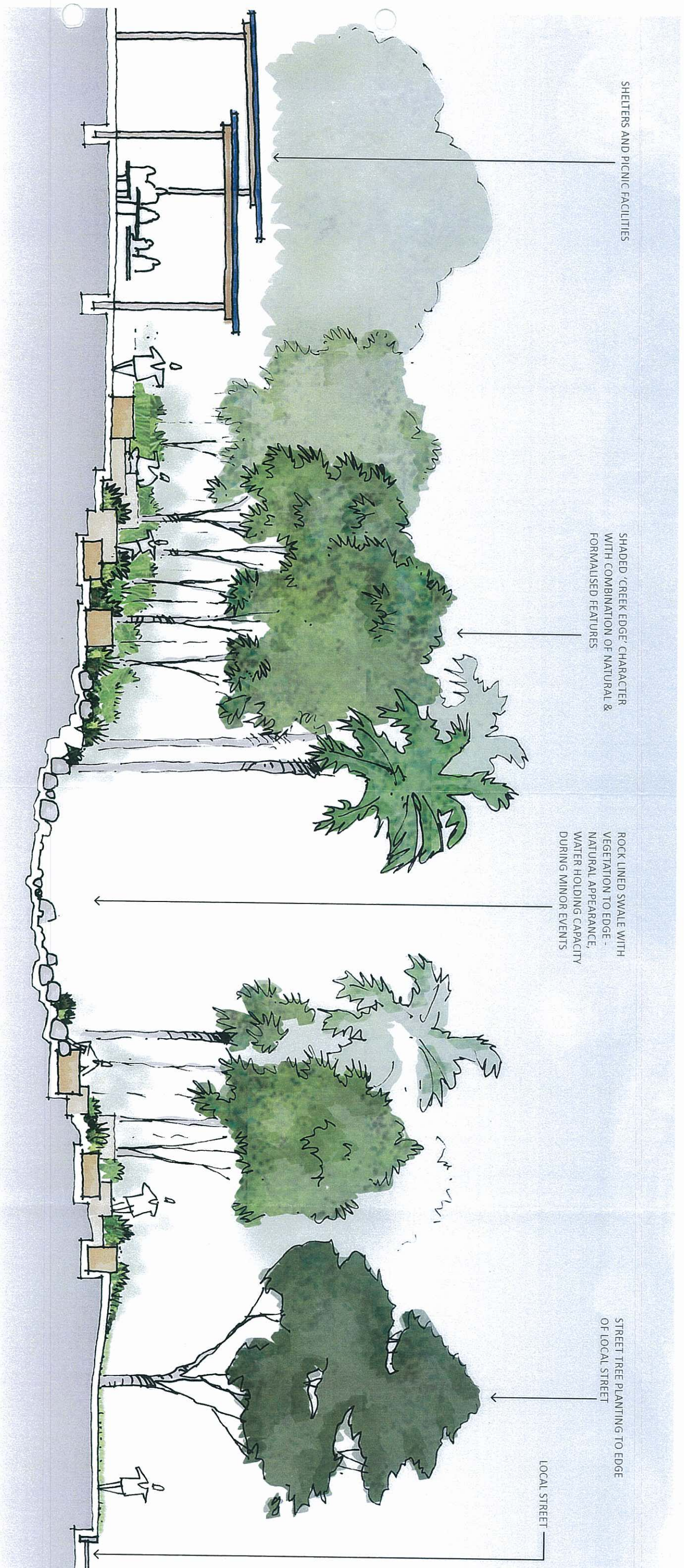
The boundaries shown on this plan should not be used for final detailed engineers design.





AMEX RIPLEY PROJECT | SUCE, RIPLEY VALLEY | STAGE 2 & 3 OPEN SPACE CONCEPT PLAN

scale: 1:8000 @ A1 | date: 27 October 2011 | drawing no: SP1019-02-02 | issue: C
Brisbane | Level 11 Green Square Nth Tower 515 St Paul's Terrace, Fortitude Valley Qld 4006 | T 3254 3277 F 3269 9722 | splat@cardno.com.au www.cardno.com.au/splat



SHELTERS AND PICNIC FACILITIES

SHADED 'CREEK EDGE' CHARACTER
WITH COMBINATION OF NATURAL &
FORMALISED FEATURES

ROCK LINED SWALE WITH
VEGETATION TO EDGE -
NATURAL APPEARANCE,
WATER HOLDING CAPACITY
DURING MINOR EVENTS

STREET TREE PLANTING TO EDGE
OF LOCAL STREET

LOCAL STREET

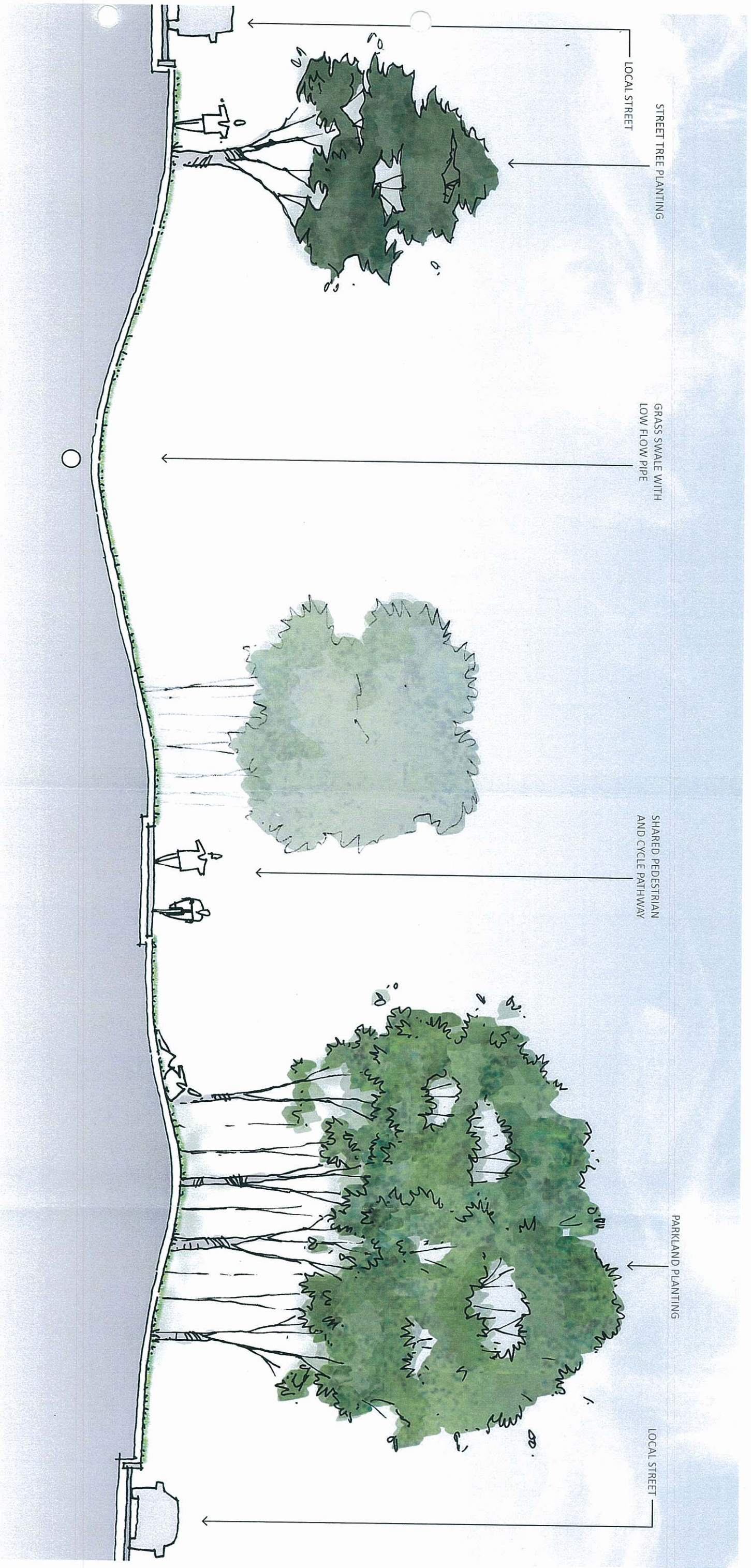
PLANS AND DOCUMENT.
referred to in the ULDA
APPROVAL dated 16 / 5 / 12

AMEX RIPLEY PROJECT | SUCE, RIPLEY VALLEY | STAGE 2 & 3 OPEN SPACE - TYPICAL CROSS SECTION A-A

scale: 1:100 @ A3 | date: 27 October 2011 | drawing no: SP101902-SK02 | issue: C
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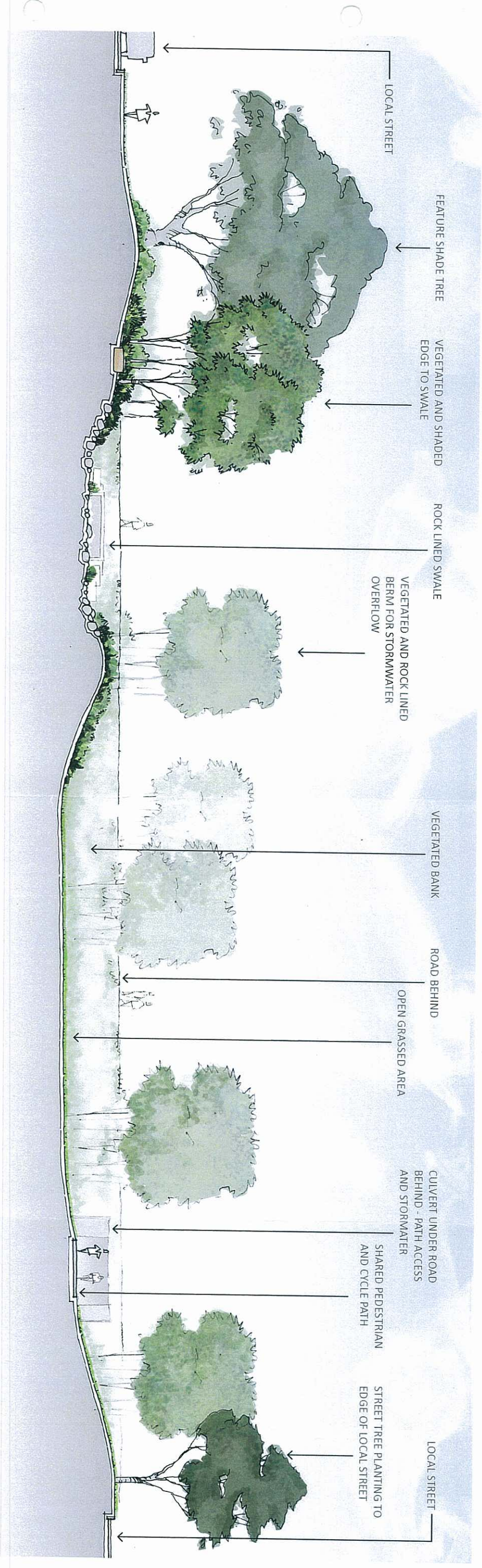


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AMEX RIPLEY PROJECT | SUCE, RIPLEY VALLEY | STAGE 2 & 3 OPEN SPACE - TYPICAL CROSS SECTION B-B

scale: 1:100 @ A3 | date: 27 October 2011 | drawing no: SP101902-SK03 | issue: C
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AMEX RIPLEY PROJECT | SUCE, RIPLEY VALLEY | STAGE 2 & 3 OPEN SPACE - TYPICAL CROSS SECTION C-C

scale: 1:200 @ A3 | date: 27 October 2011 | drawing no: SP101902-SK04 | issue: C
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These areas and dimensions are approximate and subject to relevant studies, Survey, Engineering and Council approval.

Proposed Trunk Sewer Infrastructure

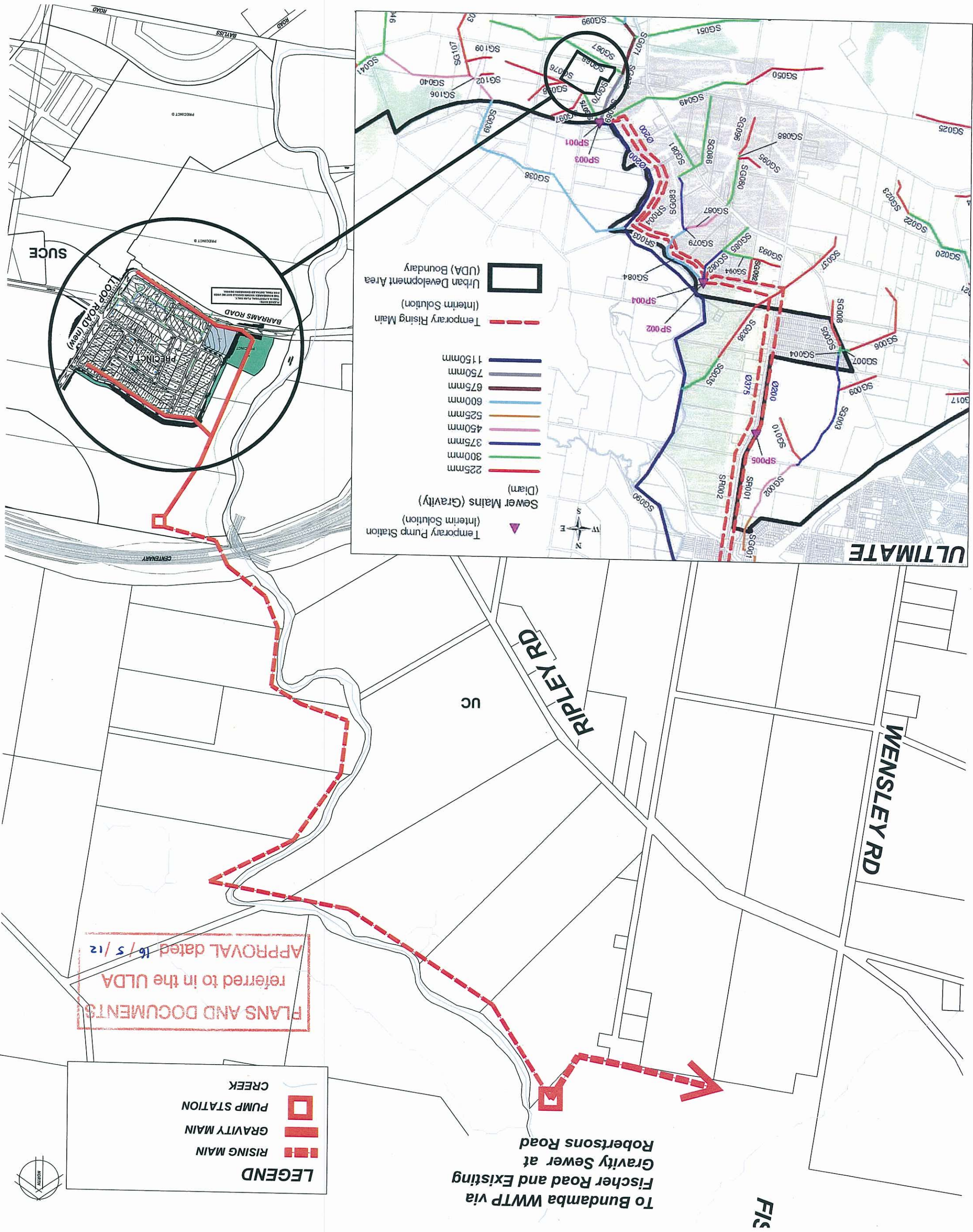
NOT TO SCALE

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LEGEND

- Open Kick-a-bout space
- Proposed Basin
- Proposed Drainage Channel
- Proposed Pathway
- Proposed Street Tree

- Proposed Overland Flow Path
- Proposed Play Area
- Stage Boundary

- 1** Future Town Centre
- 2** Future Medium Density
- 3** Existing Stage 1
- 4** Low Density Residential
- 5** Pocket Parks
- 6** Landscaped Drainage Corridor
- 7** Future Park/Green Link

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LEGEND

	Proposed Open Space Pathways		Drainage Channel Water Feature
	Proposed Street Tree		Basin
	Break Out Space		Terrace Access
	Playground		Bridge Crossing
	Shelters & BBQ Facilities		

- 1** Low Density Residential
- 2** Medium Density Residential

NOTE

The Landscape Design along the drainage channel, particularly the hardscape elements and access points are subject to further detailed investigation and therefore the concept plans are indicative only

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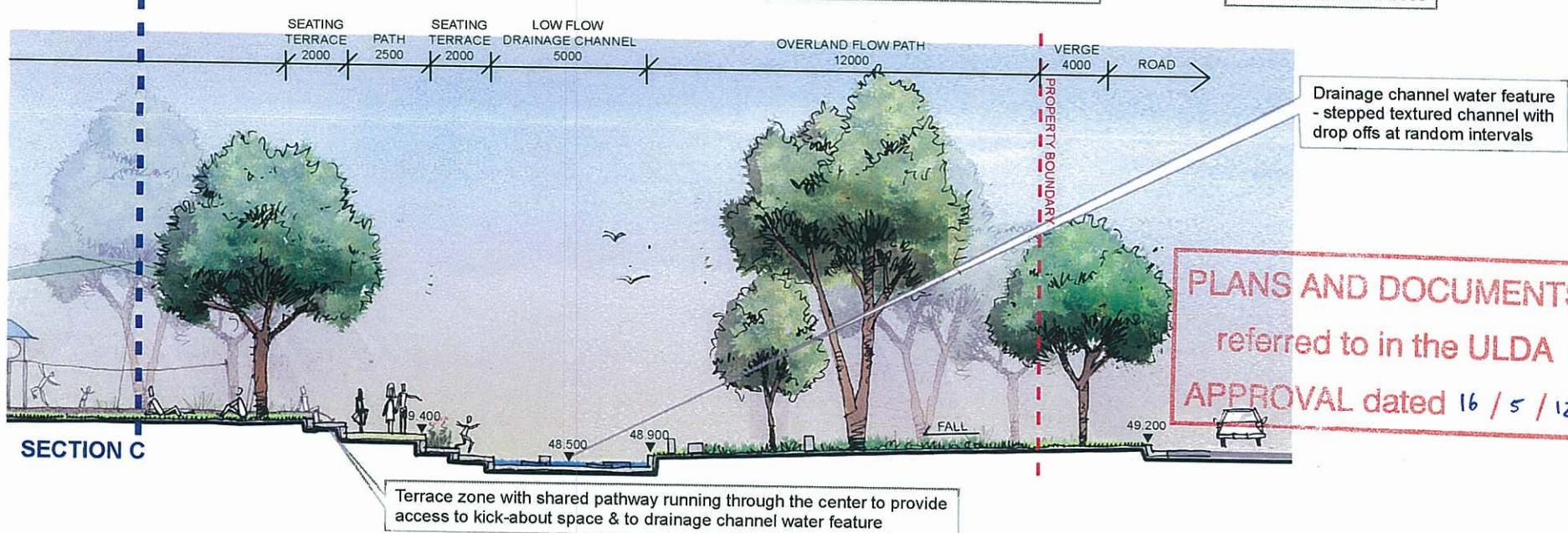
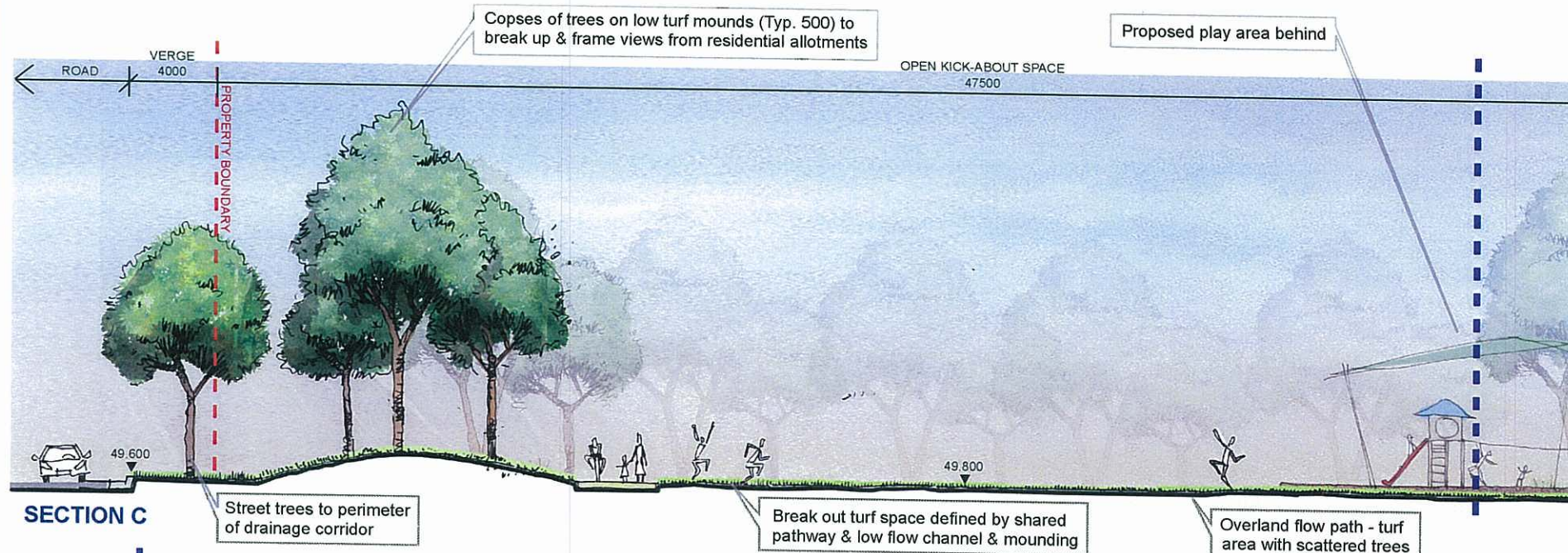
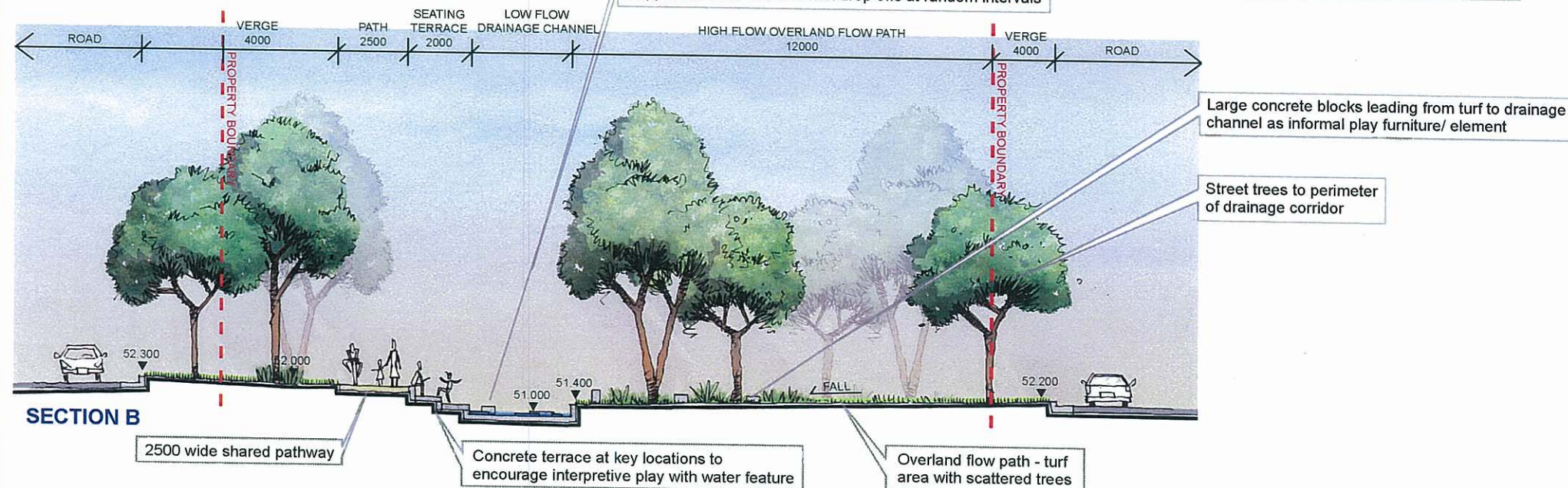
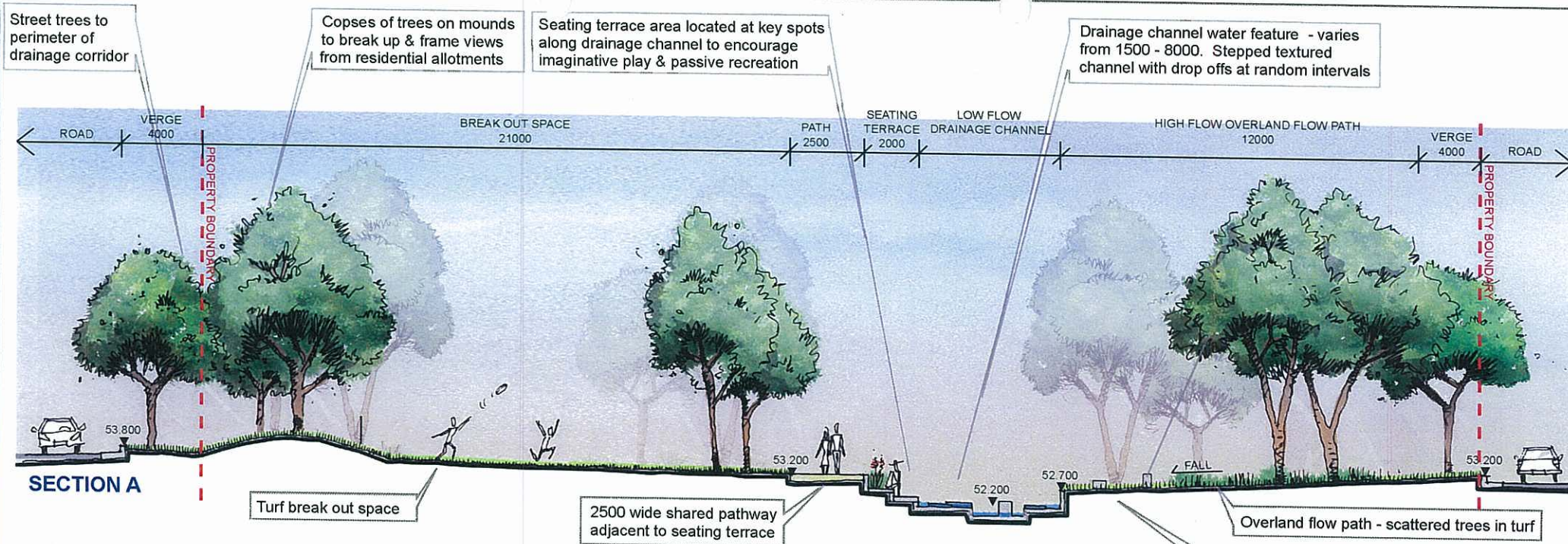
SUCE Stages 2 & 3, Ripley Valley
Drainage Corridor Concept **2**

PRELIMINARY FOR DISCUSSION PURPOSES ONLY

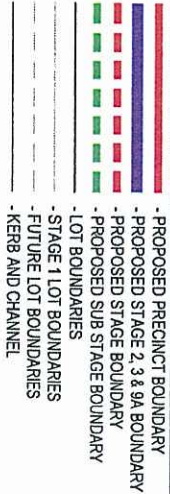
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Scale 1:500 @ A3 | Date March 2011 | Project No 108095



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